

**SEMINOLE COUNTY GOVERNMENT  
LAND PLANNING AGENCY / PLANNING AND ZONING COMMISSION  
AGENDA MEMORANDUM**

**SUBJECT:** Red Bug Lake Road 5885/Mobile PCD Major Amendment

**DEPARTMENT:** Planning & Development **DIVISION:** Planning

**AUTHORIZED BY:** Tina Williamson <sup>TDW</sup> **CONTACT:** Herman Wright EXT. 7353

Agenda Date 11/7/07 Regular  Work Session  Briefing   
Special Hearing – 6:00  Public Hearing – 7:00

**MOTION/RECOMMENDATION:**

1. **RECOMMEND APPROVAL** of the PCD Major Amendment, Revised Final Site Plan, and Revised and Restated Developer's Commitment Agreement for the Red Bug Lake 5885/Mobile consisting of 0.97 ± acres, located on the southeast corner of Red Bug Lake Road and Tuskawilla Road, based on staff findings; (Brett Nevaril/Progressive Development Group, applicant); or
2. **RECOMMEND DENIAL** of the PCD Major Amendment, Revised Final Site Plan, and Revised and Restated Developer's Commitment Agreement for the Red Bug Lake 5885/Mobile consisting of 0.97 ± acres, located on the southeast corner of Red Bug Lake Road and Tuskawilla Road; (Brett Nevaril/Progressive Development Group, applicant); or
3. **CONTINUE** the item to a time and date certain.

District 1 – Dallari

Herman Wright, Principal Planner

**BACKGROUND:**

The Red Bug Lake Road 5885/Mobile PCD Developer's Commitment Agreement and Final Site Plan were approved by the Board of County Commissioners on November 8, 1988. The approval was to allow construction of a car wash in conjunction with an existing convenience store and gas pumps previously approved for the site. The original approval was for a 988 square foot gas station with gas pumps and a car wash and all uses within the C-1 (Retail Commercial) zoning district. At this time, the applicant is requesting to increase the square footage of the convenience store from 988 square feet to 4,200 square feet.

Reviewed by: \_\_\_\_\_  
Co Atty: KFT  
DFS: \_\_\_\_\_  
OTHER: \_\_\_\_\_  
DCM: \_\_\_\_\_  
CM: \_\_\_\_\_

File No. Z2007-36

As per Seminole County Land Development Code Chapter 30; Part 26; Sec. 30.467 Revision of planned commercial development site plan: Any major or substantial change in the approved PCD, which affects the intent and character of the development or permitted uses shall be reviewed and approved by the Board of County Commissioners. The applicant is proposing an additional 3,212 square feet of convenience store space.

The Seminole County Land Development Code (SCLDC) requires one (1) parking space per 100 square feet of non-storage areas. The applicant is proposing an additional 3,212 square feet, 1,596 square feet will be used for storage. The applicant is required to provide sixteen (16) parking spaces. As per the site plan submitted, the applicant proposes to construct eighteen (18) parking spaces, satisfying the SCLDC parking requirements.

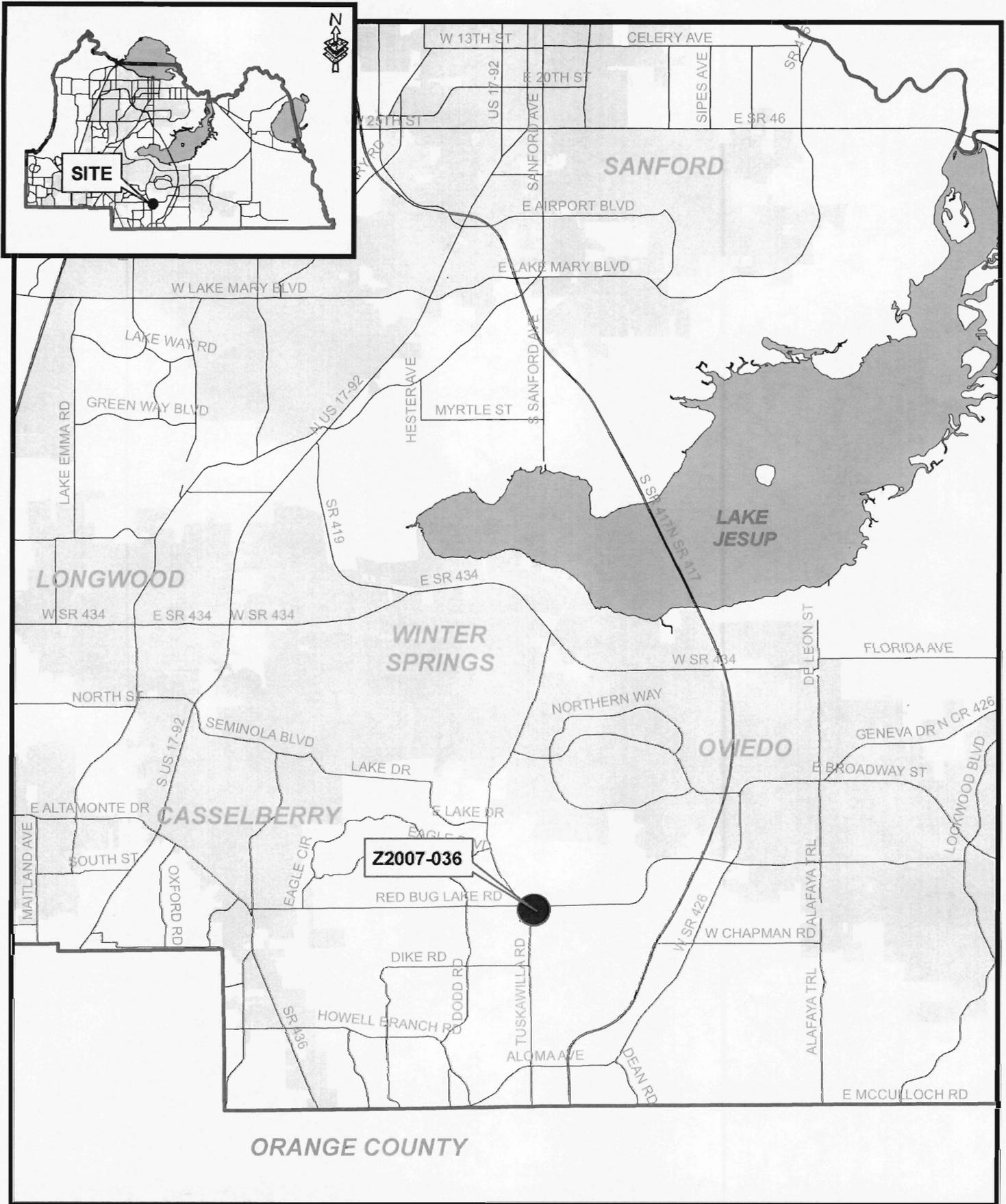
All other conditions of approval will remain the same.

**STAFF RECOMMENDATION:**

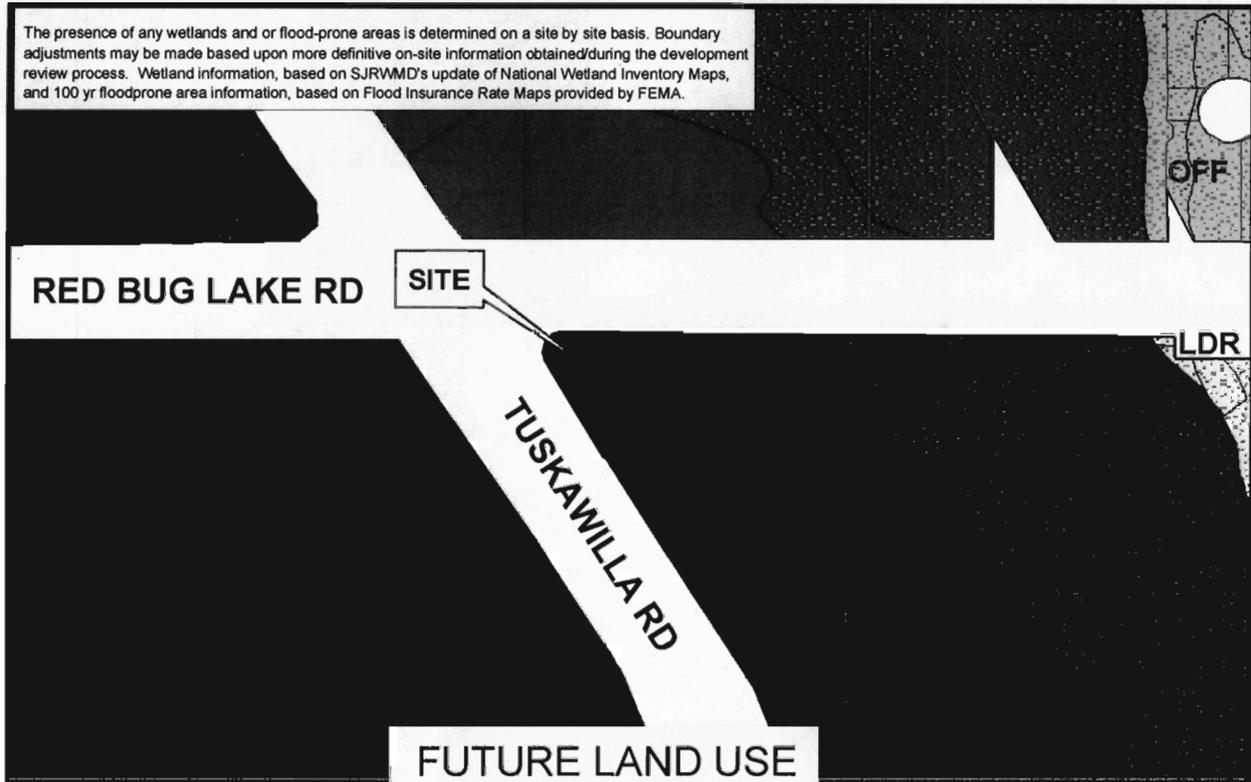
Staff recommends APPROVAL of the PCD Major Amendment, Revised Final Site Plan, and Revised and Restated Developer's Commitment Agreement for the Red Bug Lake 5885/Mobile consisting of 0.97 ± acres, located on the southeast corner of Red Bug Lake Road and Tuskawilla Road.

Attachments:

Location Map  
Zoning and Future Land Use Map  
Aerial Map  
Final Site Plan  
Revised and Restated Developer's Commitment Agreement  
11/08/1988 Development Order  
10/05/1988 Developer's Commitment Agreement  
Seminole County Denial Development Order



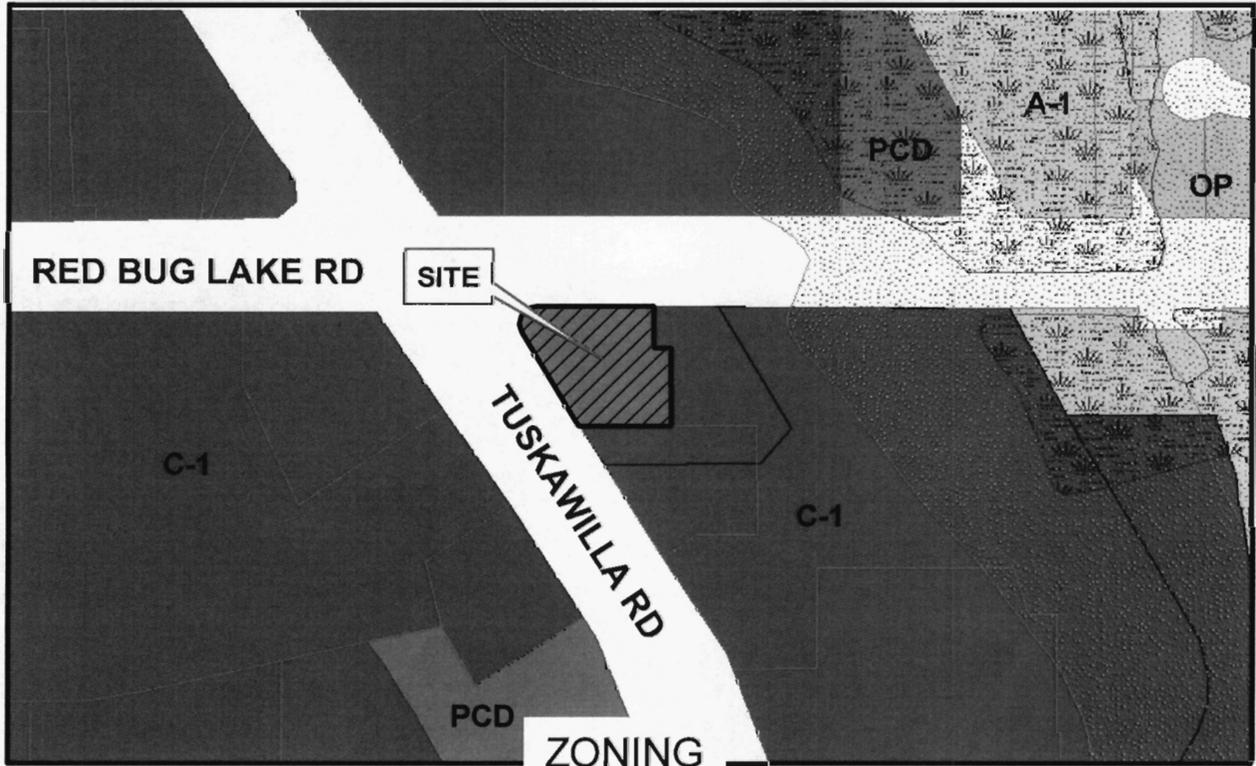
The presence of any wetlands and or flood-prone areas is determined on a site by site basis. Boundary adjustments may be made based upon more definitive on-site information obtained/during the development review process. Wetland information, based on SJRWMD's update of National Wetland Inventory Maps, and 100 yr floodprone area information, based on Flood Insurance Rate Maps provided by FEMA.



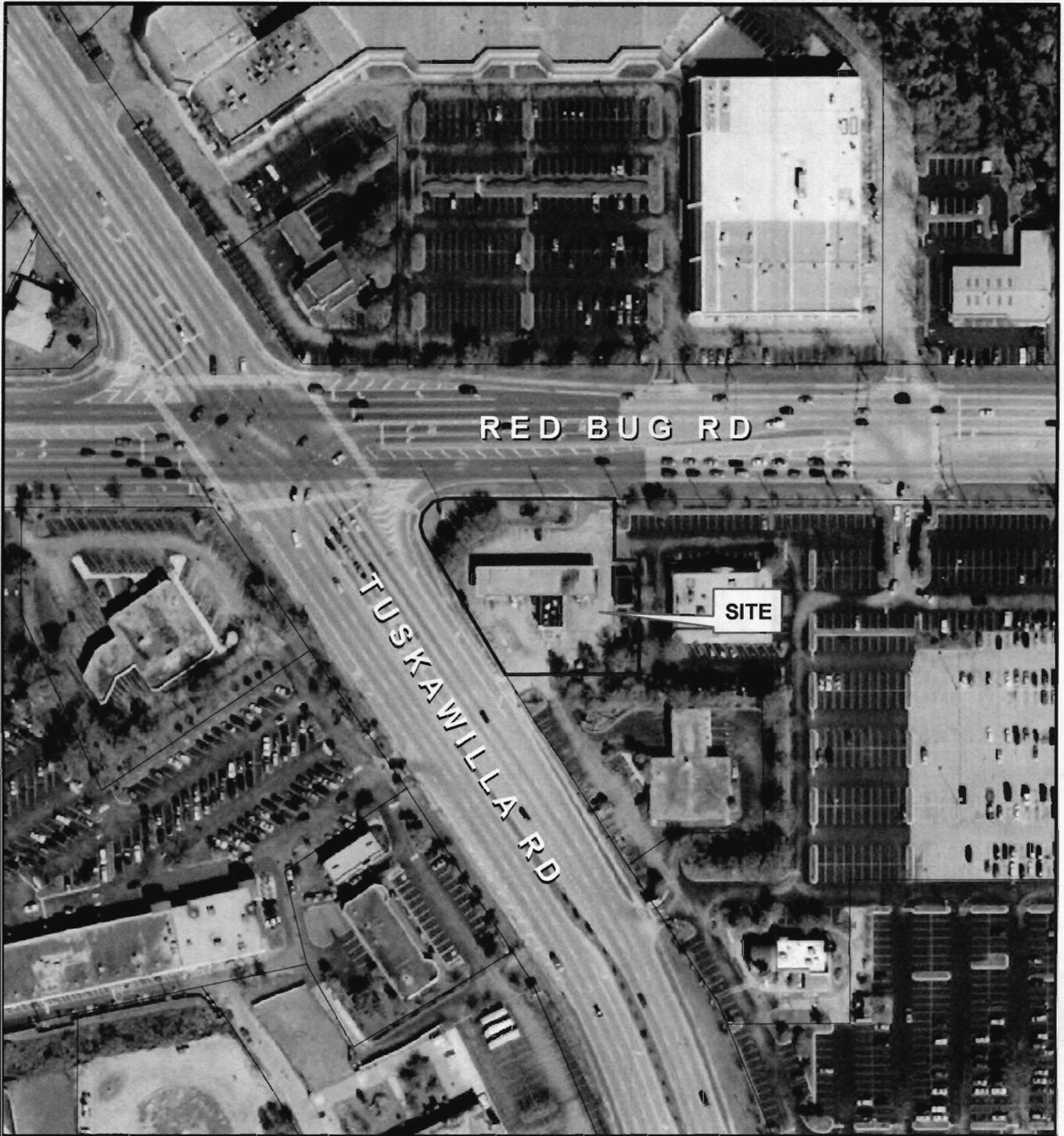
LDR OFF COM Site CONS Municipality

Applicant: Brett Nevaril  
 Physical STR: 24-21-30-020A-0000  
 Gross Acres: .86 +/- BCC District: 1  
 Existing Use: gas station/conv. store  
 Special Notes: PCD Major Amendment

	Amend/ Rezone#	From	To
FLU	--	--	--
Zoning	Z2007-036	PCD	PCD



A-1 OP C-1 PCD FP-1 W-1



Rezone No: Z2007-036  
From: PCD To: PCD

-  Parcel
-  Subject Property



Winter 2006 Color Aerials

**TUSCAWILLA COUNTRY STORE MOBIL OIL CORPORATION DEVELOPER'S  
COMMITMENT AGREEMENT MOBIL SERVICE STATION RAS NO. 10890  
EXXON MOBIL CORPORATION REVISED AND RESTATED  
DEVELOPER'S COMMITMENT AGREEMENT**

The Exxon Mobil Corporation Developer's Commitment Agreement, Commitments, Classifications, and District Description dated February 22, 1989 is hereby further revised on December 11, 2007 to read as follows:

I. Legal Description:

Portion of the Southeast 1/4 of Section 24, Township 21 South, Range 30 East, Seminole County, Florida, described as follows:

Commence at the Northeast corner of the Southeast 1/4 of Section 24; thence south 89degrees 47'22" West along the North line of said Southeast ¼ Section 24 for 1,365.03 feet; thence South 00 degrees 12'14" East for 75.00 feet to the Southerly right-of-way line for Red Bug Lake Road and the Point of Beginning; Thence continue South 00 degrees 12'14" East for 37.00 feet; thence North 89 degrees 47'46" East for 28.01 feet; thence South 00 degrees 12'14" East for 178.08 feet; thence South 89 degrees 47'46" West for 137.15 feet to the Easterly right-of-way line (lying 75.00 feet Easterly of when measured at right angles to the centerline thereof) of Tuscawilla-Gabriella Road; thence North 33 degrees 52'47" West along said Easterly right-of-way line for 258.41 to the aforesaid Southerly right-of-way line of Red Bug Lake Road; thence North 89 degrees 47'22" East along said Southerly right-of-way line for 252.43 feet to the Point of Beginning. Containing 0.996 Acres, more or less.

Subject to additional right-of-way taking, or the external area of a curve concave to the Southeast, having a radius of 25.00 feet; said curve being tangent to the Easterly right-of-way line of Tuscawilla-Gabriella Road and the Southerly right-of-way line of Red Bug Lake Road.

II. Statement of Basic Facts:

Total Acreage 0.99 AC

Total Building Square Footage: ~~988~~ 4,200 Square Feet

Specific uses shall be for Convenience store with gas pumps and a car wash.

All development shall comply with the site plan attached as Exhibit A.

III. Landscaping and Buffers:

Shall comply with requirements for C-1 zoning category, as shown on ~~site plan~~ Exhibit A.

IV. Off-site Improvements:

~~Developer will provide a 5' sidewalk in the rights of way adjacent to the project shown on the site plan. Developer has installed deceleration lanes for two (2) right-in/right-out entrances in the rights of way as shown on the site plan. Developer will extend the sanitary sewer lines within the rights of way of Tuscawilla Road north from Willa Springs Villas to his site as shown on the site plan.~~

## V. Impact Commitments:

- A. Roads: ~~This project participated in the Tri-Party Agreement for improvements to Red Bug Lake and Tuskawilla Roads. The Developer will pay transportation impact fees as applicable at the time of building permit issuance.~~
- B. Fire Protection: ~~The Developer will pay fire impact fees in accordance with ordinance #87-11, or its successor. The Developer will pay fire impact fees as applicable at the time of building permit issuance.~~
- C. Law Enforcement: The Developer will pay law enforcement impact fees as applicable at the time of building permit issuance.
- D. Water and Sewer: Water and sewer is provided by Seminole County. Water and Sewer lines are shown on the site plan. The Developer will pay water and sewer capacity fees as applicable at time of building permit.

## VI. Other Commitments:

- A. Land Development Code Contingency:  
Unless a particular item is specifically covered or permitted in this agreement, the applicable portion of the Seminole County Land Development Code shall prevail.
- B. Buildings will not exceed one story in height.
- C. Allowable uses of the property shall be those uses allowed in C-1 Retail/Commercial zoning, Convenience Store with Car Wash and Gas Pumps.
- D. Developers Definition:

When the term "Developer" is used herein, same shall be taken or construed to mean Exxon Mobil Oil Corporation. All obligations, liabilities, and responsibilities incurred by or implied by the Developer by this agreement shall be assumed by any successors in interest as the overall Development of the Planned Commercial Development.

Approved by the Board of County Commission on December 11, 2007

Board of County Commissioners  
Seminole County, Florida

Date: \_\_\_\_\_  
Carlton D. Henley, Chairman

**Exhibit A**  
PCD Final Site Plan  
(See Attached)

# ExxonMobil

## On the Run

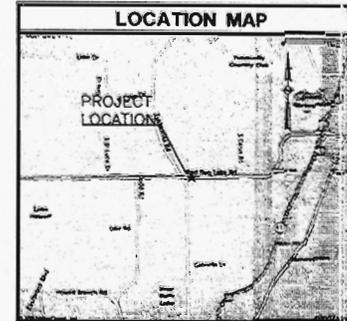
DEVELOPED FOR  
EXXON MOBIL CO. U.S.A.

PCD AMENDMENT APPROVAL PLAN

CALL 48 HOURS  
BEFORE YOU DIG

It's the Law!  
1-800-432-4770

SUNSHINE STATE ONE CALL OF FLORIDA, INC.



VICINITY MAP  
NOT-TO-SCALE

ExxonMobil  
Fuel Marketing

U.S. Region  
Engineering

Progressive  
DEVELOPMENT GROUP, INC.  
TOTAL PROJECT COST  
\$1,000,000.00  
TOTAL AREA 10,000 SQ. FT.  
TOTAL VOLUME 10,000 CU. YD.

### PROJECT INFORMATION

**SITE ADDRESS:**  
5885 RED BUG LAKE ROAD  
WINTER SPRINGS, FLORIDA 32708-5010

**LOT SIZE:** 42,208 SF 0.960 AC

**PROJECT SCOPE:** CONVENIENCE FOOD AND BEVERAGE STORE,  
SELF-SERVICE FUEL, PUMPS & CAR WASH

**BUILDING SIZE:** (3,000 SF CONVENIENCE-STORE)

**CONSTRUCTION TYPE:** V UNP  
OCCUPANCY: C3  
BUILDING HEIGHT = 25.5' (APPROX)

**CAR WASH SIZE:** 576 SF  
EXISTING CARNASH TO REMAIN  
CAR WASH HEIGHT = 18'-0" (APPROX)

**CANOPY SIZE:** 3183.16 SF  
CONSTRUCTION TYPE: N  
OCCUPANCY: N/A  
CANOPY HEIGHT = 22'-0" (APPROX)

(1) MONUMENT D SIGN (EXISTING TO REMAIN)

**PROPOSED USE:** COMMERCIAL (SERVICE WITH CAR WASH)

**DEVELOPMENT USE:** COMMERCIAL (SERVICE WITH CAR WASH)

**PARKING CALCULATIONS:**      **PARKING REQUIRED:**

1 SPACE PER 100 SF OF NON-STORAGE AREA  
CONVENIENCE STORE = 3000 SF = 1598 SF STORAGE  
= 7020 SF/100 SF = 17 SPACES

TOTAL SPACES REQUIRED = 17  
% REQUIRED = 1

TOTAL SPACES PROVIDED = 18  
(1) SPACES  
(1) 1/2 SPACES

### PERMIT / ZONING NOTES

CONTRACTOR SHALL PAY FOR AND OBTAIN THE REQUIRED SEMINOLE COUNTY PERMITS AND HOLD A PRE-CONSTRUCTION CONFERENCE BEFORE STARTING WORK. CONTACT: SEMI-ANNUAL DEVELOPMENT REVIEW DIVISION (407) 885-1400 FOR INFORMATION ON SETTING NEAR PRE-CONSTRUCTION MEETING, ISSUANCE OF COUNTY PERMITS AND OTHER REQUIREMENTS.

### SPECIAL INSPECTIONS

### UTILITY COMPANIES

**ELECTRICITY:**  
PROGRESS ENERGY  
CONTACT NAME: EVA MOONWELL  
2801 WEST OR LANE  
ORLANDO, FL 32769  
PH: (407) 259-4479

**TELEPHONE:**  
BELL SOUTH  
CONTACT NAME: SCOTT LOVINE  
132 COMMERCE  
WINTER SPRINGS, FL 32791  
PH: (407) 302-7611

**WATER AND SANITARY:**  
SEMINOLE COUNTY  
CONTACT NAME: BERRY HOGGLE  
ADDRESS: 525 W. LAKE MARY BLVD STE 209  
DUNEDIN, FL 32723  
PH: (407) 865-2145

### CONTACTS

**OWNER:**  
MOBIL OIL CORPORATION  
P.O. BOX 6913  
HOUSTON, TX 77216

**CLIENT:**  
JONATHAN W. BULLIVANT PROJECT MANAGER  
ON BEHALF OF U.S. REGIONAL CORPORATION  
1915 BOK CROSS CIRCLE | WASHINGTON, DC 20006  
T: 703 442 8377 | F: 703 425 1142 ASIA |  
E: JWB 428 9058

**ARCHITECT:**  
W.D. PARTNERS  
7807 ORCHIDVIEW BLVD.  
DUBLIN, OH 43017  
PH: 614-834-7000  
F: 614-834-7777  
CONTACT: WALLACE PERKINS

**CIVIL ENGINEER:**  
PROGRESSIVE DEVELOPMENT GROUP, INC.  
P.O. BOX 10, 7703  
5205 SOUTHWEST AVENUE  
TAMPA, FL 33615  
PHONE: (813) 886-0512 FAX: (813)  
886-0313  
CONTACT: BRETT MEARS

### SURVEYOR

BERNARD THOMPSON, PWS  
8415 SUNSHINE STREET  
TAMPA, FL 33624  
PHONE: (813) 886-4000  
PHONE: (813) 886-0512 FAX: (813)  
886-0313  
CONTACT: ERIC BLACKBURN

### GEOTECHNICAL ENGINEER

HOW SERVICES, INC.  
ENGINEERING AND ENVIRONMENT  
501 WEST PEACOCK STREET  
LAKELAND, FLORIDA 33805  
PHONE: (863) 846-4130 FAX: (863) 848-1195  
CONTACT: MICHAEL W. ALTMANER, P.E.

### STRUCTURAL ENGINEER

W.D. PARTNERS  
7807 ORCHIDVIEW BLVD.  
DUBLIN, OH 43017  
PHONE: 614-834-7000  
FAX: 614-834-7777  
CONTACT: WALLACE PERKINS

### M.E.P. ENGINEER

W.D. PARTNERS  
7807 ORCHIDVIEW BLVD.  
DUBLIN, OH 43017  
PHONE: 614-834-7000  
FAX: 614-834-7777  
CONTACT: WALLACE PERKINS

### SHEET INDEX

Site Civil Engineering Drawings

Sheet Description

C0.0 Cover Sheet / Index

C1.0 Site Plan

C2.0 Grading & Drainage Plan

C3.0 Site Details

L1.0 Landscape Plan

TP.1 Tanker Plate Plan

PH.0 Photomatic Plan

T1.0 Topographical And Boundary Survey

### SHEET INDEX - Continued

Note to Plan Reviewers: Exxon plan set sheets use two numbers to identify individual drawings. The Exxon standard Project number identifies the prototype design from which the plans were developed. The Sheet number identifies the discipline and order of the drawings within that series of drawings. Project and Sheet numbers can be found at the lower right of the drawing title block.

C-Store	Canopy
	Car Wash
	Underground Storage Tanks
<p>PROPERTY APPROVED TO NUMBER 24-21-30-300-020A-0000</p> <p>SEMINOLE COUNTY APPROVED FOR CONSTRUCTION</p> <p>THIS APPROVAL IS SUBJECT TO SPECIFIC CONFORMANCE TO THE SEMINOLE COUNTY LAND DEVELOPMENT CODE AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CORRECT ANY DEFICIENCIES IN THE PLANS OR THE FACILITY AS CONSTRUCTED WHICH APPEARS TO BE A VIOLATION TO ANY APPLICABLE CODE REQUIREMENTS. SUBMITTING THE ACCEPTANCE OF THE DEVELOPER'S PLANS DOES NOT CONSTITUTE A WAIVER OF ANY OTHER REQUIREMENTS TO THE CODES IT HELDS. THE DEVELOPER IS RESPONSIBLE TO MEET ALL CODE REQUIREMENTS. THIS SPECIFIC APPROVAL IS VALID FOR A PERIOD OF ONE YEAR FROM THE DATE BELOW.</p> <p>SEMINOLE COUNTY DEVELOPMENT REVIEW DEPARTMENT</p> <p>DATE</p>	

1-800-432-4770

5885 RED BUG LAKE ROAD  
WINTER SPRINGS, FLORIDA  
MOBIL SERVICE STATION

COVER SHEET

10890

3500 / CW

1"=20'

HA/BEN

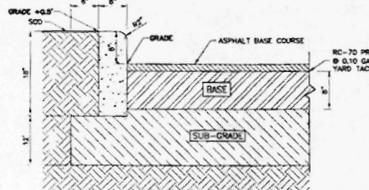
03/27/07

015-275.11

C0.0







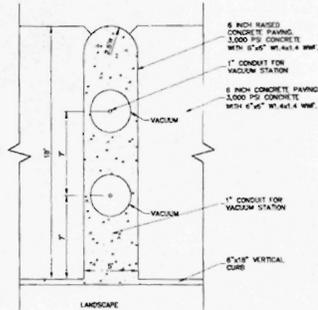
**ASPHALT** 1-2" TYPE S-3 ASPHALTIC CONCRETE WEAR COURSE COMPACTED TO 98% MAX DRY DENSITY PER AASHTO T-180.

**BASE** 8" LIMEROCK LBR 100 2 LIFTS COMPACTED TO 98% MAX DRY DENSITY PER AASHTO T-180.

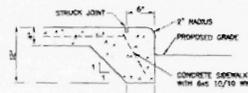
**SUB-GRADE** 12" STABILIZED SUB-GRADE LBR 40 COMPACTED TO 98% MAX DRY DENSITY PER AASHTO T-100.

NOTE: CURB SHALL BE CAST OF 3,000 P.S.I. CONCRETE. SUBGRADE IS TO BE STABILIZED.

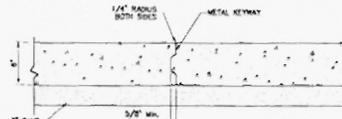
**TYPICAL ASPHALT PAVEMENT SECTION WITH 6" CURB**  
04/26/05 P90



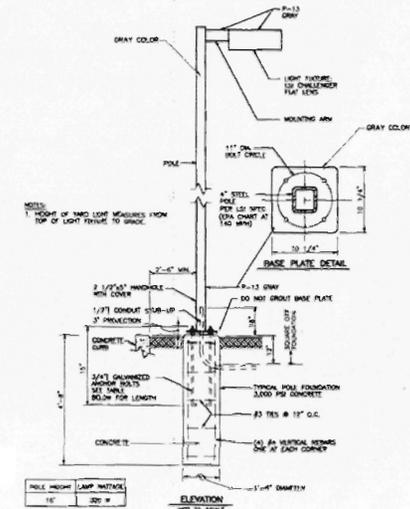
**CUSTOMER SERVICE DETAIL**  
04/26/05 P90



**INTEGRAL CURB SIDEWALK**  
N.T.S.

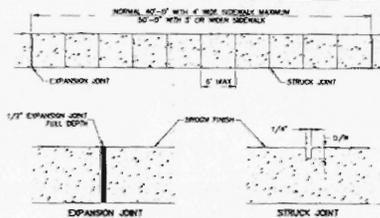


**METAL KEYWAY JOINT**  
SCALE: 1"=1'-0" 04/26/05 P90



**LIGHT SPECIFICATIONS:**  
1.) AREA LIGHT: LS-CHN-FT-320-PSW-F 16' POLE.  
2.) UNDERCANOPY LIGHT: LS-ECTA-S-320-PSW-F

**TYPICAL YARD LIGHT DETAIL**



- NOTES:**
- 1.) SIDEWALK EXPANSION JOINTS TO BE AT ALL TIES TO CONCRETE OTHER THAN DRIVEWAYS. MAXIMUM SPACING SHALL BE 60'.
  - 2.) EXPANSION JOINT MATERIAL SHALL BE ASPHALT FIBER IMPREGATED PREFORMED JOINT FILLER, TO FULL DEPTH OF CONCRETE.
  - 3.) ALL SIDE WALKS SHALL BE CONSTRUCTED OF A INCH THICK PORT LAND CEMENT CONCRETE AND MUST BE INSTALLED OVER A FOUR-INCH THICK COMPACTED LIME ROCK BASE.

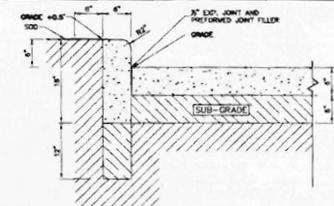
**TYPICAL SIDEWALK**  
N.T.S. 04/26/05 P90

PROPERTY APPRAISER ID NUMBER 24-21-33-300-020A-0000

SEMIWALK COUNTY  
APPROVED FOR CONSTRUCTION

THIS APPROVAL IS SUBJECT TO SPECIFIC CONFORMANCE TO THE SEMIWALK COUNTY LAND DEVELOPMENT CODE AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CORRECT ANY DEFECTS IN THE PLANS OR THE FACILITY AS CONSTRUCTED WHICH RESULTS IN A FAILURE TO MEET APPLICABLE CODE REQUIREMENTS. ADMINISTRATIVE ACCEPTANCE OF THE DEVELOPER'S PLANS DOES NOT CONSTITUTE A WAIVER OF ANY CODE REQUIREMENTS NOR DOES IT RELIEVE THE DEVELOPER OF HIS RESPONSIBILITY TO MEET SAID REQUIREMENTS. THIS SPECIFIC APPROVAL IS VALID FOR A PERIOD OF ONE YEAR FROM THE DATE HEREIN APPROVED.

SEMIWALK COUNTY DEVELOPMENT REVIEW DEPARTMENT  
DATE:



**CONCRETE** 6" THICKNESS 3,500 PSI WITH 6"x6" W 1.4W 1.4 W.W.F.

**SUB-GRADE** 6" STABILIZED SUB-GRADE LBR 40 COMPACTED TO 98% AASHTO T-180.

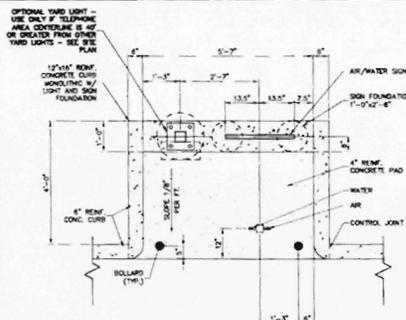
NOTE: UTILIZE 8" CONCRETE OVER UNDERGROUND FUEL TANKS.

**EXPANSION JOINT BETWEEN CURB AND CONCRETE PAVEMENT**

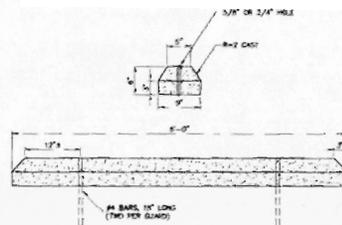
FOR CURB, GUTTER AND CURB & GUTTER PROVIDE 1" - 1" CONTRACTION JOINTS AT 10' CENTERS (MAX.) CONTRACTION JOINTS ADJACENT TO THE CONCRETE PAVEMENT ON TANGENTS AND FLAT CURVES ARE TO MATCH THE PAVEMENT JOINTS, WITH INTERMEDIATE JOINTS NOT TO EXCEED 10' CENTERS. CURB, GUTTER AND CURB & GUTTER EXPANSION JOINTS SHALL BE LOCATED IN ACCORDANCE WITH SECTION 520 OF THE STANDARD SPECIFICATIONS.

NOTE: CURB SHALL BE CAST OF 3,000 P.S.I. CONCRETE.

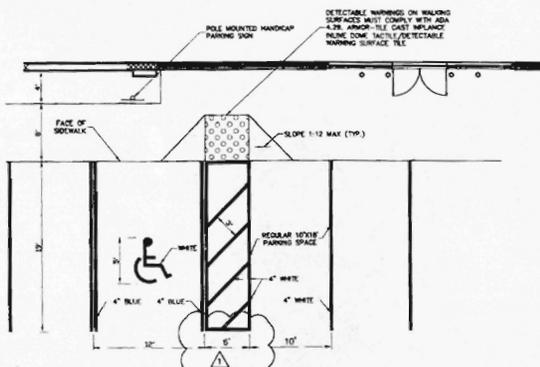
**TYPICAL CONCRETE PAVEMENT SECTION WITH 6" CONCRETE CURB**  
SCALE: 1"=1'-0" 04/26/05 P90



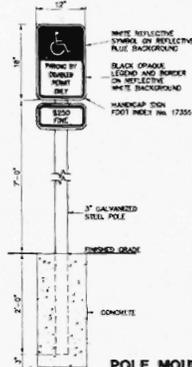
**AIR AND WATER PLAN VIEW DETAIL**  
N.T.S. 04/26/05 P90



**CONCRETE WHEEL STOP**  
SCALE: 1"=1'-0"



**HANDICAP PARKING PAVEMENT MARKING**  
N.T.S.



**POLE MOUNTED HANDICAP PARKING SIGN**  
N.T.S.

- NOTES:**
- 1.) METAL POST TO BE GALVANIZED. ALL BOLTS, NUTS, WASHERS AND SCREWS MUST BE RUSTPROOF.
  - 2.) CONCRETE FOR FOOTING SHALL BE PORTLAND CEMENT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I.
  - 3.) SIGNS WILL BE FABRICATED BY USING REFLECTING COATING IN THE SYMBOL, MESSAGE AND BORDER APPLIED TO A SHEET ALUMINUM BACKING (OBS) IN THICKNESS.
  - 4.) MESSAGE LETTERING SHALL BE UPPER CASE (WHITE) (SERIES B) 2" HIGH IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
  - 5.) THE SYMBOL IS COMPOSED OF TWO ELEMENTS: A WHITE WHEELCHAIR FIGURE (WHICH SHOULD ALWAYS FACE RIGHT) ON A SQUARE BACKGROUND, INTERNATIONAL BLUE IN COLOR (STD. STD. SIGN COLOR #1010).
  - 6.) SIGN POST SHALL BE MIN. 2'-0" CLEAR FROM BACK OF CURB.

ExxonMobil  
Fuel Marketing

U.S. Pagon  
Engineering

Progressive  
DEVELOPMENT GROUP, INC.

NIST SAPPAPHOAO, P.E.  
FL REG. NO. 56803

DATE: 11/15/2007

SCALE: 1"=1'-0"

THIS PLAN IS NOT VALID UNLESS THESE NOTES, SAVED AS A SEPARATE SHEET, ARE PRINTED WITH THIS PLAN.

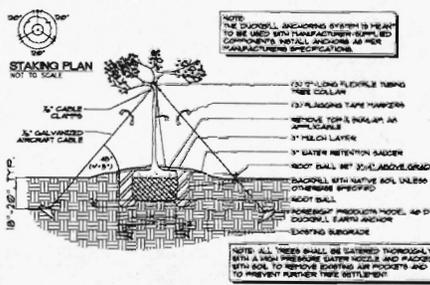
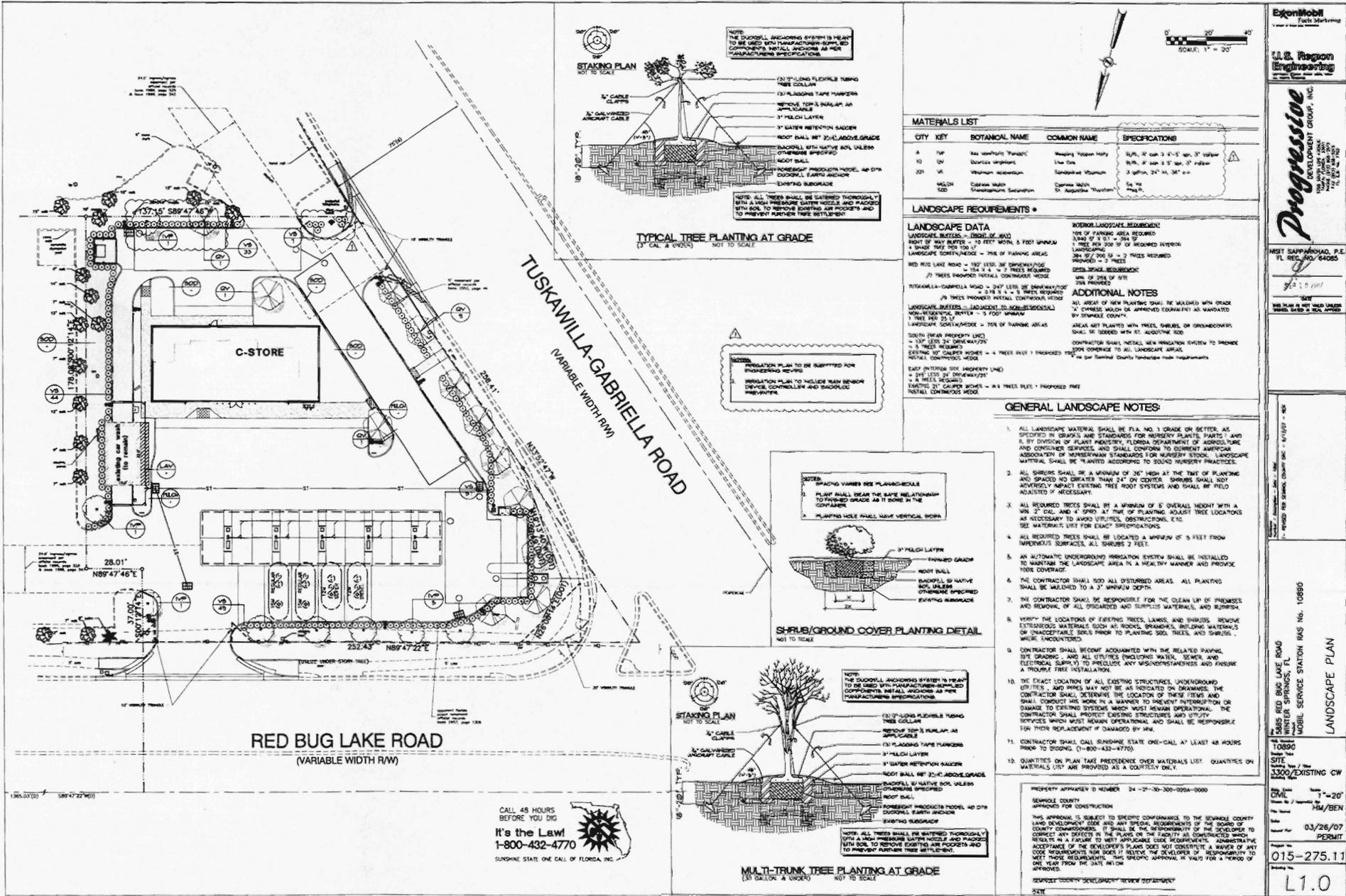
DATE: 04/26/05

SCALE: 1"=1'-0"

DATE: 04/26/05

SCALE: 1"=1'-0"

DATE: 04/26/05



**MATERIALS LIST**

CITY KEY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
A	Red Bayonet Palm	Red Bayonet Palm	1 1/2" dia. 3' tall, 3" cal. 1" dia.
B	Live Oak	Live Oak	1 1/2" dia. 3' tall, 3" cal. 1" dia.
C	Yellow Palm	Yellow Palm	3' tall, 2 1/2" dia. 1" dia.
D	Orange Blossom	Orange Blossom	3' tall, 2 1/2" dia. 1" dia.
E	Shrub	Shrub	3' tall, 2 1/2" dia. 1" dia.

**LANDSCAPE REQUIREMENTS**

**LANDSCAPE DATA**

LANDSCAPE DESIGN - 10% OF TOTAL SITE  
 RIGHT OF WAY PLANTING - 10 FEET WIDE x 5 FEET WIDE  
 LANDSCAPE COVERED AREA - 7% OF PARKING AREAS  
 RED BUG LAKE ROAD - 100' WIDE x 20' DEEP DRIVEWAY/POD  
 TUSKAWILLA-GABRIELLA ROAD - 24' WIDE x 20' DEEP DRIVEWAY/POD  
 LANDSCAPE DESIGN - 10% OF TOTAL SITE  
 LANDSCAPE DESIGN - 10% OF TOTAL SITE  
 LANDSCAPE DESIGN - 10% OF TOTAL SITE

**GENERAL LANDSCAPE NOTES**

- ALL LANDSCAPE MATERIAL SHALL BE FLA. NO. 1 GRADE OR BETTER, AS SPECIFIED IN GRASSES AND STANDARDS FOR NURSERY PLANTS, PARTS I AND II, BY DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, AND SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS FOR NURSERY STOCK. LANDSCAPE MATERIAL SHALL BE PLANTED ACCORDING TO SOUND NURSERY PRACTICES.
- ALL SHRUBS SHALL BE A MINIMUM OF 36" HIGH AT THE TIME OF PLANTING AND SPACED NO GREATER THAN 24" ON CENTER. SHRUBS SHALL NOT ADVERSELY IMPACT EXISTING TREE ROOT SYSTEMS AND SHALL BE FIELD ADJUSTED IF NECESSARY.
- ALL REQUIRED TREES SHALL BE A MINIMUM OF 8' OVERALL HEIGHT WITH A MIN. 2" CAL. AND 4' SPREAD AT TIME OF PLANTING. ADJUST TREE LOCATIONS AS NECESSARY TO AVOID UTILITIES, OBSTRUCTIONS, ETC. SEE MATERIALS LIST FOR EXACT SPECIFICATIONS.
- ALL REQUIRED TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM IMPERVIOUS SURFACES. ALL SHRUBS 2 FEET.
- AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM SHALL BE INSTALLED TO MAINTAIN THE LANDSCAPE AREA IN A HEALTHY MANNER AND PROVIDE TREE COVERAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN UP OF PREMISES AND REMOVAL OF ALL DISRUPTED AND EXCESSIVE MATERIALS AND RUBBISH.
- VERIFY THE LOCATIONS OF EXISTING TREES, LAWN, AND SHRUBS. REMOVE EXCESSIVE MATERIALS SUCH AS ROCKS, BRICKS, BUILDING MATERIALS OR UNDESIRABLE SOILS PRIOR TO PLANTING SOIL, TREES, AND SHRUBS. REFER TO EXISTING RECORDS.
- CONTRACTOR SHALL BECOME ACQUAINTED WITH THE RELATED PAVING, SITE GRADING, AND ALL UTILITIES (INCLUDING WATER, SEWER, AND ELECTRICAL SUPPLY) TO PREVENT ANY UNDESIRABLE DAMAGE AND INSURE A TROUBLE FREE INSTALLATION.
- THE EXACT LOCATION OF ALL EXISTING STRUCTURES, UNDERGROUND UTILITIES, AND WELLS MAY NOT BE AS INDICATED ON DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF THESE ITEMS AND SHALL CONDUCT HIS WORK IN A MANNER TO PREVENT INTERFERENCE OR DAMAGE TO EXISTING SYSTEMS WHICH MUST REMAIN OPERATIONAL. THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES AND UTILITY SERVICES WHICH MUST REMAIN OPERATIONAL AND SHALL BE RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED BY HIM.
- CONTRACTOR SHALL CALL SUNSHINE STATE ONE-CALL AT LEAST 48 HOURS PRIOR TO DIGGING. (1-800-432-4770).
- QUANTITIES ON PLAN TAKE PRECEDENCE OVER MATERIALS LIST. QUANTITIES ON MATERIALS LIST ARE PROVIDED AS A COURTESY ONLY.

CALL 48 HOURS BEFORE YOU DIG  
**It's the Law!**  
 1-800-432-4770  
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

**ExxonMobil**  
 Fuel Performance

**J.L.B. Region Engineering**  
 1100 W. 11th St., Suite 100  
 Fort Lauderdale, FL 33304  
 Phone: (954) 571-1100  
 Fax: (954) 571-1101

**Progressive DEVELOPMENT GROUP, INC.**  
 1100 W. 11th St., Suite 100  
 Fort Lauderdale, FL 33304  
 Phone: (954) 571-1100  
 Fax: (954) 571-1101

**NEST SAPPAPHANAD, P.E.**  
 FL REG. NO. 64065  
 03/26/07

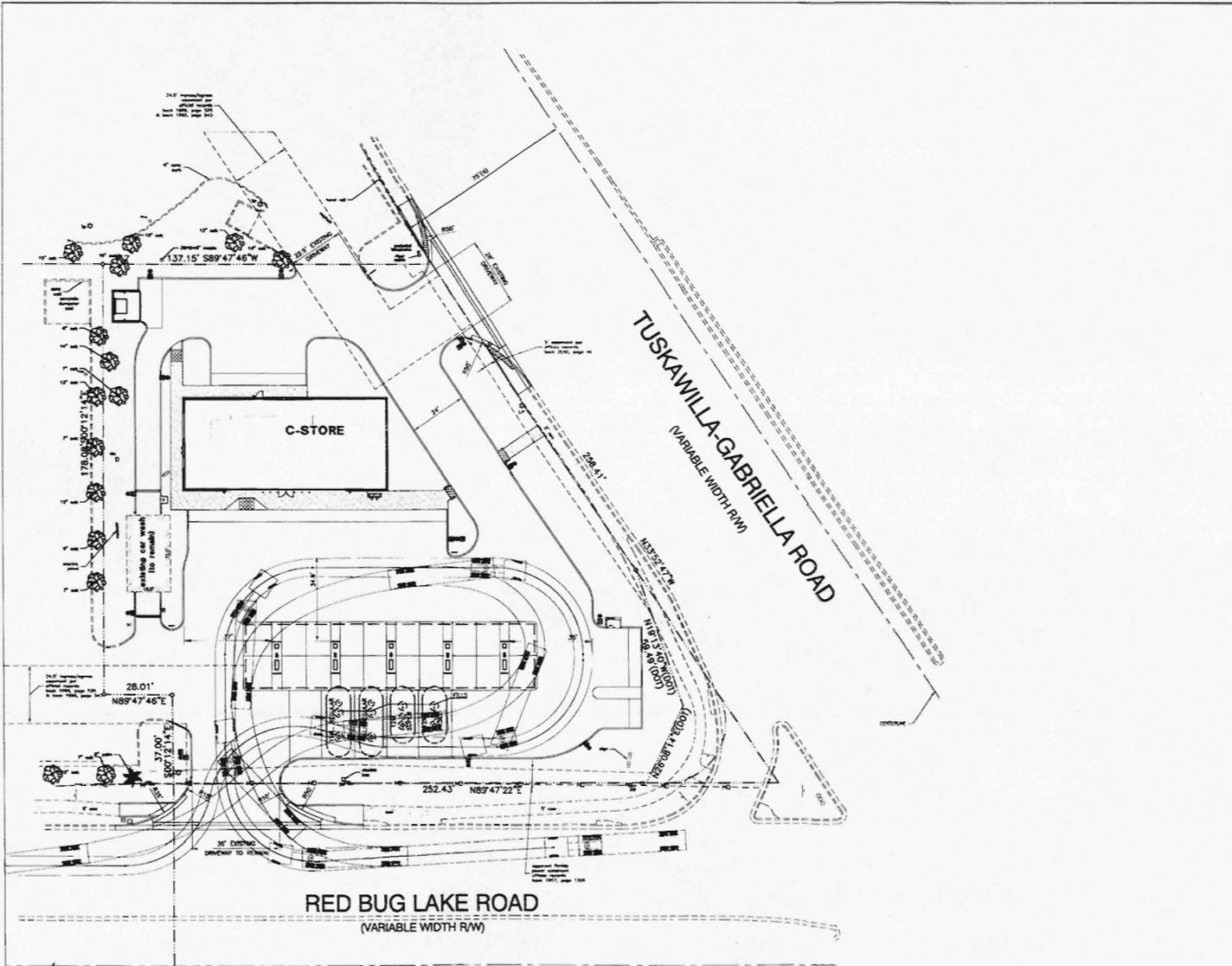
**LANDSCAPE PLAN**

1788 RED BUG LAKE ROAD  
 WINTER SPRINGS, FL  
 MOBIL SERVICE STATION RAS NO. 10890

**LANDSCAPE PLAN**

DATE: 03/26/07  
 SCALE: 1" = 20'  
 DRAWN BY: HM/BEN  
 CHECKED BY: HM/BEN  
 PERMIT: 015-275.11

**L1.0**



PROPERTY APPRAISER ID NUMBER 24-21-30-300-026A-0000  
 SEMINOLE COUNTY  
 APPROVED FOR CONSTRUCTION

THIS APPROVAL IS SUBJECT TO SPECIFIC CONFORMANCE TO THE SEMINOLE COUNTY LAND DEVELOPMENT CODE AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CORRECT ANY DEFICIENCIES IN THE PLANS OR THE FACILITY AS CONSTRUCTED WHICH RESULTS IN A FAILURE TO MEET APPLICABLE CODE REQUIREMENTS. ADMINISTRATIVE ACCEPTANCE OF THE DEVELOPER'S PLANS DOES NOT CONSTITUTE A WAIVER OF ANY CODE REQUIREMENTS NOR DOES IT RELIEVE THE DEVELOPER OF RESPONSIBILITY TO MEET THOSE REQUIREMENTS. THIS SPECIFIC APPROVAL IS VALID FOR A PERIOD OF ONE YEAR FROM THE DATE BELOW.

SEMINOLE COUNTY DEVELOPMENT REVIEW DEPARTMENT  
 DATE

**TANKER PATH APPROVAL**  
 FLEET Representative

Signature: HERB JACKSON Date: \_\_\_\_\_

ExxonMobil  
 Path Marking

U.S. Region  
 Engineering

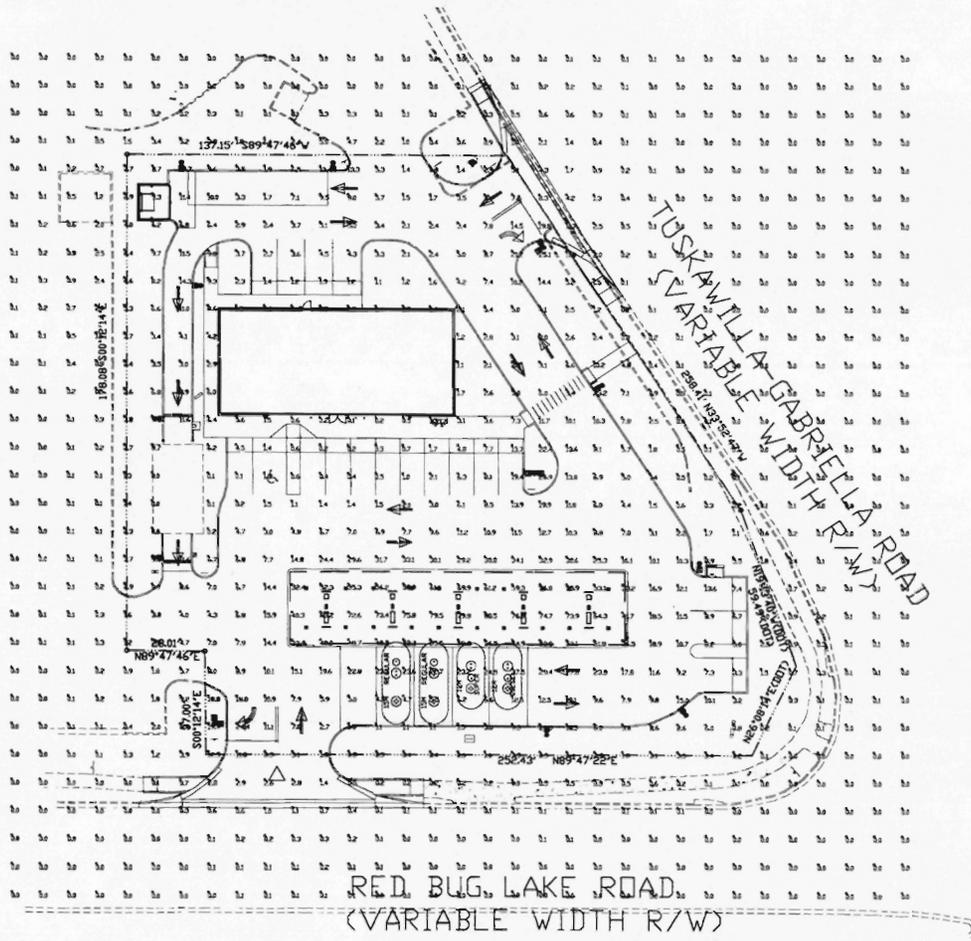
**Progressive**  
 DEVELOPMENT GROUP, INC.  
 11000 W. UNIVERSITY BLVD.  
 SUITE 100  
 WINTER SPRINGS, FL 32789  
 TEL: 407.688.1100

NEST SAPPARONAD, P.E.  
 FL REG. NO. 84685  
 DATE: 03/26/07

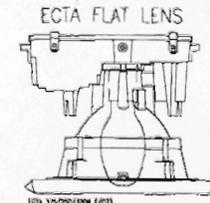
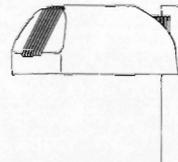
1 - REVIEW FOR SEMINOLE COUNTY PERMITS - 03/26/07 - 800

SEMINOLE COUNTY  
 10893  
 13300/EXISTING CW  
 TANKER PATH PLAN

03/26/07  
 PERMIT  
 015-275.11  
 TP-1



# CHALLENGER



Symbol	Qty	Label	Manufacturer	Lumens	CU	Description	Total Watts
1	4	CHALLENGER	30000	3700	100%	ECTA FLAT LENS at 1	148
2	8	CHALLENGER	30000	3700	100%	ECTA FLAT LENS at 1	296
3	1	CHALLENGER	30000	3700	100%	ECTA FLAT LENS at 1	148
4	1	CHALLENGER	30000	3700	100%	ECTA FLAT LENS at 1	148

Numeric Summary						
Label	Avg	Max	Min	Avg/Min	Max/Min	
ALL CALC POINTS	1.287	1.874	0.72	2.58	2.61	

Statistical Area Summary						
Label	Avg	Max	Min	Avg/Min	Max/Min	
CHALLENGER	1.179	1.874	0.72	2.61	2.61	
CHALLENGER	1.287	1.874	0.72	2.58	2.61	

Total Watts = 592

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions. The lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard light ranges in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamp and other variable field conditions.

ExxonMobil  
Petro-Service

U.S. Exxon  
Engineering

**Progressive**  
ILLUMINATING ENGINEERING GROUP, INC.  
1000 W. 10TH AVENUE  
DENVER, CO 80202  
TEL: 303.733.1111

WEST SAPPALWOOD, P.E.  
FL REG. NO. 50005

DATE: 03/22/07

THIS PLAN IS NOT VALID UNLESS SIGNED AND SEALED AS SHOWN

5665 RED BUG LAKE ROAD  
WESTER SPRINGS, FLORIDA  
33007  
MOBILE SERVICE STATION

PHOTOMETRIC PLAN

MOBILE SERVICE STATION  
33007

PROPERTY APPROVED 03/22/07 24-21-30-300-000A-0000  
SEMIWALK COUNTY  
APPROVED FOR CONSTRUCTION

THIS APPROVAL IS SUBJECT TO STRICT CONFORMANCE TO THE SEMIWALK COUNTY LAND DEVELOPMENT CODE AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CORRECT ANY DEFICIENCIES IN THE PLAN OR THE FACILITY AS CONSTRUCTED WHICH RESULTS IN A FAILURE TO MEET APPLICABLE CODE REQUIREMENTS. ADMINISTRATIVE ACCEPTANCE OF THE DEVELOPER'S PLAN DOES NOT CONSTITUTE A WAIVER OF ANY CODE REQUIREMENTS. NEW CODES IT BELIEVES THE DEVELOPER IS RESPONSIBLE TO MEET THOSE REQUIREMENTS. THIS SPECIAL APPROVAL IS VALID FOR A PERIOD OF ONE YEAR FROM THE DATE BELOW APPROVED.

SEMIWALK COUNTY DEVELOPMENT REVIEW DEPARTMENT  
DATE:

LO-B7277  
**lei** INDUSTRIES

AS SHOWN  
HM/BEN  
03/27/07

015-275.11

PH.0



584405

1989 FEB 13 PM 2: 52

FILE #PZ88-61

SEMINOLE COUNTY D.O. #88-2080

SEMINOLE COUNTY DEVELOPMENT  
ORDER

On November 8, 1988, Seminole County issued this Development Order relating to and touching and concerning the following described property:

TAX PARCEL 20E, LOCATED IN SECTION 24, TOWNSHIP 21, RANGE 30, SEMINOLE COUNTY FLORIDA. FURTHER DESCRIBED AS A 1 ACRE PARCEL LOCATED AT THE SOUTHEAST CORNER OF RED BUG LAKE AND TUSKAWILLA ROADS.

[The afordescribed legal description has been provided to Seminole County by the owner of the afordescribed property.]

Findings of Fact:

Property Owner: MOBIL OIL CORPORATION  
Development Name: TUSKAWILLA COUNTY STORE PCD  
Requested Development Approval: REZONE TO PCD

The development approval sought is consistent with the Seminole County Comprehensive Plan and will be developed consistent with and in compliance to applicable land development regulations and all other applicable regulations and ordinances.

The owner of the property has expressly agreed to be bound by and subject to the development conditions and commitments stated below and has covenanted and agreed to have such conditions and commitments run with, follow and perpetually

burden the afordescribed property.

Order

NOW, THEREFORE, it is ORDERED AND AGREED THAT:

(1) The aforementioned application for development approval is GRANTED.

(2) All development shall fully comply with all of the codes and ordinances in effect in Seminole County at the time of issuance of permits including all impact fee ordinances.

PREPARED BY: JANE STAPLETON  
SEMINOLE COUNTY  
LAND MANAGEMENT  
1101 E. FIRST STREET  
SANFORD, FL 32771

*Sandy Neal*

FILED IN OFFICE  
CTY. CLERK SEMINOLE CO. FL.

69 FEB -2 AM 9:03

SEMINOLE CO. FL.  
cc

OFFICIAL RECORDS  
BOOK 2041  
PAGE 0887  
SEMINOLE CO. FL.

FILED IN OFFICE  
CTY. CLERK SEMINOLE CO. FL.

69 JUN 31 PM 12:50

SEMINOLE CO. FL.  
cc

CERTIFIED COPY  
MARYANNE MORSE  
CLERK OF CIRCUIT COURT  
SEMINOLE COUNTY, FLORIDA  
BY: *S. Neal*  
DEPUTY CLERK

(3) The conditions upon this development approval and the commitments made as to this development approval, all of which have been accepted by and agreed to by the owner of the property are as follows:

COMPLIANCE WITH DEVELOPERS AGREEMENT APPROVED ON NOVEMBER 8, 1988 AND ALL AMENDMENTS THERETO.

(4) This Development Order touches and concerns the aforescribed property and the conditions, commitments and provisions of this Development Order shall perpetually burden and run with and follow the said property and be a servitude upon and binding upon said property unless released in whole or part by action of Seminole County by virtue of a document of equal dignity herewith. The owner of the said property has expressly covenanted and agreed to this provision and all other terms and provisions of this Development Order.

(5) The terms and provisions of this Order are not severable and in the event any portion of this Order shall be found to be invalid or illegal then the entire order shall be null and void.

DONE and ORDERED this 8th day of November, 1988.

ATTEST:



By:

*Sandra S. [Signature]*

APPROVING AUTHORITY

294  
SEMINOLE CO. FL.  
0888  
OFFICIAL RECORDS  
BOOK PAGE

OWNER'S CONSENT AND COVENANT

COMES NOW, I. R. Heath of MOBIL OIL CORPORATION,  
the owner of the aforescribed property in this Development  
Order, on behalf of itself and its heirs, successors, assigns or  
transferees of any nature whatsoever and consents to, agrees  
with and covenants to perform and fully abide by the provisions,  
terms, conditions and commitments set forth in this Development  
Order.

204  
SEMINOLE CO. FL.  
0889  
OFFICIAL RECORDS  
BOOK PAGE

Danielle Jones  
Witness

I.R. Heath  
I.R. HEATH Owner

Carl Keady  
Witness

**STAFF SERVICES MANAGER**

STATE OF Virginia )  
COUNTY OF Fairfax )

I HEREBY CERTIFY that on this day, before me, an  
officer duly authorized in the State and County aforesaid to take  
acknowledgements, personally appeared I.R. HEATH,  
to me known as to be the person described in and who executed  
foregoing instrument and he/she acknowledged before me that  
he/she executed the same.

WITNESS my hand and official seal in the County and  
State last aforesaid this 26 day of January, 1989.

Clayton S. Spross  
Notary Public, in and for the County  
and State Aforementioned

My Commission Expires:  
My Commission Expires November 29, 1992



2048 1471

SEMINOLE CO. FL.

TUSCAWILLA COUNTRY STORE  
MOBIL OIL CORPORATION  
DEVELOPER'S COMMITMENT AGREEMENT

FILED IN OFFICE  
CTY. COMM. REC'D  
MARYANNE MORSE

89 FEB 28 PM 2:49

CLERK TO B.C.C.  
SEMINOLE CO. FL.  
BY CC D.C.

RECORDED & VERIFIED

1989 MAR -9 AM 11:54

591666

MARYANNE MORSE  
CLERK OF CIRCUIT COURT  
SEMINOLE COUNTY, FL.

I. Legal Description:

That portion of the Southeast 1/4 of Section 24, Township 21 South, Range 30 East, Seminole County, Florida, described as follows:

Commence at the Northeast corner of the Southeast 1/4 of Section 24; thence South 89 degrees 47'22" West along the North line of said Southeast 1/4 Section 24 for 1,365.03 feet; thence South 00 degrees 12'14" East for 75.00 feet to the Southerly right-of-way line for Red Bug Lake Road and the Point of Beginning; Thence continue South 00 degrees 12'14" East for 37.00 feet; thence North 89 degrees 47'46" East for 28.01 feet; thence South 00 degrees 12'14" East for 178.08 feet; thence South 89 degrees 47'46" West for 137.15 feet to the Easterly right-of-way line (lying 75.00 feet Easterly of when measured at right angles to the centerline thereof) of Tusawilla-Gabriella Road; thence North 33 degrees 52'47" West along said Easterly right-of-way line for 258.41 feet to the aforesaid Southerly right-of-way line of Red Bug Lake Road; thence North 89 degrees 47'22" East along said Southerly right-of-way line for 252.43 feet to the Point of Beginning. Containing 0.996 Acres, more or less.

Subject to additional right-of-way taking, or the external area of a curve concave to the Southeast, having a radius of 25.00 feet; said curve being tangent to the Easterly right-of-way line of Tusawilla-Gabriella Road and the Southerly right-of-way line of Red Bug Lake Road.

II. Statement of Basic Facts:

Total Acreage 0.99 AC

Total Building Square footage 988 Square Feet

Specific uses shall be for a gas station with gas pumps and a car wash.

III. Landscaping and Buffers:

Shall comply with requirements for C-1 zoning category, as shown on the site plan.

IV. Off-Site Improvements:

Developer will provide a 5 foot sidewalk in the rights-of-way adjacent to the project shown on the site plan. Developer has installed deceleration lanes for two right-in/right-out entrances in the rights-of-way as shown on the site plan. Developer will extend the sanitary sewer lines within the rights-of-way of Tusawilla Road north from Willa Springs Villas to his site as shown on the site plan.

V. Impact Commitments:

A. Roads:

This project participated in the Tri-Party Agreement for improvements to Red Bug Lake and Tuscawilla Roads.

B. Fire Protection

The Developer will pay fire impact fees in accordance with ordinance #87-11, or its successor.

C. Law Enforcement:

The Developer will pay law enforcement impact fees as applicable at the time of building permit issuance.

D. Water and Sewer:

Water and sewer will be provided by Seminole County. Water and sewer line are shown on the site plan.

VI. Other Commitments:

A. Land Development Code Contingency:

Unless a particular item is specifically covered or permitted in this agreement, the applicable portion of the Seminole County Land Development Code shall prevail.

B. Buildings will not exceed one story in height.

C. Allowable uses of the property shall be those uses allowed in C-1 Retail/Commercial zoning, a car wash and gas pumps.

D. Developer's Definition:

When the term "Developer" is used herein, same shall be taken or construed to mean Mobil Oil Corporation. All obligations, liabilities, and responsibilities incurred by or implied by the Developer by this agreement shall be assumed by any successors in interest as the overall Development of the Planned Commercial Development.

THE STATE OF VIRGINIA )  
 )  
COUNTY OF FAIRFAX )

BEFORE ME, the undersigned authority in and for Fairfax County, Virginia, on this 22nd day of February, 1989 personally appeared D.R. HAYES and I.R. HEATH, known to me to be the person(s) whose name(s) are subscribed to the foregoing instrument, and known to me to be the ASS'T. SECRETARY and ASS'T. SECRETARY, respectively, of MOBIL OIL CORPORATION, a New York corporation, and acknowledged to me that they executed the said instrument for the purposes and consideration therein expressed, and as the act and deed of said corporation.

GIVEN under my hand and seal of office this 22 day of February, 1989.

*Elizabeth A. Winkler*  
Notary Public



My Commission Expires: ELIZABETH A. WINKLER  
MY COMMISSION EXPIRES 9/9/91

At a Meeting of the Board of Directors of MOBIL OIL CORPORATION held at 150 East 42nd Street, New York, N. Y., on the 25th day of June, 1987, at which meeting a quorum was present and assented to its passage, the following Resolution was adopted:

2048 1474  
OFFICIAL RECORDS  
BOOK PAGE  
SEMINOLE CO. FL.

RESOLVED, that effective July 1, 1987, the Treasurer, the Senior Assistant Controller, the Assistant Treasurers, the Assistant Controllers, and each of them, be and they hereby are authorized to execute, acknowledge and deliver any and all instruments in the name and on behalf of this Corporation, including, without limiting the generality of the foregoing, deeds conveying real estate, with the same force and effect as if specific authority were granted by this Board in each particular instance; and the Secretary or a Senior Assistant Secretary or an Assistant Secretary is hereby authorized to attest the execution of such instruments and to affix the Corporate Seal thereto.

I, D.R. HAYES, Assistant Secretary of MOBIL OIL CORPORATION, do hereby certify that the foregoing Resolution is a true copy from the records of the said MOBIL OIL CORPORATION, and that said Resolution is now in full force and effect.

IN TESTIMONY WHEREOF, I have signed my name and affixed the Corporate Seal at Fairfax, Virginia, this 22 day of February, 1989.



D.R. Hayes  
Assistant Secretary

/bc0220

BK 145 Pg 460, 3D

Approved by the Board of County Commission on November 8, 1988.

Mobil Oil Corporation

By: [Signature]

**I.R. HEATH**  
**ASST. SECRETARY**

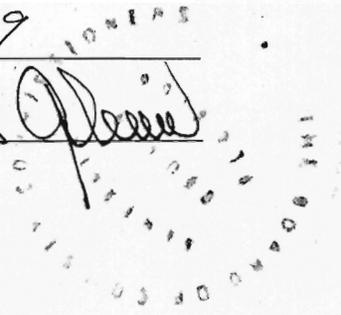
Date: February 22, 1989

Board of County Commissions

Seminole County, Florida

Date: 2-27-89

[Signature]  
Chairman



OFFICIAL RECORDS  
BOOK PAGE  
2048 1475  
SEMINOLE CO. FL.

7503M/3

BK 145 Pg 460.3E

Z2007-036

DEVELOPMENT ORDER #07-21700006

**SEMINOLE COUNTY DENIAL DEVELOPMENT ORDER**

On December 11, 2007, Seminole County issued this Denial Development Order relating to and touching and concerning the following property described in the attached legal description as Exhibit "A".

**Property Owner(s):** Exxon Mobil Oil Corporation

**Project Name:** Red Bug Lake Road 5885/Mobile PCD Major Amendment

**Requested Development Approval:** The applicant is requesting to increase the square footage of the convenience store from 988 square feet to 4,200 square feet; an increase of 3,212 square feet.

The Board of County Commissioners has determined that the rezone request from PCD (Planned Commercial Development) to PCD (Planned Commercial Development) is not compatible with the surrounding area and could not be supported.

After fully considering staff analysis titled "Red Bug Lake Road 5885/Mobile PCD Major Amendment" and all evidence submitted at the public hearing on December 11, 2007, regarding this matter the Board of County Commissioners have found, determined and concluded that the requested rezone from PCD (Planned Commercial Development) to PCD (Planned Commercial Development) should be denied.

**ORDER**

**NOW, THEREFORE, IT IS ORDERED AND AGREED THAT:**

The aforementioned application for development approval is **DENIED**.

**Done and Ordered on the date first written above.**

**SEMINOLE COUNTY BOARD  
OF COUNTY COMMISSIONERS**

By: \_\_\_\_\_  
Carlton D. Henley, Chairman

**EXHIBIT "A"**

**LEGAL DESCRIPTION**

**MOBIL SERVICE STATION RAS#10890  
5885 RED BUG LAKE ROAD  
WINTER SPRINGS, FLORIDA**

THAT PORTION OF THE SOUTHEAST 1/4 OF SECTION 24, TOWNSHIP 21 SOUTH, RANGE 30 EAST, SEMINOLE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 24; THENCE S89°47'22"W ALONG THE NORTH LINE OF SAID SOUTHEAST 1/4 OF SECTION 24 FOR 1365.03 FEET; THENCE S00°12'14"E FOR 75.00 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE FOR RED BUG LAKE ROAD AND THE POINT OF BEGINNING; THENCE CONTINUE S00°12'14"E FOR 37.00 FEET; THENCE N89°47'46"E FOR 28.01 FEET; THENCE S00°12'14"E FOR 178.08 FEET; THENCE S89°47'46"W FOR 137.15 FEET TO THE EASTERLY RIGHT-OF-WAY LINE (LYING 75.00 FEET EASTERLY OF WHEN MEASURED AT RIGHT ANGLES TO THE CENTERLINE THEREOF) OF TUSKAWILLA-GABRIELLA ROAD; THENCE N33°52'47"W ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR 258.41 FEET TO THE AFORESAID SOUTHERLY RIGHT-OF-WAY LINE OF RED BUG LAKE ROAD; THENCE N89°47'22"E ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE FOR 252.43 FEET TO THE POINT OF BEGINNING.

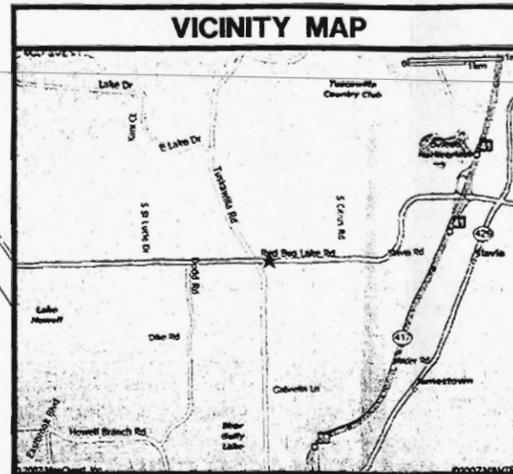
SUBJECT TO ADDITIONAL RIGHT-OF-WAY TAKING, OF THE EXTERNAL AREA OF A CURVE CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 25.00 FEET; SAID CURVE BEING TANGENT TO THE EASTERLY RIGHT-OF-WAY LINE OF TUSKAWILLA-GABRIELLA ROAD AND THE SOUTHERLY RIGHT-OF-WAY LINE OF RED BUG LAKE ROAD.

LESS AND EXCEPT ALL ROAD RIGHTS-OF-WAY INCLUDING BUT NOT LIMITED TO THAT PORTION TAKEN BY ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 2340, PAGE 844, OF THE PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA.



**LEGEND**

TYP	TYPICAL		PROPOSED CURB
H/C	HANDICAP		PROPERTY LINE
R	RADIUS		CENTER LINE
R/W	RIGHT-OF-WAY		RIGHT-OF-WAY
	TRAFFIC FLOW (INFORMATIONAL ONLY)		EXISTING EDGE OF PAVEMENT
	HANDICAP PARKING		PROPOSED CONCRETE PAVEMENT
	AREA LIGHT		EXISTING CONCRETE
			PROPOSED CONCRETE SIDEWALK



**SITE DATA**

1. SITE ADDRESS	5885 RED BUG LAKE ROAD WINTER SPRINGS, FLORIDA
2. GROSS SITE AREA	42,264 SF .97 AC
3. EXISTING ZONING	PCD
4. PROPOSED ZONING	PCD
5. PRESENT USE	CONVENIENCE FOOD AND BEVERAGE STORE, SELF-SERVICE FUEL PUMPS & CAR WASH
6. DEVELOPED USE	CONVENIENCE FOOD AND BEVERAGE STORE, SELF-SERVICE FUEL PUMPS & CAR WASH
7. BUILDING SETBACKS	FRONT (RED BUG LAKE ROAD) 25 FT SIDE (EAST) 9 FT REAR (SOUTH) 10 FT SIDE (TUSKAWILLA-GABRIELLA ROAD) 25 FT
8. SITE AREAS:	
VEHICULAR USE AREA	26,219 SF 62.04%
BUILDING AREA	
C-STORE	3,300 SF 7.81%
CAR WASH	576 SF 1.36%
MECHANICAL PAD	310 SF 0.73%
TRASH ENCLOSURE AREA	148 SF 0.35%
SIDEWALK AREA	1,245 SF 2.95%
TOTAL IMPERVIOUS AREA	31,798 SF 75.24%
PERVIOUS AREA	10,466 SF 24.761%
GROSS SITE AREA	42,264 SF 100.00%
FLOOR AREA RATIO	0.0781

9. PARKING DATA:

PARKING REQUIRED:

1 SPACE PER 100 SF OF NON-STORAGE AREA  
CONVENIENCE STORE = 3300 SF - 1596 SF STORAGE  
= 1700 SF / 100 SF = 17 SPACES

PARKING PROVIDED:

12' x 20' HANDICAP SPACE = 1 SPACES  
10' x 20' SPACES = 14 SPACES  
12' x 20' SPACES = 3 SPACES

TOTAL PARKING SPACES REQUIRED = 17 SPACES  
TOTAL PARKING SPACES PROVIDED = 18 SPACES

10. UTILITIES

WATER SERVICE WILL BE PROVIDED BY: SEMINOLE COUNTY  
CONTACT NAME: CHARLES BALL  
ADDRESS: 520 W. LAKE MARY BLVD STE 200  
SANFORD, FL 32773  
PH# (407) 665-5669

SEWER SERVICE WILL BE PROVIDED BY: SEMINOLE COUNTY  
CONTACT NAME: CHARLES BALL  
ADDRESS: 520 W. LAKE MARY BLVD STE 200  
SANFORD, FL 32773  
PH# (407) 665-5669

ELECTRIC SERVICE WILL BE PROVIDED BY: PROGRESS ENERGY  
CONTACT NAME: EVA MCCOMMELLE  
2801 WEST SR 436  
OWENSO, FL 32765  
PH# (407) 359-4479

TELEPHONE SERVICE WILL BE PROVIDED BY: BELL SOUTH  
CONTACT NAME: SCOTT LOVENZ  
1132 COMMERCE  
WINTER SPRINGS, FL 32771  
PH# (407) 302-7611

GAS SERVICE WILL BE PROVIDED BY: PEOPLES GAS SYSTEM  
CONTACT NAME: J.J. MORRIS  
600 W ROBINSON STREET  
ORLANDO, FL 32802  
PH# (407) 420-6649

11. FLOOD ZONE  
FEMA FLOOD ZONE X AS SHOWN IN F.I.R.M. COMMUNITY PANEL NO. 12117C 0145E REVISED APRIL 17, 1995
12. OWNER  
MOBIL OIL CORPORATION  
P.O. BOX 4973  
HOUSTON, TX 77210
13. THERE ARE NO ENVIRONMENTALLY SENSITIVE AREAS ON THIS SITE.
14. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH SEMINOLE COUNTY REQUIREMENTS.
15. BUILDING HEIGHT = 22'-3" (APPROX)  
CANOPY HEIGHT = 21'-6" (APPROX)  
CAR WASH HEIGHT = 20'-0"  
TRASH ENCLOSURE HEIGHT = 7'-4"
16. CONSTRUCTION TYPE  
C-STORE - TYPE V UNSPRINKLED  
CANOPY - TYPE IV  
CARWASH - EXISTING TO REMAIN
17. APPLICANT/AGENT  
BRETT NEVARIL  
PROGRESSIVE DEVELOPMENT GROUP, INC.  
5205 SOUTH LOIS AVENUE, TAMPA, FL 33611  
(813) 805-0512  
BRETTNEVARIL@PROGRESSIVEDG.COM
18. SOILS CLASSIFICATION  
BASED ON THE NATURAL RESOURCES CONSERVATION SERVICE SOIL SURVEY FOR SEMINOLE COUNTY, MYAKKA AND EAUGALLIE FINE SAND COVERS THE NORTHERN PORTION OF THE SITE AND TAVARES-MILLOPPER FINE SAND COVERS THE SOUTHERN PORTION OF THE SITE.

ITEM NO.	FURNISHED BY:	INSTALLED BY:	DESCRIPTION	DRAWING NUMBER
1	CC	CC	1. ALL UTILITY CONNECTIONS ARE TO BE AS PER LOCAL CODE BY G.C.	C1.0
2	CC	CC	2. G.C. TO PROVIDE CONDUIT AND WIRING TO ALL EXXONMOBIL I.D. SIGNS AND YARD LIGHTS AND CONDUIT ONLY TO PUBLIC TELEPHONE BOOTH.	C1.0
3	CC	CC	3. SITE PLAN SUPERSEDES ALL WORKING DRAWINGS.	C1.0
4	CC	CC	4. UNLESS OTHERWISE NOTED, ALL PAINT TO BE FURNISHED BY G.C.	C1.0
5	CC	CC	5. 30" HIGH INTENSITY R1-1 STOP SIGN AND 24" WHITE THERMOPLASTIC STOP BAR TO BE PROVIDED AS SHOWN ON THIS PLAN.	C1.0
6	CC	CC	6. ALL CONSTRUCTION SHALL COMPLY WITH REQUIREMENTS OF THE COUNTY DEVELOPMENT CODE, ENGINEERING STANDARDS MANUAL AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.	C1.0
<b>BUILDINGS</b>				
1	CC	CC	1. CC BLDG. TYP: 3,300 S.F. CONVENIENCE STORE	C1.0
2	CC	CC	2. CC BLDG. TYP: EXISTING CAR WASH	C1.0
3	CC	CC	3. SPARE	C1.0
4	CC	CC	4. SPARE	C1.0
<b>CANOPY AND ISLANDS</b>				
5	CC	CC	5. CC CANOPY TYP: 123.66' X 26'-0"	C1.0
6	EM	CC	6. EM (4) MFD DRESSER WAYNE PLUS SYSTEM	C1.0
7	EM	CC	7. EM (1) FOUR PRODUCT MFD DRESSER WAYNE PLUS SYSTEM	C1.0
8	EM	CC	8. EM (2) WORK CANOPY FASCIA SIGNS (WIRING BY G.C.)	C1.0
<b>YARD AREA - TANKS</b>				
9	EM	CC	9. EM NEW DOUBLE WALL FIBERGLASS UNDER GROUND STORAGE TANKS 2-(15K) GAL. UNLEADED REGULAR TANKS MANIFOLDED TOGETHER	MOBL TANK DRAWINGS
10	EM	CC	10. EM NEW 1-1/2" HD. STP W/ NEW CONTAINMENT SLUMP AND 48" W/ MANHOLE	700100/C4.0
11	CC	CC	11. CC 2" DIAMETER PRODUCT PIPING (FLEXIBLE)	700100/C4.0
12	CC	CC	12. CC 3" STAGE TWO W/PRO RECOVERY PIPE, MANIFOLD BAR AND 3" TRIP HOSE DOUBLE WALL	700100/C4.0
13	EM	CC	13. EM G.C. TO INSTALL STREET BOXES ON UNDER GROUND STORAGE TANKS	700100
<b>YARD AREA - OTHER</b>				
14	CC	CC	14. CC 6" THK CONC. 3,500 PSI W/ 8"x8" W 1.4W 1.4 WWF	C1.0
15	CC	CC	15. CC 8" THK CONC. 3,500 PSI W/ NO. 3 BARS 12" OC (TANK FIELD)	700100
16	CC	CC	16. CC 6" x 18" VERTICAL CURB	C3.0
17	CC	CC	17. CC 6" THK CONC. 3,500 PSI W/ 6"x6" W 1.4W 1.4 WWF TINTED BLACK	C1.0
18	CC	CC	18. SPARE	C1.0
19	CC	CC	19. CC 40-lb FIRE EXTINGUISHER (TYP OF 5 - AS SHOWN ONE PER ISLAND)	C1.0
20	EM	CC	20. EM CC VACUUM STAND	C3.0
21	EM	CC	21. EM CC AIR / WATER STAND	C3.0
22	EM	CC	22. EM CC EXISTING ID SIGN TO REMAIN	C1.0
23	EM	CC	23. EM CC COIN BOX	C1.0
24	CC	CC	24. CC SPARE	C1.0
25	CC	CC	25. CC 12'-0" X 12'-0" X 6'-0" HIGH MASONRY TRASH ENCLOSURE	TR1.0
26	EM	CC	26. EM CC BUILDING SIGNAGE	C1.0
27	CC	CC	27. CC THERMOPLASTIC DIRECTIONAL STRIPING (TYPICAL)	C1.0
28	CC	CC	28. CC DOUBLE 6" SOLID YELLOW THERMOPLASTIC STRIPING	C1.0
29	CC	CC	29. CC 24" WHITE THERMOPLASTIC STOP BAR	C1.0
30	CC	CC	30. CC 12' x 55' LOADING ZONE - 6" WHITE STRIPING	C1.0
31	CC	CC	31. CC PAVEMENT MARKINGS FOR H/C PARKING AND STANDARD PARKING SPACE ALL OTHER PAVEMENT MARKINGS TO BE PER LOCAL CODE	C3.0
32	CC	CC	32. CC 6" WIDE PIANO KEY, 12" WHITE STRIPING, 24" ON CENTER	C1.0
33	CC	CC	33. CC HANDICAP PARKING SIGN, WALL MOUNTED	C3.0
34	CC	CC	34. CC RS-1 "DO NOT ENTER" SIGN	C1.0
35	CC	CC	35. CC R1-1 "STOP" SIGN	C1.0
36	CC	CC	36. CC PAINT CONCRETE PAVEMENT ADJACENT TO SIDEWALK WITH 6" WIDE STRIP SAFETY YELLOW IN FRONT OF DOORS	C1.0
37	CC	CC	37. CC HANDICAP RAMP WITH DETECTABLE WARNING	C1.0/ 3.0
38	CC	CC	38. CC 5" CONCRETE SIDEWALK	C1.0/C3.0
39	CC	CC	39. CC 8" CONCRETE SIDEWALK	C1.0/C3.0
40	CC	CC	40. CC 12" x 55' TIGHT TURN ONLY AND R1-1 STOP SIGN	C1.0
41	CC	CC	41. CC METAL KEYWAY JOINT	C3.0/P3.0
42	CC	CC	42. CC SAW CUT LINE, FILL WITH SST JOINT	C1.0
43	CC	CC	43. CC 6" STEEL BOLLARD ENCASED IN PVC TUBE AND TOP (TYP OF 2)	A1.0 CW
44	CS	CC	44. CS 6" STEEL BOLLARD (TYP OF 5)	TR1.0
45	CC	CC	45. CC CANOPY COLUMN (TYP OF 5)	C1.0
46	CC	CC	46. CC HORSESHOE BOLLARD (TYP OF 10)	P13.0
47	CC	CC	47. CC POLE MOUNTED TRANSFORMER	C1.0/C4.0
48	CC	CC	48. CC (9) 18" HIGH 350 WATT FIXTURE/POLE (SEE PHOTOMETRIC DRAWING) (3) DUAL HEAD 350 WATT FIXTURE/POLE	C3.0/PH-1
49	CC	CC	49. CC 1 1/2" METER W/ 1 1/2" BFP (FOR BUILDING USE)	C4.0
50	CC	CC	50. CC 1" METER W/ 1" BFP (FOR IRRIGATION USE)	C4.0
51	CC	CC	51. CC 2" PVC SAN. SEWER CONNECT TO EXIST. SAN SEWER STUB OUT	C4.0
52	CC	CC	52. CC "FLAPPER" VALVE ON SEWER LINE AT CAR WASH	C4.0
53	CC	CC	53. CC 12" TRENCH DRAIN	C2.0/C3.1
54	CC	CC	54. CC EMERGENCY SHUTOFF SWITCH (TYP OF 2)	C1.0/E1.1
55	CC	CC	55. CC CAR WASH MENU BOARD	C1.0
56	CC	CC	56. CC VENT RISERS WITH SPILL CONTAINMENT SLUMP	C1.0/C4.0
57	CC	CC	57. CC 6" HIGH TEMPORARY CONSTRUCTION CHAIN LINK FENCE	C1.0
58	CC	CC	58. CC LANDSCAPING PER LANDSCAPING PLAN	L1.0
59	CC	CC	59. CC IRRIGATION PER DWG APPROVED BY EXXON MOBIL ENGINEER	L2.0
60	CC	CC	60. CC CAR WASH ENTRANCE/EXIT SIGN	C1.0
61	EM	CC	61. EM CC CAR WASH DRYER UNIT COUNTDOWN TIMER	C1.0/A1.0
62	EM	CC	62. EM CC CARWASH DIRECTIONAL SIGN	C1.0

PROPERTY APPRAISER ID NUMBER 24-21-30-300-020A-0000

SEMINOLE COUNTY  
APPROVED FOR CONSTRUCTION

DATE: 03/26/07  
PERMIT

PROJECT NO: 015-275.11

DRAWING NO: C1.0

SEMINOLE COUNTY DEVELOPMENT REVIEW DEPARTMENT

**ExxonMobil**  
Fuels Marketing

**U.S. Region Engineering**  
CONVENTIONAL DESIGN ENGINEERING  
CORPORATE DESIGN ENGINEERING

**Progressive DEVELOPMENT GROUP, INC.**  
5205 SOUTH LOIS AVENUE, TAMPA, FL 33611  
PHONE: (813) 805-0512  
FAX: (813) 805-0513  
FL REG. NO. 1702

**NISIT SAPPARKHAO, P.E.**  
FL REG. NO. 64085

DATE: 03/26/07

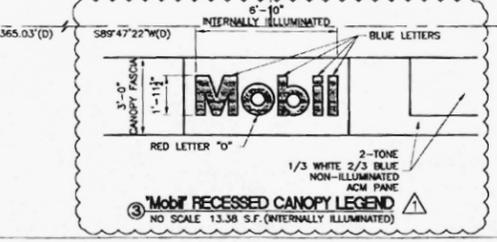
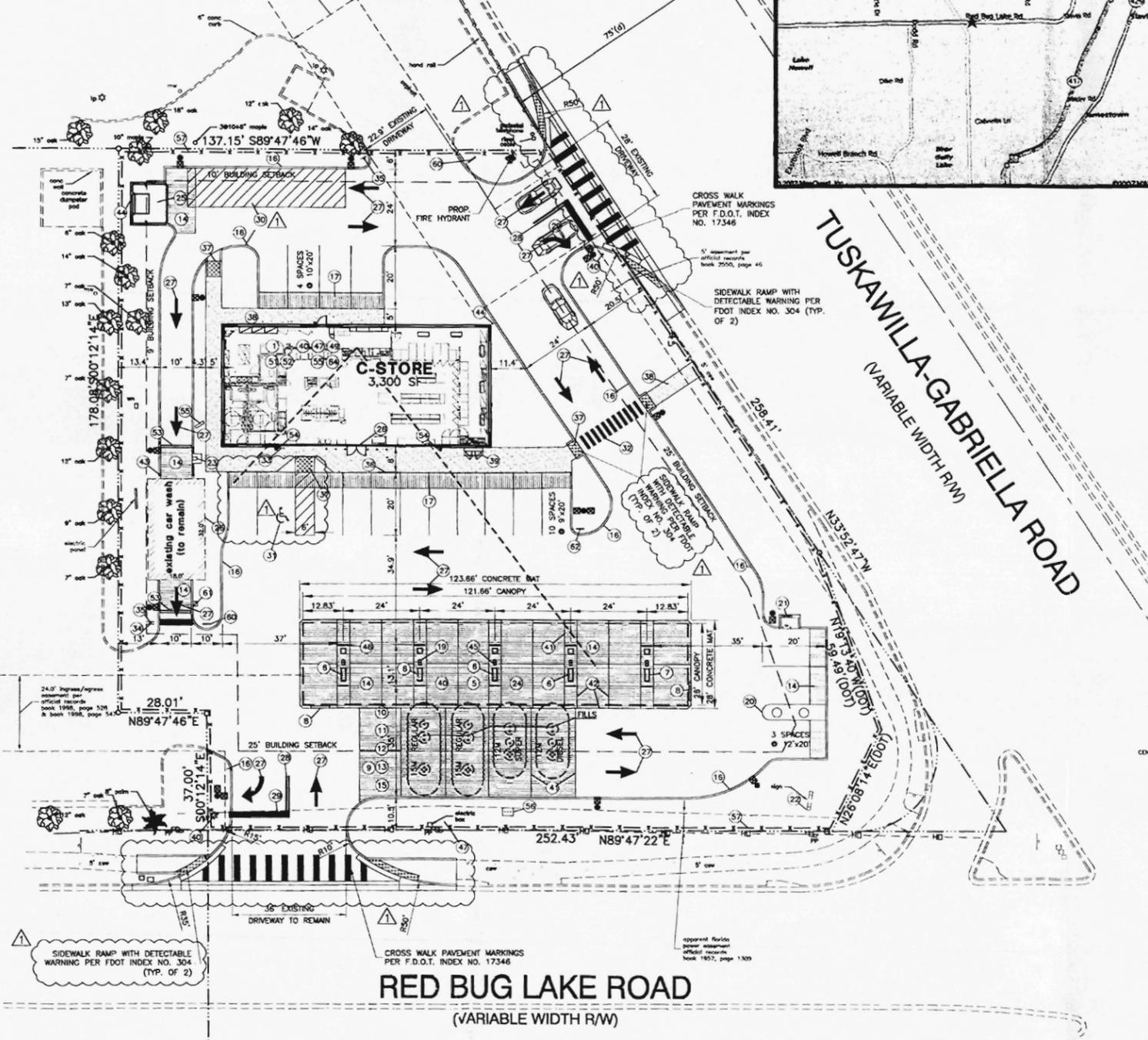
THIS PLAN IS NOT VALID UNLESS SIGNED, DATED & SEAL AFFIXED

REVISIONS: 01 - 03/26/07 - REV

DESIGNED BY: NISIT SAPPARKHAO  
CHECKED BY: NISIT SAPPARKHAO  
DRAWN BY: NISIT SAPPARKHAO  
SCALE: 1" = 20'

5885 RED BUG LAKE ROAD  
WINTER SPRINGS, FL  
MOBIL SERVICE STATION RAS No. 10890

**SITE PLAN**



**NOTE:**  
ALL PROPOSED LIGHTS ARE FLAT LENS CUT-OFF FIXTURES. WILL COMPLY WITH SOLID 30.1234

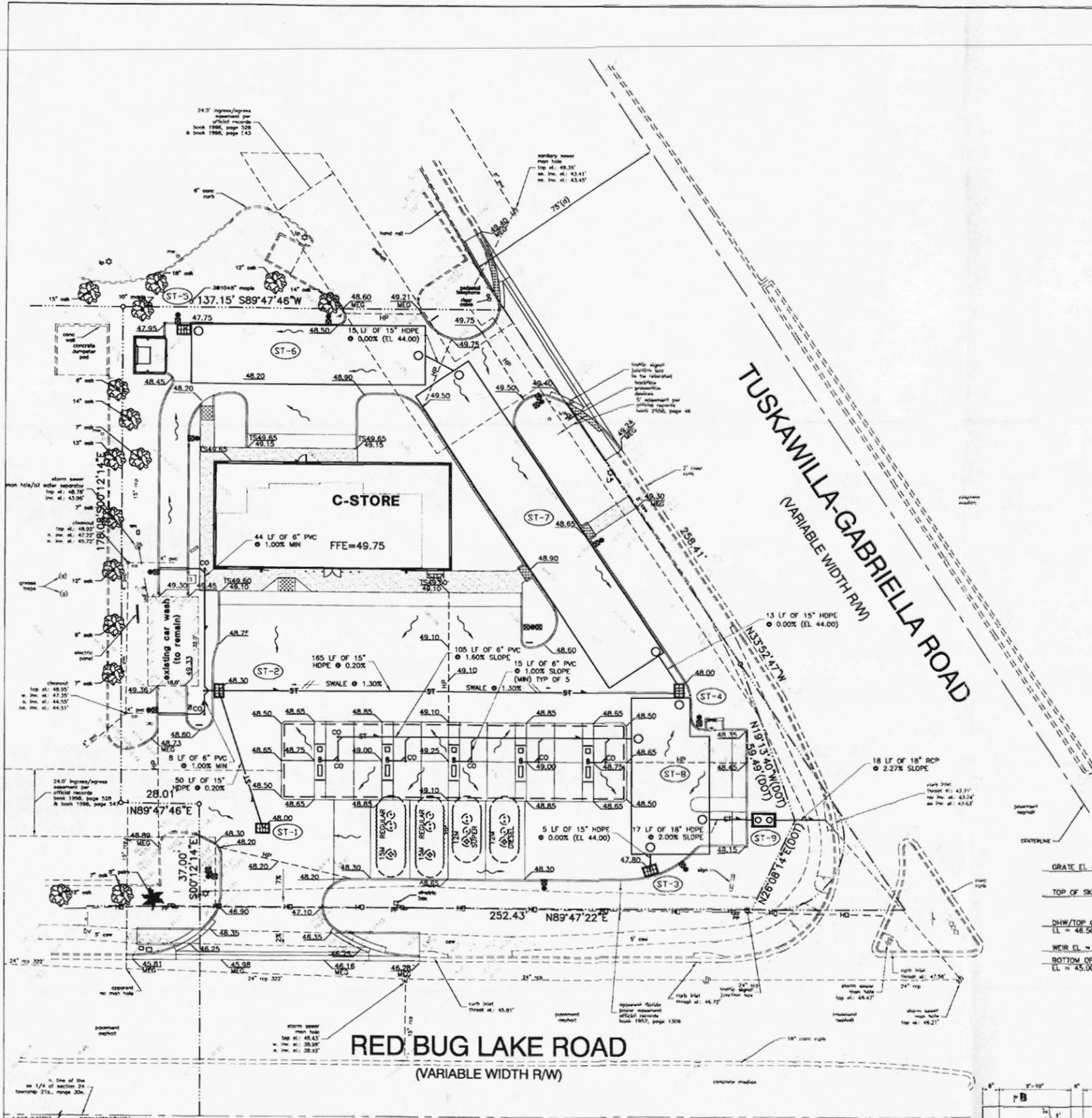
**NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF ANY TRAFFIC SIGNAL EQUIPMENT INCLUDING BUT NOT LIMITED TO FIBER, LOOP SENSORS, PULL BOXES, CONDUIT, TRAFFIC SIGNALS AND CABINETS. ANY ITEMS DAMAGED BY THE CONTRACTOR WILL BE RESTORED TO THEIR ORIGINAL CONDITIONS UNLESS OTHERWISE AGREED UPON BY THE COUNTY TRAFFIC ENGINEER.

**FIRE PROTECTION NOTE:**  
THERE IS A PROPOSED FIRE HYDRANT LOCATED AT THE SOUTHERN SIDE OF THE DRIVEWAY ALONG TUSKAWILLA-GABRIELLA ROAD.

**UTILITY NOTE:**  
EXISTING 1" DOMESTIC WATER METER AND 1" IRRIGATION METER WILL BE REUSED. PROPOSED SANITARY WILL BE DISCHARGED TO EXISTING CURB INLET ALONG TUSKAWILLA-GABRIELLA ROAD. (SAME LOCATION AS EXISTING CONDITIONS).

**PAVEMENT NOTE:**  
CONCRETE PARKING ADJACENT TO C-STORE SHALL BE PAVED W/ BLACK-COLORED CONCRETE (LAMBERT CORPORATION DEEP BLACK 38). COLOR SHALL BE PRE-MIXED BY CONCRETE VENDOR.

**STORMWATER MANAGEMENT PLAN NOTE:**  
EXISTING STORMWATER SYSTEM WILL BE REMOVED. PROPOSED STORMWATER MANAGEMENT SYSTEM UTILIZE UNDERGROUND STORMWATER TO BE INSTALLED. THE SYSTEM WILL DISCHARGE TO EXISTING CURB INLET ALONG TUSKAWILLA-GABRIELLA ROAD. (SAME LOCATION AS EXISTING CONDITIONS).



**PAVING, GRADING AND DRAINAGE NOTES:**

1. ALL HDPE PIPE SHALL BE ADVANCED DRAINAGE SYSTEMS, INC. N-12 OR APPROVED EQUAL.
2. PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE OF ALL ON-SITE STORMWATER MANAGEMENT SYSTEMS.
3. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD 48 HOURS PRIOR TO COVERING STORMWATER PIPING FOR INSPECTION.
4. SEE GENERAL NOTES SHEET FOR EROSION AND SILTATION CONTROL ALONG WITH GENERAL NOTES.
5. SEE SITE PLAN/HORIZONTAL CONTROL SHEET FOR SITE DATA.
6. SEE BOUNDARY & TOPOGRAPHIC SURVEY FOR TEMPORARY BENCH MARK (TBM) LOCATIONS.
7. THE CONTRACTOR SHALL MEET ALL APPLICABLE REQUIREMENTS OUTLINED IN THE LATEST EDITION OF THE ACCESSIBILITY REQUIREMENTS MANUAL PREPARED BY THE FLORIDA BOARD OF BUILDING CODES AND STANDARDS.
8. THE CONTRACTOR SHALL MEET ALL REQUIREMENTS FOR LOCAL MUNICIPALITY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION WITH REGARD TO IMPROVEMENTS WITHIN THEIR RESPECTIVE RIGHTS-OF-WAY.
9. ALL PVC STORM PIPE SHALL COMPLY WITH AWWA . SDR 35.
10. ALL DISTURBED AREAS WITHIN RIGHTS-OF-WAY TO BE SODED.
11. CONTRACTOR SHALL INSTALL EROSION CONTROL SILT FENCE AROUND THE PERIMETER OF THE SITE AND MUST MAINTAIN THE SILT FENCE IN GOOD REPAIR UNTIL ALL CONSTRUCTION IS COMPLETE AND THE AREA IS STABILIZED.

**STORM STRUCTURE DATA**

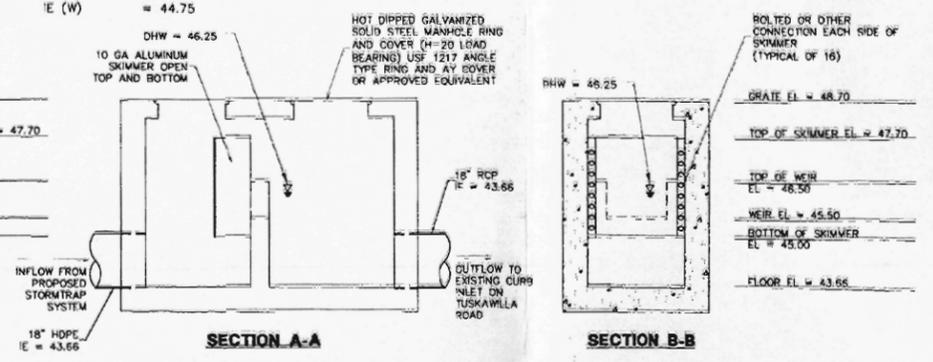
- ST-1  
TYPE "C" CATCH BASIN  
SEE DETAIL SHEET C3.1  
FDOT INDEX NO. 232  
GRATE = 47.75  
IE (S) = 44.75
- ST-2  
TYPE "C" CATCH BASIN  
SEE DETAIL SHEET C3.1  
FDOT INDEX NO. 232  
GRATE = 48.30  
IE (N,W) = 44.60  
IE (E) = 46.80
- ST-3  
TYPE "C" CATCH BASIN  
SEE DETAIL SHEET C3.1  
FDOT INDEX NO. 232  
GRATE = 47.80  
IE (S) = 44.80
- ST-4  
TYPE "C" CATCH BASIN  
SEE DETAIL SHEET C3.1  
FDOT INDEX NO. 232  
GRATE = 48.00  
IE (E) = 44.25  
IE (N,S) = 44.00
- ST-5  
TYPE "C" CATCH BASIN  
SEE DETAIL SHEET C3.1  
FDOT INDEX NO. 232  
GRATE = 47.75  
IE (W) = 44.75
- ST-6  
STORMTRAP PRECAST CONCRETE  
STORMWATER DETENTION  
SYSTEM INVERT = 44.00  
SEE MANUFACTURER SPECIFICATION FOR DETAILS  
CONTACT: KEITH PFEIFER  
PHONE: 815-791-6449
- ST-7  
STORMTRAP PRECAST CONCRETE  
STORMWATER DETENTION  
SYSTEM INVERT = 44.00  
SEE MANUFACTURER SPECIFICATION FOR DETAILS  
CONTACT: KEITH PFEIFER  
PHONE: 815-791-6449
- ST-8  
STORMTRAP PRECAST CONCRETE  
STORMWATER DETENTION  
SYSTEM INVERT = 44.00  
SEE MANUFACTURER SPECIFICATION FOR DETAILS  
CONTACT: KEITH PFEIFER  
PHONE: 815-791-6449
- ST-9  
TYPE "J" OUTFALL CONTROL STRUCTURE  
SEE DETAILS THIS SHEET  
FDOT INDEX NO. 200 AND 201  
TOP = 48.70  
IE (E,W) = 43.66

**LEGEND**

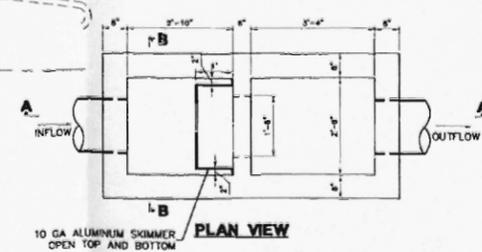
- EL ELEVATION
- DS DOWN SPOUT
- TYP TYPICAL
- CD CLEANOUT
- IE INVERT ELEVATION
- EXISTING ELEVATION
- PROPOSED PAVEMENT ELEVATION
- GRATE INLET
- WATERED END SECTION
- FLOW DIRECTION
- SWALE
- DIRECTION OF STORMWATER FLOW
- PROPOSED STORM SEWER
- FFE FINISH FLOOR ELEVATION
- HDPE HIGH DENSITY POLY ETHYLEN
- RCP REINFORCED CONCRETE PIPE
- CMP CORRUGATED METAL PIPE
- ST-1 STORM SEWER STRUCTURE NUMBER
- EROSION CONTROL
- CONCRETE PAVEMENT
- HIGH POINT
- LOW POINT
- MEG MATCH EXISTING GRADE
- TS TOP OF SIDEWALK

**CLEANOUT NOTE:**

ALL CLEANOUTS AT CANOPY ISLANDS SHALL BE SET A MINIMUM OF 5FT FROM EDGE OF DISPENSER.



**(ST-9) 4'x8' MODIFIED TYPE "J" OUTFALL CONTROL STRUCTURE INLET FDOT INDEX No. 200, 201**



PROPERTY APPRAISER ID NUMBER 24-21-30-300-020A-0000  
SEMINOLE COUNTY APPROVED FOR CONSTRUCTION  
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APPROVED  
SEMINOLE COUNTY DEVELOPMENT REVIEW DEPARTMENT  
DATE

**ExxonMobil**  
Fuels Marketing

**U.S. Region Engineering**  
3300 SOUTH LAKES AVENUE  
WINTER SPRINGS, FL 32789  
PHONE: (407) 884-2013  
FAX: (407) 884-2013  
FL E.C. No. 702

**Progressive DEVELOPMENT GROUP, INC.**

NEST SAPPARHAD, P.E.  
FL REG. NO. 64085

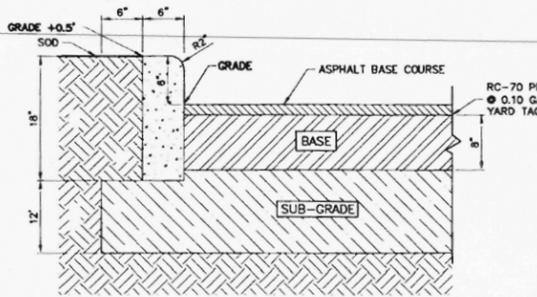
DATE: 03/26/07  
THIS PLAN IS NOT VALID UNLESS SIGNED, DATED & SEAL AFFIXED

PROJECT: 5885 RED BUG LAKE ROAD WINTER SPRINGS, FL  
MOBIL SERVICE STATION RAS No. 10890

GRADING PLAN

PROJECT NUMBER: 10890  
SITE: 3300/EXISTING CW  
SCALE: 1" = 20'

DESIGNED BY: HM/BEN  
DATE: 03/26/07  
PERMIT: 015-275.11  
DRAWING NO.: C2.0



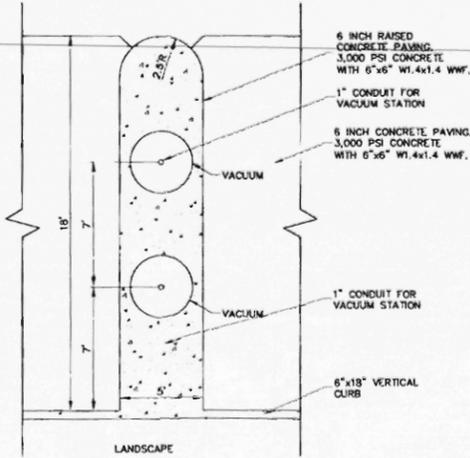
**ASPHALT** 1-3/4" TYPE S-3 ASPHALTIC CONCRETE WEAR COURSE COMPACTED TO 98% MAX DRY DENSITY PER AASHTO T-180.

**BASE** 8" LIMEROCK LBR 100 2 LIFTS COMPACTED TO 98% MAX DRY DENSITY PER AASHTO T-180.

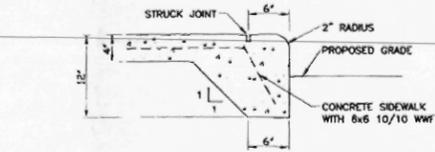
**SUB-GRADE** 12" STABILIZED SUB-GRADE LBR 40 COMPACTED TO 98% MAX DRY DENSITY PER AASHTO T-180.

NOTE: CURB SHALL BE CAST OF 3,000 P.S.I. CONCRETE. SUBGRADE IS TO BE STABILIZED.

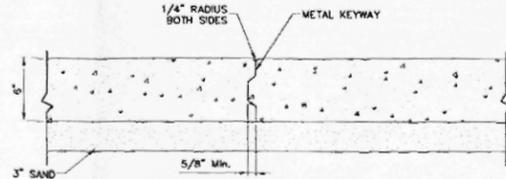
**TYPICAL ASPHALT PAVEMENT SECTION WITH 6" CURB**  
04/06/05 PDG



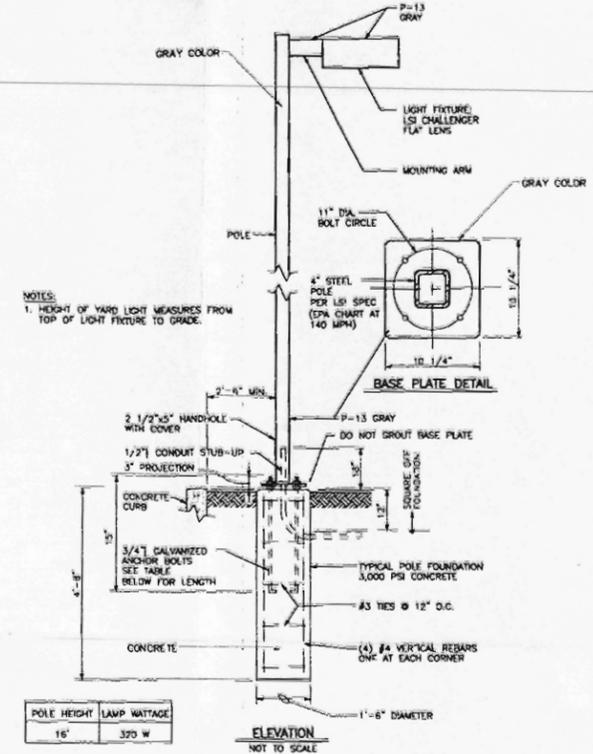
**CUSTOMER SERVICE DETAIL**  
N.T.S. 04/15/05 PDG



**INTEGRAL CURB SIDEWALK**  
N.T.S.



**METAL KEYWAY JOINT**  
SCALE: 1"=1'-0" 04/06/05 PDG

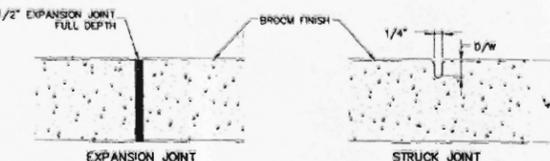
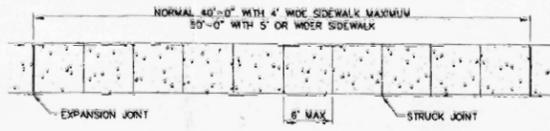


NOTES:  
1. HEIGHT OF YARD LIGHT MEASURES FROM TOP OF LIGHT FIXTURE TO GRADE.

POLE HEIGHT	LAMP WATTAGE
16'	370 W

**LIGHT SPECIFICATIONS:**  
1.) AREA LIGHT: LSI-CHH-FT-320-PSMV-F 16' POLE.  
2.) UNDERCANOPY LIGHT: LSI-ECTA-S-320-PSMV-F

**TYPICAL YARD LIGHT DETAIL**



**NOTES:**  
1.) SIDEWALK EXPANSION JOINTS TO BE AT ALL TIES TO CONCRETE OTHER THAN DRIVEWAYS. MAXIMUM SPACING SHALL BE 60'.  
2.) EXPANSION JOINT MATERIAL SHALL BE ASPHALT FIBER IMPREGNATED PREFORMED JOINT FILLER, TO FULL DEPTH OF CONCRETE.  
3.) ALL SIDE WALKS SHALL BE CONSTRUCTED OF 4 INCH THICK PORTLAND CEMENT CONCRETE, AND MUST BE INSTALLED OVER A FOUR-INCH THICK, COMPACTED LIME ROCK BASE.

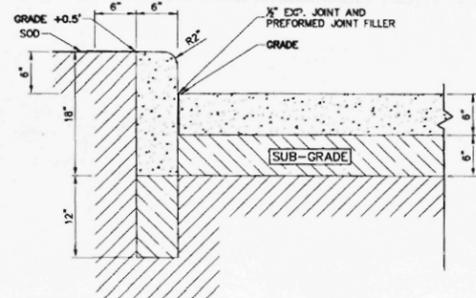
**TYPICAL SIDEWALK**  
N.T.S. 04/15/05 PDG

PROPERTY APPRAISER ID NUMBER 24-21-30-300-020A-0000

SEMINOLE COUNTY  
APPROVED FOR CONSTRUCTION

THIS APPROVAL IS SUBJECT TO SPECIFIC CONFORMANCE TO THE SEMINOLE COUNTY LAND DEVELOPMENT CODE AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CORRECT ANY DEFECTS IN THE PLANS OR THE FACILITY AS CONSTRUCTED WHICH RESULTS IN A FAILURE TO MEET APPLICABLE CODE REQUIREMENTS. ADMINISTRATIVE ACCEPTANCE OF THE DEVELOPER'S PLANS DOES NOT CONSTITUTE A WAIVER OF ANY CODE REQUIREMENTS NOR DOES IT RELIEVE THE DEVELOPER OF RESPONSIBILITY TO MEET THOSE REQUIREMENTS. THIS SPECIFIC APPROVAL IS VALID FOR A PERIOD OF ONE YEAR FROM THE DATE BELOW.

SEMINOLE COUNTY DEVELOPMENT REVIEW DEPARTMENT  
DATE



CONCRETE 6" THICKNESS 3,500 PSI WITH 6"x6" W 1.4xW 1.4 WWF.

SUB-GRADE 6" STABILIZED SUB-GRADE LBR 40 COMPACTED TO 98% AASHTO T-180.

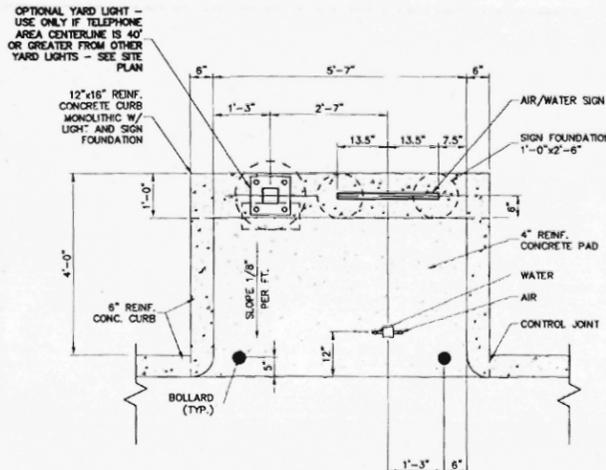
NOTE: UTILIZE 8" CONCRETE OVER UNDERGROUND FUEL TANKS.

**EXPANSION JOINT BETWEEN CURB AND CONCRETE PAVEMENT**

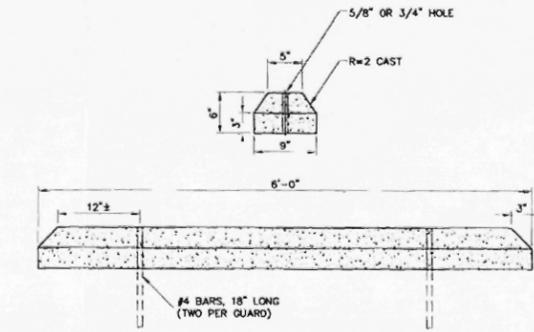
FOR CURB, GUTTER AND CURB & GUTTER PROVIDE 1/4" - 1/2" CONTRACTION JOINTS AT 10' CENTERS (MAX.). CONTRACTION JOINTS ADJACENT TO THE CONCRETE PAVEMENT ON TANGENTS AND FLAT CURVES ARE TO MATCH THE PAVEMENT JOINTS, WITH INTERMEDIATE JOINTS NOT TO EXCEED 10' CENTERS. CURB, GUTTER AND CURB & GUTTER EXPANSION JOINTS SHALL BE LOCATED IN ACCORDANCE WITH SECTION 520 OF THE STANDARD SPECIFICATIONS.

NOTE: CURB SHALL BE CAST OF 3,000 P.S.I. CONCRETE

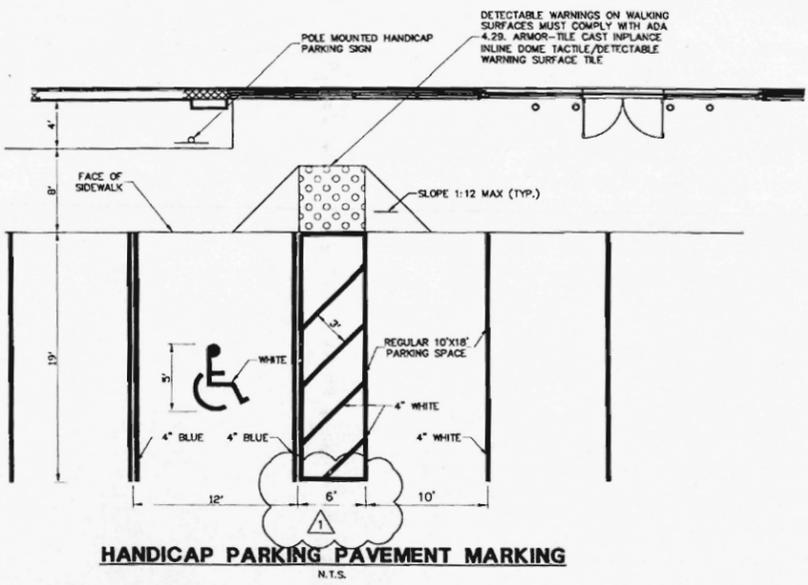
**TYPICAL CONCRETE PAVEMENT SECTION WITH 6" CONCRETE CURB**  
SCALE: 1"=1'-0" 04/06/05 PDG



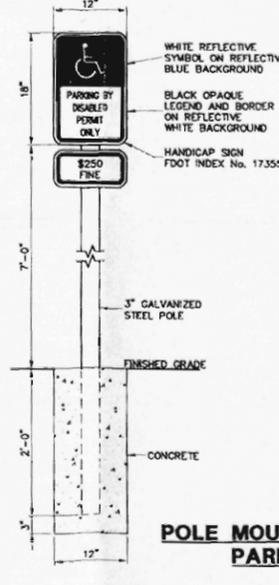
**AIR AND WATER PLAN VIEW DETAIL**  
N.T.S. 04/28/05 PDG



**CONCRETE WHEEL STOP**  
SCALE: 1"=1'-0"



**HANDICAP PARKING PAVEMENT MARKING**  
N.T.S.



**POLE MOUNTED HANDICAP PARKING SIGN**  
N.T.S.

**NOTES:**  
1.) METAL POST TO BE GALVANIZED. ALL BOLTS, NUTS, WASHERS AND SCREWS MUST BE RUSTPROOF.  
2.) CONCRETE FOR FOOTING SHALL BE PORTLAND CEMENT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 p.s.i.  
3.) SIGNS WILL BE FABRICATED BY USING REFLECTING COATING IN THE SYMBOL, MESSAGE AND BORDER APPLIED TO A SHEET ALUMINUM BACKING (.080) IN THICKNESS.  
4.) MESSAGE LETTERING SHALL BE UPPER CASE (WHITE)(SERIES B) 2" HIGH IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.  
5.) THE SYMBOL IS COMPOSED OF TWO ELEMENTS, A WHITE WHEELCHAIR FIGURE (WHICH SHOULD ALWAYS FACE RIGHT) ON A SQUARE BACKGROUND, INTERNATIONAL BLUE IN COLOR (FED. STD. 5950, COLOR #15180).  
6.) SIGN POST SHALL BE MIN. 2'-0" CLEAR FROM BACK OF CURB.

**ExxonMobil**  
Fuels Marketing

**U.S. Region Engineering**

**Progressive DEVELOPMENT GROUP, INC.**  
3205 SOUTH LAKES AVENUE  
TAMPA, FLORIDA 33613  
PH: (813) 885-0311  
FAX: (813) 885-0312  
FL REG. NO. 7703

**NISIT SAPPARKHAO, P.E.**  
FL REG. NO. 64085

DATE: 03/27/07  
THIS PLAN IS NOT VALID UNLESS SIGNED, DATED & SEALED AS AFFIXED

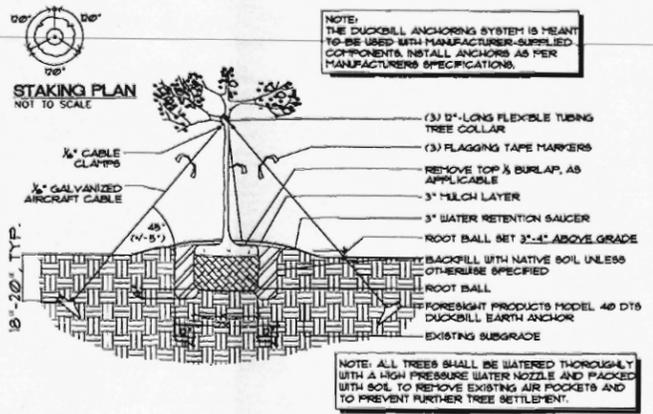
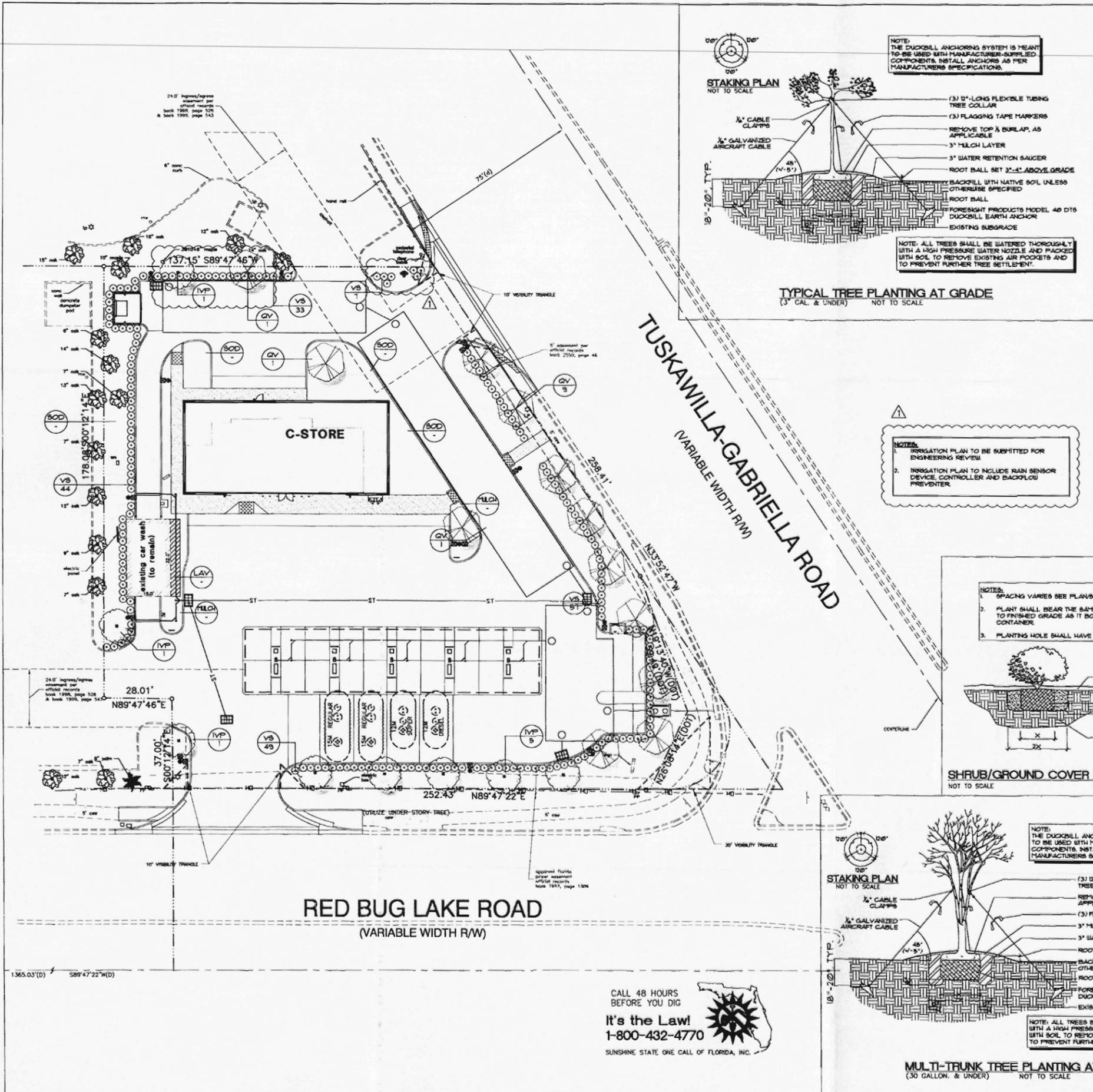
Revision: 1 - REVISED PER SEMINOLE COUNTY DRC - 8/12/07 - SON

5885 RED BUG LAKE ROAD  
WINTER SPRINGS, FLORIDA  
Project: MOBIL SERVICE STATION

**SITE DETAILS**

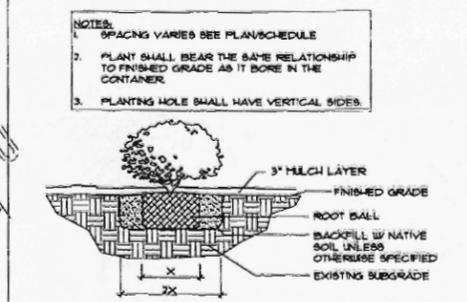
Sheet Number: 10890  
Design Type: 3200 / CW  
Building Type / Area: 3200 / CW  
Building Type:

Map Code: 3200  
Drawn by / Approved by: HM/BEN  
Date: 03/27/07  
Project No.: 015-275.11  
Drawing No.: C3.0

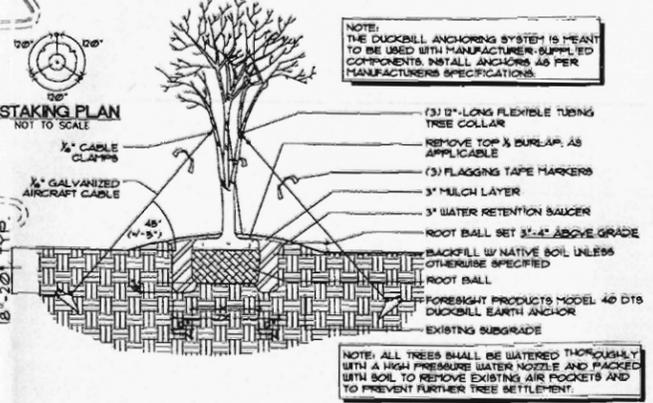


**TYPICAL TREE PLANTING AT GRADE**  
(3" CAL. & UNDER) NOT TO SCALE

- NOTES:**
- IRRIGATION PLAN TO BE SUBMITTED FOR ENGINEERING REVIEW
  - IRRIGATION PLAN TO INCLUDE RAIN SENSOR DEVICE, CONTROLLER AND BACKFLOW PREVENTER.



**SHRUB/GROUND COVER PLANTING DETAIL**  
NOT TO SCALE



**MULTI-TRUNK TREE PLANTING AT GRADE**  
(30 GALLON. & UNDER) NOT TO SCALE

**MATERIALS LIST**

QTY	KEY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
8	IYP	'lex wrightii' 'Pando'	Weeping Yucca Holly	8/B, 8' oah X 4'-5' ser, 3" caliper
10	QV	Quercus virginiana	Live Oak	8/B, 8' oah X 5' ser, 3" caliper
321	VS	Viburnum suspensum	Sandbar Viburnum	3 gallon, 24" ht, 36" o.c.
	MULCH	Cypress Mulch	Cypress Mulch	5q yd
	SOD	Stenotaphrum secundatum	St. Augustine 'Floratum'	##ag fl.

**LANDSCAPE REQUIREMENTS**

**LANDSCAPE DATA**  
 LANDSCAPE BUFFERS - (RIGHT OF WAY)  
 RIGHT OF WAY BUFFER = 10 FEET WIDTH, 5 FOOT MINIMUM  
 4 SHADE TREE PER 100 LF  
 LANDSCAPE SCREEN/HEDGE = 75% OF PARKING AREAS  
 RED BUG LAKE ROAD = 19'2" LESS 38' DRIVEWAY/100' = 154 X 2 = 7 TREES REQUIRED  
 // TREES PROVIDED INSTALL CONTINUOUS HEDGE  
 TUSKAWILLA-GABRIELLA ROAD = 24'7" LESS 28' DRIVEWAY/100' = 218 X 4 = 9 TREES REQUIRED  
 // TREES PROVIDED INSTALL CONTINUOUS HEDGE

**LANDSCAPE BUFFERS - (ADJACENT TO NON-RESIDENTIAL)**  
 NON-RESIDENTIAL BUFFER = 5 FOOT MINIMUM  
 LANDSCAPE SCREEN/HEDGE = 75% OF PARKING AREAS  
 SOUTH (REAR PROPERTY LINE)  
 = 13'7" LESS 24' DRIVEWAY/25' = 5 TREES REQUIRED  
 EXISTING 10" CALIPER INCHES = 4 TREES PLUS 1 PROPOSED TREE  
 INSTALL CONTINUOUS HEDGE

**EAST (INTERIOR SIDE PROPERTY LINE)**  
 = 21'5" LESS 24' DRIVEWAY/25' = 8 TREES REQUIRED  
 EXISTING 21" CALIPER INCHES = 8 TREES PLUS 1 PROPOSED TREE  
 INSTALL CONTINUOUS HEDGE

**INTERIOR LANDSCAPE REQUIREMENT**  
 10% OF PARKING AREA REQUIRED  
 3,940 SF X 0.1 = 394 SF  
 1 TREE PER 200 SF OF REQUIRED INTERIOR LANDSCAPING  
 394 SF / 200 SF = 2 TREES REQUIRED.  
 PROVIDED = 2 TREES

**OPEN SPACE REQUIREMENT**  
 10% OF 25% OF SITE  
 25% PROVIDED

**ADDITIONAL NOTES**  
 ALL AREAS OF NEW PLANTING SHALL BE MULCHED WITH GRADE 'A' CYPRESS MULCH OR APPROVED EQUIVALENT AS MANDATED BY SEMINOLE COUNTY.  
 AREAS NOT PLANTED WITH TREES, SHRUBS, OR GROUNDCOVERS SHALL BE SOODED WITH ST. AUGUSTINE SOD.  
 CONTRACTOR SHALL INSTALL NEW IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE TO ALL LANDSCAPE AREAS.  
 cs per Seminole County landscape code requirements

**GENERAL LANDSCAPE NOTES:**

- ALL LANDSCAPE MATERIAL SHALL BE FLA. NO. 1 GRADE OR BETTER, AS SPECIFIED IN GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I AND II, BY DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, AND SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS FOR NURSERY STOCK. LANDSCAPE MATERIAL SHALL BE PLANTED ACCORDING TO SOUND NURSERY PRACTICES.
- ALL SHRUBS SHALL BE A MINIMUM OF 36" HIGH AT THE TIME OF PLANTING AND SPACED NO GREATER THAN 24" ON CENTER. SHRUBS SHALL NOT ADVERSELY IMPACT EXISTING TREE ROOT SYSTEMS AND SHALL BE FIELD ADJUSTED IF NECESSARY.
- ALL REQUIRED TREES SHALL BE A MINIMUM OF 8' OVERALL HEIGHT WITH A MIN. 2" CAL. AND 4" SPRD. AT TIME OF PLANTING, ADJUST TREE LOCATIONS AS NECESSARY TO AVOID UTILITIES, OBSTRUCTIONS, ETC. SEE MATERIALS LIST FOR EXACT SPECIFICATIONS.
- ALL REQUIRED TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM IMPERVIOUS SURFACES, ALL SHRUBS 2 FEET.
- AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM SHALL BE INSTALLED TO MAINTAIN THE LANDSCAPE AREA IN A HEALTHY MANNER AND PROVIDE 100% COVERAGE.
- THE CONTRACTOR SHALL SOD ALL DISTURBED AREAS. ALL PLANTING SHALL BE MULCHED TO A 3" MINIMUM DEPTH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN UP OF PREMISES AND REMOVAL OF ALL DISCARDED AND SURPLUS MATERIALS, AND RUBBISH.
- VERIFY THE LOCATIONS OF EXISTING TREES, LAWNS, AND SHRUBS. REMOVE EXTRANEOUS MATERIALS SUCH AS ROCKS, BRANCHES, BUILDING MATERIALS OR UNACCEPTABLE SOILS PRIOR TO PLANTING SOD, TREES, AND SHRUBS, WHERE ENCOUNTERED.
- CONTRACTOR SHALL BECOME ACQUAINTED WITH THE RELATED PAVING, SITE GRADING, AND ALL UTILITIES (INCLUDING WATER, SEWER, AND ELECTRICAL SUPPLY) TO PRECLUDE ANY MISUNDERSTANDINGS AND ENSURE A TROUBLE FREE INSTALLATION.
- THE EXACT LOCATION OF ALL EXISTING STRUCTURES, UNDERGROUND UTILITIES, AND PIPES MAY NOT BE AS INDICATED ON DRAWINGS; THE CONTRACTOR SHALL DETERMINE THE LOCATION OF THESE ITEMS AND SHALL CONDUCT THIS WORK IN A MANNER TO PREVENT INTERRUPTION OR DAMAGE TO EXISTING SYSTEMS WHICH MUST REMAIN OPERATIONAL. THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES AND UTILITY SERVICES WHICH MUST REMAIN OPERATIONAL AND SHALL BE RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED BY HIM.
- CONTRACTOR SHALL CALL SUNSHINE STATE ONE-CALL AT LEAST 48 HOURS PRIOR TO DIGGING. (1-800-432-4770).
- QUANTITIES ON PLAN TAKE PRECEDENCE OVER MATERIALS LIST. QUANTITIES ON MATERIALS LIST ARE PROVIDED AS A COURTESY ONLY.

PROPERTY APPRAISER D NUMBER 24-21-30-300-020A-0000  
 SEMINOLE COUNTY  
 APPROVED FOR SUBSTRUCTION

THIS APPROVAL IS SUBJECT TO SPECIFIC CONFORMANCE TO THE SEMINOLE COUNTY LAND DEVELOPMENT CODE AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CORRECT ANY DEFECTS IN THE PLANS OR THE FACILITY AS CONSTRUCTED WHICH RESULTS IN A FAILURE TO MEET APPLICABLE CODE REQUIREMENTS. ADMINISTRATIVE ACCEPTANCE OF THE DEVELOPER'S PLANS DOES NOT CONSTITUTE A WAIVER OF ANY CODE REQUIREMENTS NOR DOES IT RELIEVE THE DEVELOPER OF RESPONSIBILITY TO MEET THOSE REQUIREMENTS. THIS SPECIFIC APPROVAL IS VALID FOR A PERIOD OF ONE YEAR FROM THE DATE BELOW.

SEMINOLE COUNTY DEVELOPMENT REVIEW DEPARTMENT  
 DATE

**ExxonMobil**  
 Fuels Marketing

**U.S. Region**  
 Engineering

**Progressive**  
 DEVELOPMENT GROUP, INC.

NISIT SAPPARKHAO, P.E.  
 FL REG. NO. 64085

DATE: 03/26/07

THIS PLAN IS NOT VALID UNLESS SIGNED, DATED & SEAL APPLIED

5885 RED BUG LAKE ROAD  
 WINTER SPRINGS, FL  
 MOBIL SERVICE STATION RAS NO. 10890

LANDSCAPE PLAN

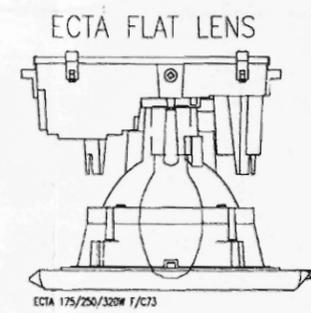
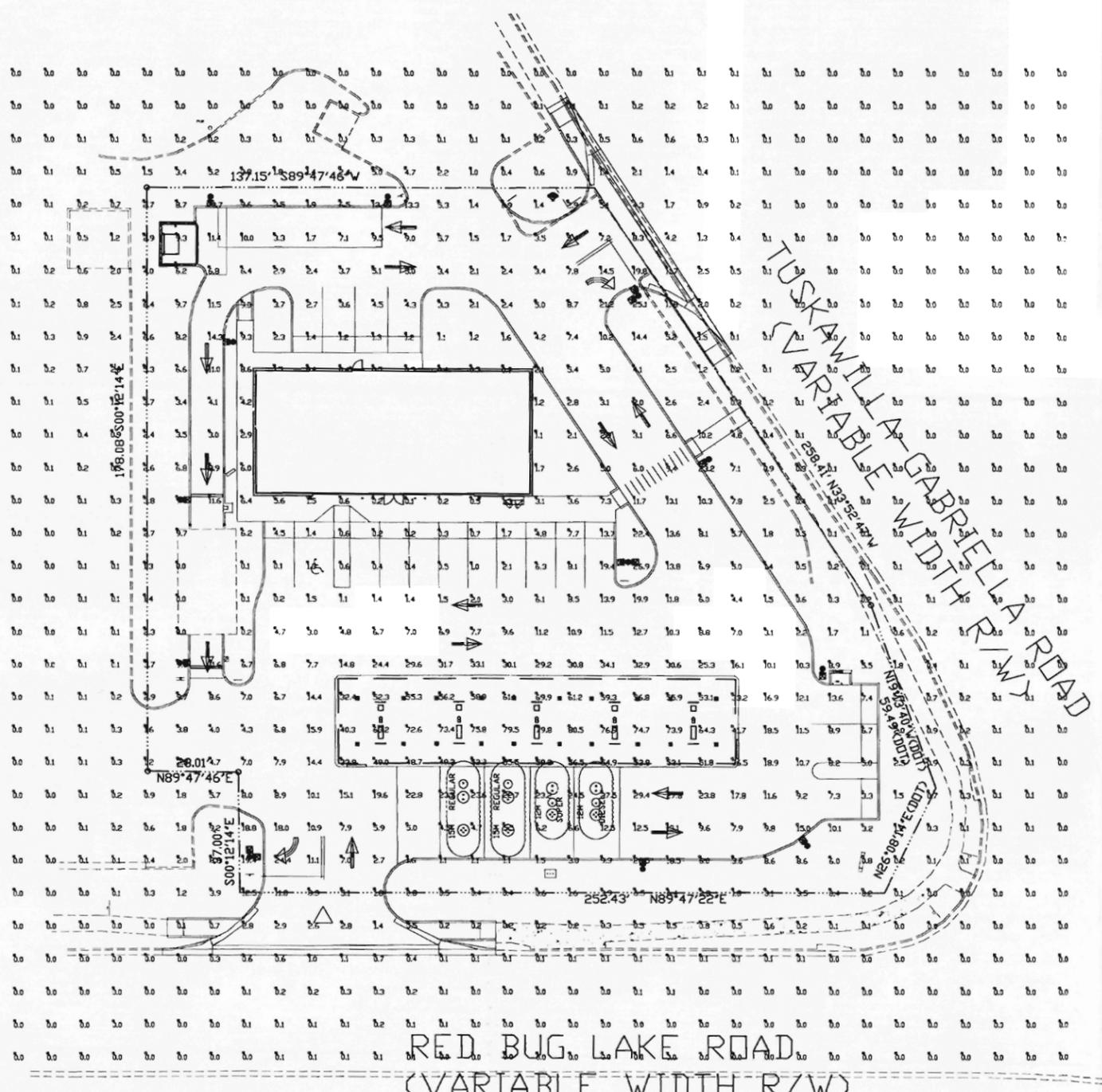
DATE: 03/26/07  
 PERMIT

015-275.11

L1.0

CALL 48 HOURS BEFORE YOU DIG  
**It's the Law!**  
 1-800-432-4770  
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.





Symbol	Qty	Label	Arrangement	Lumens	LLF	Description	Total Watts
A	20	A	SINGLE	32000	0.720	ECTA S 328 PSHV HT F	360
B	9	B	SINGLE	30000	0.720	CHH-F1-328-PSHV-F-S-16' POLE	360
C	2	C	2 @ 90 DEGREES	30000	0.720	CHH-F1-328-PSHV-F-D90-16' POLE	736
D	1	D	D:80	30000	0.720	CHH-F1-328-PSHV-F-D90-16' POLE	736

Numeric Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	51.9	80.5	0.0	NA	NA

Statistical Area Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
CAMPY	57.78	80.5	32.4	1.78	2.48
INSIDE CURB	9.09	34.1	0.1	90.90	341.00

Total Watts = 12880

Maintained Footcandle levels.

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions.

This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions.

LD-87277



PROPERTY APPRAISER ID NUMBER 24-21-30-300-020A-0000

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LAND DEVELOPMENT DEPARTMENT  
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SEMINOLE COUNTY DEVELOPMENT REVIEW DEPARTMENT  
DATE

5885 RED BUG LAKE ROAD  
WINTER SPRINGS, FLORIDA  
MOBIL SERVICE STATION

PHOTOMETRIC PLAN

PLS Number  
10890

Design Type  
3300 / CW

Blg. Code: AS SHOWN  
Drawn By / Approved By: HM/BEN

Date: 03/27/07

Project No. 015-275.11

PH.0

