

ITEM # _____

**SEMINOLE COUNTY GOVERNMENT
LAND PLANNING AGENCY / PLANNING AND ZONING COMMISSION
AGENDA MEMORANDUM**

SUBJECT: Spartan Retail/Office - US 17-92 Rezone from C-2 to PUD

DEPARTMENT: Planning & Development **DIVISION:** Planning

AUTHORIZED BY: April Boswell AB **CONTACT:** Michael Rumer EXT. 7431

Agenda Date <u>11/1/06</u> Regular <input type="checkbox"/> Work Session <input type="checkbox"/> Briefing <input type="checkbox"/> Special Hearing – 6:00 <input type="checkbox"/> Public Hearing – 7:00 <input checked="" type="checkbox"/>
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MOTION/RECOMMENDATION:

1. **RECOMMEND APPROVAL** of the request to rezone 1.03 ± acres from C-2 (Retail Commercial) to PUD (Planned Unit Development), located on the northeast corner of US 17-92 and Spartan Drive, and recommend approval of the attached Preliminary Master Plan and Development Order, based on staff findings (Spartan 17-92, LLC, applicant); or

2. **RECOMMEND DENIAL** of the request to rezone 1.03 ± acres from C-2 (Retail Commercial) to PUD (Planned Unit Development), located on the northeast corner of US 17-92 and Spartan Drive (Spartan 17-92, LLC, applicant); or

3. **CONTINUE** the item to a time and date certain.

District – 4 Commissioner Henley

Michael Rumer, Senior Planner

BACKGROUND:

The applicant is requesting to rezone 1.03 ± acres from C-2 (Retail Commercial) to PUD (Planned Unit Development), located on the northeast corner of US 17-92 and Spartan Drive. The Future Land Use Designation of the subject property is Commercial (COM), which allows for the requested zoning. The applicant is also requesting Preliminary Master Plan approval for a retail and office project utilizing the first floor of the building as retail and the second and third floors as office. The proposed maximum building height is 52 feet.

Reviewed by: Co Atty: _____ DFS: _____ OTHER: _____ DCM: _____ CM: _____ File No: <u>Z2006-64</u>
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STAFF RECOMMENDATION:

Staff recommends APPROVAL of the request to rezone 1.03 ± acres from C-2 (Retail Commercial) to PUD (Planned Unit Development), located on the northeast corner of US 17-92 and Spartan Drive, and approval of the attached Preliminary Master Plan and Development Order, based on staff findings.

Attachments:

Staff Report
Preliminary Master Plan
Location Map
Future Land Use and Zoning Map
Aerial Map
Approval Development Order
Rezone Ordinance
Denial Development Order (applicable if the request is denied)
Elevation

Spartan Retail/Office – US 17-92 Rezone

Rezone from C-2 to PUD

APPLICANT	Spartan 17-92, LLC	
PROPERTY OWNER	Spartan 17-92, LLC	
REQUEST	Rezone from C-2 (Commercial) to PUD (Planned Unit Development)	
PROPERTY SIZE	1.03 ± acres	
HEARING DATE (S)	P&Z: November 1, 2006	BCC: December 12, 2006
PARCEL ID	19-21-30-300-0630-0000	
LOCATION	Located on the northeast corner of US 17-92 and Spartan Drive.	
FUTURE LAND USE	COM (Commercial)	
ZONING	PUD (Planned Unit Development)	
FILE NUMBER	Z2006-64	
COMMISSION DISTRICT	#4 – Henley	

Proposed Development:

The applicant is proposing to construct a three (3) story (52 feet) retail /office building that will contain 5,980 square feet of retail and 9,145 square feet of office.

ANALYSIS OVERVIEW:

ZONING REQUEST

The following are the minimum building setback regulations for the subject property:

- 0' side setback from the north property line (abutting existing Commercial)
- 0' side setback from the south property line (abutting Spartan Drive)
- 15' rear setback for the covered parking and 50' for the main building from the east property line (abutting Low Density Residential)
- 15' from the western property line (abutting US 17-92)

The applicant is requesting the following waivers (contained in the attached Development Order) from the requirements of the Seminole County Land Development Code:

1. Allowing the height of the building to be 52' instead of 35'.
2. Allowing a reduction of 5 parking spaces. (67 spaces required, 62 spaces provided)
3. Allowing the sidewalk requirement along Spartan Drive to be waived.
4. Allowing a parking space size reduction to 9x18.

Staff has reviewed the requested waivers and recommends approval of them based on the following findings:

1. The proposed project is classified as an Infill Development under the Vision 2020 Comprehensive Plan.
2. The US 17-92 Commercial Corridor is identified as a Target Area under Comprehensive Plan Policy ECM 4.1. The proposed project is consistent with Policy ECM 4.2, Promote Economic Developments in Target Areas Through Urban Infill and Redevelopment.
3. The proposed project is located within the US 17-92 Community Redevelopment Area and has applied for a CRA program grant that will fund items including increased landscaping above current Seminole County Land Development Code requirements.
4. The applicant will occupy the third floor with a professional architecture business that consists of eleven (11) employees. The remainder of the parking will be used by the second floor office and first floor retail.
5. The applicant is working with the City of Casselberry to locate a utility easement that will provide sewer service to the area. The easement will be located where the sidewalk would be located. Sidewalks do not exist on Spartan Drive adjacent to the subject site. Sidewalks are located across Spartan Drive with a cross walk at the intersection of Spartan Drive and US 17-92.

PERMITTED USES

Permitted uses for the first floor retail shall be in accordance with the provisions of the C-1 District, special exception uses shall remain special exception uses, with the following prohibited uses:

Launderettes and Laundromats
Plant nurseries
Multi-family housing

The second and third floor shall be in accordance with the provisions of the OP Office District.

COMPATIBILITY WITH SURROUNDING PROPERTIES

To the east is a 60-foot access drive for an existing multi-family complex and single-family homes located in the R-1A (9,000 sq. ft. lot sizes) zoning district. To the south is an existing convenience store. To the north is an existing bank. To the west is US 17-92.

The site is located within the US 17-92 Community Redevelopment Corridor. The subject is in one of the three "target areas" for economic development as identified in the Seminole County Economic Development Strategic Plan. The 17-92 Corridor contains a mixture of commercial, office and residential uses. The proposed development will replace two recently demolished structures on the site developed prior to 1979 and transform an under-performing property on US 17-92. The site is currently in the application process for receiving a US 17-92 CRA program grant that will fund

items including increased landscaping above current Seminole County Land Development Code requirements.

SITE ANALYSIS:

ENVIRONMENTAL IMPACTS:

Floodplain Impacts:

Based on FIRM map 12117C040E, with an effective date of April 17, 1995, the site appears to be outside the 100 year floodplain. The site is also outside the 100 year floodplain per preliminary DFIRMs.

Wetland Impacts:

Based on preliminary aerial photo and County wetland map analysis, there appears to be no wetlands on the subject property.

PUBLIC FACILITY IMPACTS:

Rule 9J-5.0055(3)(c)1-2, Florida Administrative Code, requires that adequate public facilities and services be available concurrent with the impacts of development. The applicant has elected to defer Concurrency Review at this time and is required to undergo Concurrency Review prior to final engineering approval.

Utilities:

The site is located in the City of Casselberry's utility service area and will be required to connect to public utilities. There is a 10-inch water main that runs through the east side of the parcel and an 8-inch gravity sewer main approximately 340 ft south of the parcel and 200 ft west of Cherrywood Dr. The subject site is not in the ten year master plan for reclaimed water.

Transportation / Traffic:

The property proposes access onto US 17-92, which is classified as an Arterial. US 17-92 is currently operating at a level-of-service "E" and does not have improvements programmed in the County 5-year Capital Improvement Program or FDOT 5-year Work Program.

School Impacts:

The proposed development will not generate any school impacts.

Drainage:

The proposed project is located within the Howell Creek Drainage Basin. Attenuation for the 25 year/24 hour storm event (pre-post rate) will be required. Additional retention may be required to satisfy aquifer recharge overlay criteria and outfall constraints.

Parks, Recreation and Open Space:

A minimum of 25% usable open space shall be provided. The amenities associated with the open space shall be determined at Final Master Plan.

Buffers and Sidewalks:

The applicant is requesting a waiver to not provide sidewalks along Spartan Drive. The applicant is working with the City of Casselberry to provide a utility easement for the installation of a gravity feed line on the south side of the property where a sidewalk would be located. Further, the north side of Spartan Drive does not contain sidewalks. Sidewalks are provided on the south side of Spartan Drive. A 17-foot buffer containing a walled pond with cascading split face block will be located in between the single-family lot to the east and a row of covered parking spaces. A sidewalk exists along US 17-92.

APPLICABLE POLICIES:

FISCAL IMPACT ANALYSIS:

This project does not warrant running the County Fiscal Impact Analysis Model.

SPECIAL DISTRICTS:

The subject property is located within the US 17-19 Community Redevelopment Area.

COMPREHENSIVE PLAN (VISION 2020):

The County's Comprehensive Plan is designed to preserve and enhance the public health, safety and welfare through the management of growth, provision of adequate public services and the protection of natural resources.

The proposed project is consistent with the following list of policies (there may be other provisions of the Comprehensive Plan that apply that are not included in this list):

- Policy ECM 4.1: Target Areas
- Policy ECM 4.2: Promote Economic Developments in Target Areas through Urban Infill and Redevelopment
- Policy ERG 1.1: Discourage Urban Sprawl and Promote Infill Development
- Policy ECM 8.5: Incentives to Promote Enhanced Site Design
- Policy FLU 4.2: Infill Development

Policy FLU 4.3: Community Redevelopment Agency
Policy POT 4.5: Potable Water Connection
Policy SAN 4.4: Sanitary Sewer Connection
Policy PUB 2.1: Public Safety Level-of-Service

INTERGOVERNMENTAL NOTIFICATION:

Intergovernmental notices were not sent; the subject property is not within or directly adjacent to any local municipality and will not impact schools

LETTERS OF SUPPORT OR OPPOSITION:

At this time, Staff has not received any letters of support or opposition.

STAFF RECOMMENDATION:

Staff recommends APPROVAL of the request to rezone 1.03 ± acres from C-2 (Retail Commercial) to PUD (Planned Unit Development), located on the northeast corner of US 17-92 and Spartan Drive, subject to the attached Preliminary Master Plan and Development Order, based on staff findings.

PCD FINAL SITE PLAN
FOR
SPARTAN RETAIL & OFFICE
9494 US HIGHWAY 17-92 SOUTH
SEMINOLE COUNTY, FLORIDA

10-17

OWNER/ DEVELOPER:

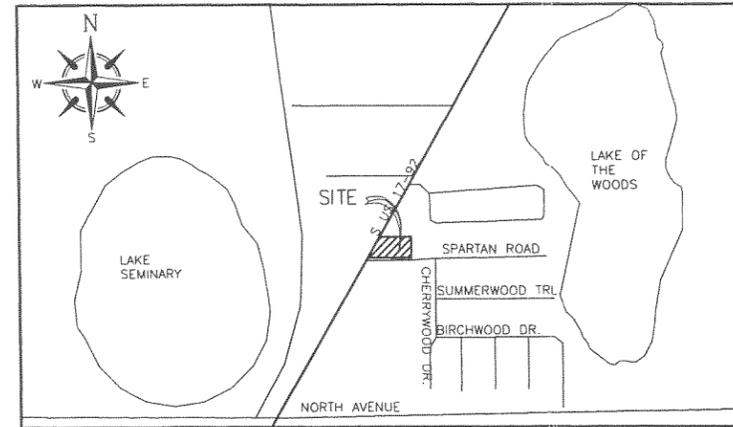
SPARTAN/17-92, LLC
P.O. Box 618063
ORLANDO, FLORIDA 32861
407-647-0938
CONTACT: MARK NASRALLAH

ENGINEER:

HB ASSOCIATES, LLC
377 MAITLAND AVENUE, SUITE 1014
ALTAMONTE SPRINGS, FLORIDA 32701-5442
(407) 740-5444
CONTACT: HARRY BRUMLEY, III, PE

SURVEYOR

GEOMARKS LAND SURVEYORS, INC.
2902 SMU BOULEVARD
ORLANDO, FLORIDA 32817
PHONE (407) 673-0710
CONTACT: JOHN S. BARNHILL, PLS



LOCATION MAP
(NOT TO SCALE)

SECTION 19 - TOWNSHIP 21S - RANGE 30E

LEGAL DESCRIPTIONS
(FURNISHED BY CLIENT)

THE NORTH 210 FEET OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, LYING EAST OF STATE ROAD, SECTION 19, TOWNSHIP 21 SOUTH, RANGE 30 EAST, SEMINOLE COUNTY, FLORIDA, LESS THE SOUTH 50 FEET.

BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 19, TOWNSHIP 21 SOUTH, RANGE 30 EAST, SEMINOLE COUNTY, FLORIDA; THENCE RUN SOUTH ALONG THE WEST LINE OF LOT 1, COOL-MORE, PER THE PLAT THEREOF AS RECORDED IN PLAT BOOK 10, PAGE 84, PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA, FOR A DISTANCE OF 160.00 FEET; THENCE DEPARTING SAID LOT LINE N 89°34'40" W ALONG THE NORTH RIGHT OF WAY LINE OF SPARTAN DRIVE FOR A DISTANCE OF 327.64 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF U.S. HIGHWAY 17-92, SAID POINT BEING ON A CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 5779.65 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE AND EASTERLY RIGHT OF WAY LINE THROUGH A CENTRAL ANGLE OF 01°50'05" FOR A DISTANCE OF 185.08 FEET; THENCE DEPARTING SAID RIGHT OF WAY LINE S 89°34'40" E ALONG THE NORTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 19 FOR A DISTANCE OF 233.28 TO THE POINT OF BEGINNING.

SHEET INDEX

- C1 COVER SHEET
- C2 PRE-POST DEMOLITION SURVEYS
- C3 EROSION CONTROL PLAN
- C4 SITE PLAN
- C5 DRAINAGE PLAN
- C6 UTILITY PLAN
- C7 DETAILS
- C7.1 DETAILS
- C7.2 DETAILS

ZONING: C-2
PROPOSED USE: RETAIL/OFFICE/PROFESSIONAL
PROPERTY AREA: 1.03 ACRES +/-
PARCEL ID #: 19-21-30-300-0630-0000

GENERAL NOTES:

CONTRACTOR SHALL PAY FOR AND OBTAIN THE REQUIRED SEMINOLE COUNTY PERMITS AND HOLD A PRE-CONSTRUCTION CONFERENCE BEFORE STARTING WORK. CONTACT JIM ALLAN, DEVELOPMENT REVIEW DIVISION, (407) 665-7409 FOR INFORMATION ON SETTING YOUR PRE-CONSTRUCTION MEETING, ISSUANCE OF COUNTY PERMITS AND OTHER REQUIREMENTS.

GENERAL PROJECT DESCRIPTION:

THE OWNER PROPOSES TO BUILD A THREE STORY RETAIL AND PROFESSIONAL OFFICE BUILDING ON A PREVIOUSLY DEVELOPED LOT. THE SITE IS ZONED C-2.

PURPOSE AND SCOPE:

THIS SUBMITTAL IS BEING PROVIDED TO PRESENT THE SITE LOCATION OF THE BUILDING AND RELATED SITE IMPROVEMENTS TO SEMINOLE COUNTY DEVELOPMENT REVIEW DIVISION, RE-ZONING APPROVAL.

EXISTING CONDITIONS:

THE SITE WAS DEVELOPED PRIOR TO 1979 AND CONSISTED OF TWO INDIVIDUAL STRUCTURES, ONE OF WHICH WAS KNOWN AS THE CRAB SHACK. THE SITE WAS MOSTLY IMPERVIOUS. THE TWO STRUCTURES HAVE SINCE BEEN DEMOLISHED UNDER A SEPARATE PERMIT. THE STORMWATER SYSTEM CONSISTS OF DIRECT SHEET FLOW, WITHOUT PRETREATMENT, TO SPARTAN DRIVE AND US 17-92. THE SITE IS ACCESSIBLE FROM BOTH US 17-92 AND SPARTAN DRIVE. EACH ROADWAY CONTAINS A SINGLE 24 FOOT DRIVEWAY AND AN APPROXIMATELY 80 FOOT WIDE CURB CUT.

EXISTING PARKING: VACANT LOT
LANDSCAPING: VACANT LOT
SOILS: VARY AND CONSIST OF AREAS OF LAKELAND FINE SAND, BLANTON FINE SAND AND RUTLEDGE FINE SAND ACCORDING TO THE 1966 SCS MAP FOR SEMINOLE COUNTY STORMWATER RECEIVING BODY OF WATER.

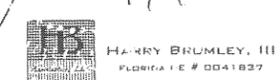
PROPOSED CONDITIONS:
ACCESS: US 17-92 AND SPARTAN ROAD
UTILITIES: CITY OF CASSELBERRY

STORMWATER MANAGEMENT SYSTEM: ST. JOHN'S RIVER WATER MANAGEMENT



"CALL SUNSHINE STATE"
1-800-432-4770
TOLL FREE
FL STATUTE 553.851 (1979) REQUIRES
MIN. OF 2 DAYS AND MAX. OF 5 DAYS
NOTICE BEFORE YOU EXCAVATE.

Handwritten signature and date: HARRY BRUMLEY, III 10/17/06



Revisions	
6/14/06	Submit to Seminole County CRA
9/07/06	Submit to Seminole County Rezoning
10/12/06	Rezoning Revision

HB ASSOCIATES, LLC
STRUCTURAL/CIVIL ENGINEERING
FLORIDA C.E. # 0007045

377 MAITLAND AVENUE, SUITE # 1014 (407) 740-5444
ALTAMONTE SPRINGS, FL 32701-5442 FAX (407) 740-7400

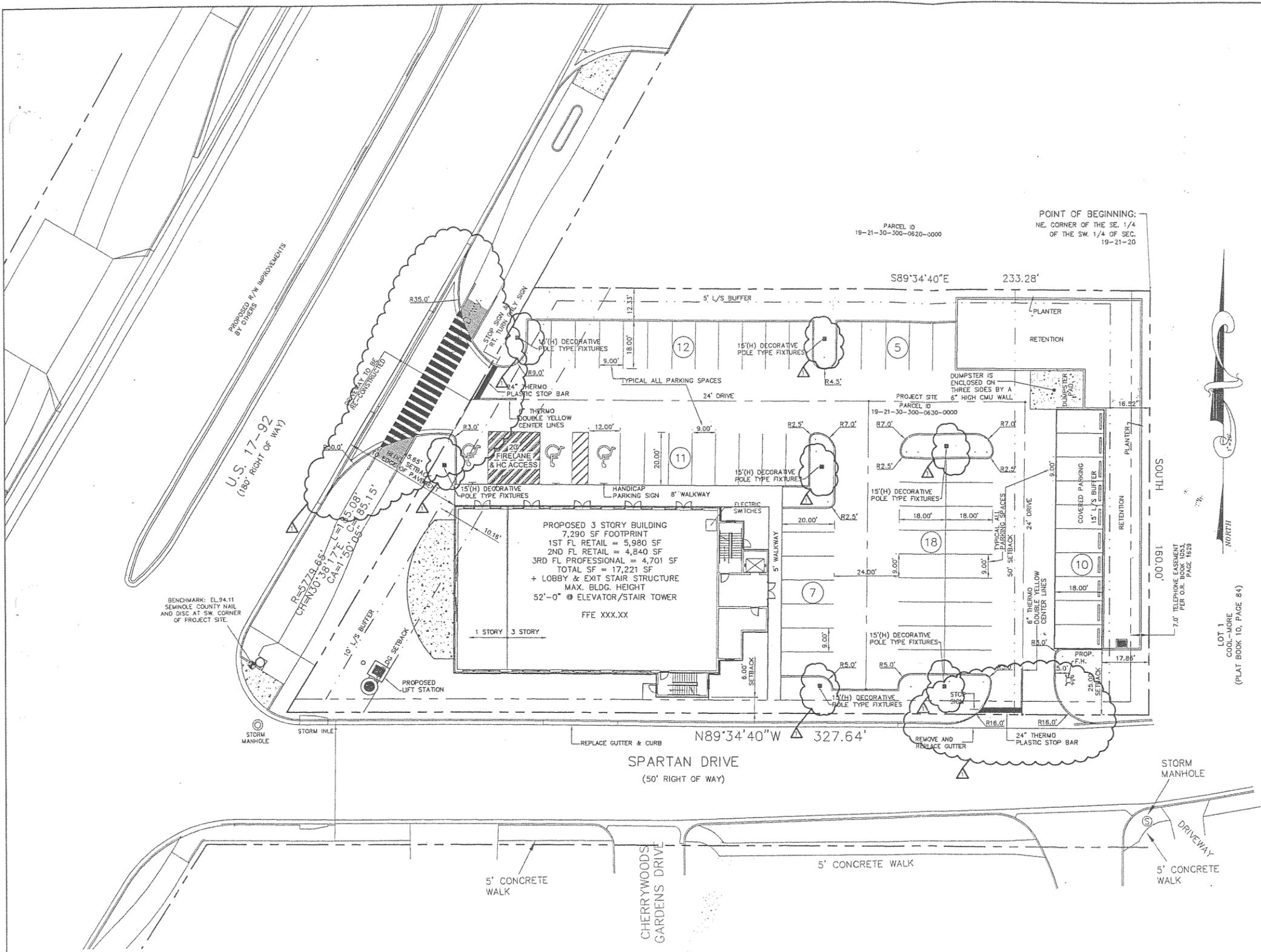
SPARTAN RETAIL & OFFICE
9494 US HIGHWAY 17-92 SOUTH
SEMINOLE COUNTY, FLORIDA

PCD FINAL SITE PLAN

Drawn:	HB
Checked:	HB
Date:	6/1/06
Scale:	FULL
Job No.:	HB 06-94

Sheet: 1 of 9
C1
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SITE DATA

SITE AREA : 44,781 SF (1.03 AC ±)
 ZONING : C2
 EXISTING USE : VACANT COMMERCIAL
 PROPOSED USE : 1ST FLOOR RETAIL
 2ND/3RD FLOORS PROFESSIONAL OFFICE

BUILDING CONSTRUCTION TYPE: IV
 PROPOSED HEIGHT: 20' / 50'
 MAX BUILDING HEIGHT: 52' 0"
 (ELEVATOR TOWER)
 NUMBER OF STORIES: THREE (3) STORIES
 GROSS SF OF BLDG: 18,542 SF
 PROPOSED FAR: 0.41

DEMOLISHED BUILDING AREA: 4,015 SF
 EXIST PAVEMENT AREA: 27,653 SF
 DEMOLISHED PAVEMENT AREA: 31,668 SF (70.7%)
 TOTAL DEMOLISHED IMP AREA: 31,668 SF (70.7%)

PROPOSED BUILDING FOOTPRINT: 7,290 SF
 PROPOSED PAVEMENT AREA: 22,489 SF
 PROPOSED SIDEWALK & PATIO AREA: 4,004 SF
 TOTAL PROPOSED IMP AREA: 33,783 SF (75.4%)

BUILDING FLOOR AREA: GROSS AREA
 1ST FLOOR RETAIL: 5,980 SF
 2ND FLOOR RETAIL: 4,519 SF
 3RD FLOOR RETAIL: 4,626 SF
 15,125 SF

BUILDING SETBACKS:
 NORTH: 0 FT.
 SOUTH: 0 FT.
 WEST: 15 FT.
 EAST: 15 FT. COVERED PARKING
 50 FT. MAIN BUILDING

LANDSCAPE BUFFERS:
 NORTH: 5.00 FT.
 SOUTH: 6.00 FT.
 EAST: 17.86 FT.
 WEST: 10 FT.

PARKING REQUIRED:
 FIRST FLOOR RETAIL: 1/200 sq. ft. or 30 SPACES
 SECOND FLOOR OFFICE: 1/250 sq. ft. or 18 SPACES
 THIRD FLOOR OFFICE: 1/250 sq. ft. or 19 SPACES
 67 TOTAL SPACES

PARKING PROVIDED:
 44 SPACES 9'x18'
 15 SPACES 9'x20'
 3 Handicap SPACES
 62 TOTAL SPACES

GENERAL NOTES

- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- ALL HANDICAP SPACE STRIPING AND PAVEMENT MARKINGS AND SIGNAGE TO COMPLY WITH THE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS, THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND SEMINOLE COUNTY LAND DEVELOPMENT CODE. ALL STOP BARS SHALL BE THERMOPLASTIC.
- ALL WORK SHALL CONFORM TO SEMINOLE COUNTY SPECIFICATIONS AND REGULATIONS.
- THE SITE DIMENSIONS SHOWN ARE FOR CONSTRUCTION OF SITE IMPROVEMENTS ONLY. REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION OF BUILDING. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT / FACE OF CURB UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER PRIOR TO CONSTRUCTION OF ANY DISCREPANCIES FOUND BETWEEN THESE PLANS, THE ARCHITECTURAL PLANS AND / OR FIELD CONDITIONS.
- ALL PRIVATE AND PUBLIC PROPERTY DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER.
- SEE ARCHITECTURAL PLANS FOR CONTROL JOINTS IN SIDEWALKS.
- FIRE LANE AS SHOWN IN PLAN IS TO BE THERMOPLASTIC CK SPEC 3' IN WIDTH WITH YELLOW STRIPING AND "NO PARKING OR STANDING - FIRE LANE" LETTERING.
- AT A MINIMUM A CLASS FIVE CONTRACTOR IS REQUIRED TO INSTALL FIRE LINES. FIRE LINES SHALL BEGIN AT THE POINT IN WHICH THE PIPING IS USED EXCLUSIVELY FOR FIRE PROTECTION AND END AT A POINT 1-FOOT ABOVE THE FINISHED FLOOR.
- THE FIRE LINE FOR SPRINKLED BUILDINGS STARTS AT THE DOUBLE DETECTOR CHECK VALVE.
- NO OTHER WATER CONNECTION SHALL BE OFF THE FIRE LINE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF ANY TRAFFIC SIGNAL EQUIPMENT INCLUDING BUT NOT LIMITED TO FIBER, LOOP SENSORS, PULL BOXES, CONDUIT, TRAFFIC SIGNALS, AND CABINETS. ANY ITEMS DAMAGED BY THE CONTRACTOR WILL BE RESTORED TO THEIR ORIGINAL CONDITIONS UNLESS OTHERWISE AGREED UPON BY THE COUNTY TRAFFIC ENGINEER.

Revisions	
6/14/06	Submit to Seminole County CRA
9/07/06	Submit to Seminole County Rezoning
	Rezoning Revision
	10/12/06

HB ASSOCIATES, LLC
 STRUCTURAL/CIVIL ENGINEERING
 FLORIDA # 0007943
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SPARTAN RETAIL & OFFICE
 9494 US HIGHWAY 17-92 SOUTH
 SEMINOLE COUNTY, FLORIDA

PCD FINAL SITE PLAN

Drawn:	HB
Checked:	HB
Date:	6/1/06
Scale:	1" = 20'
Job No.:	HB 06-94

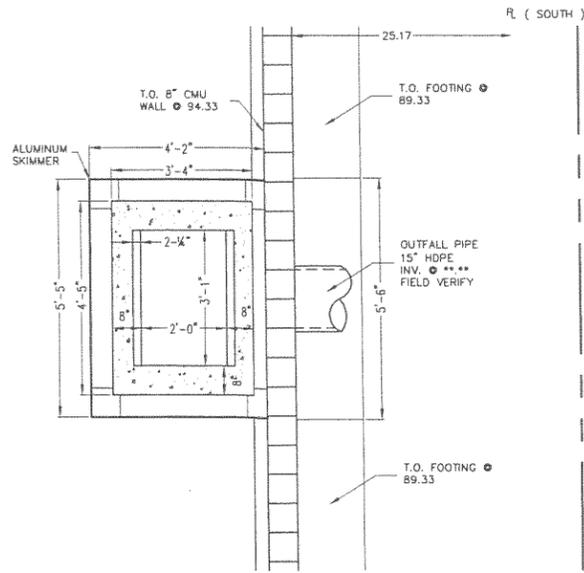
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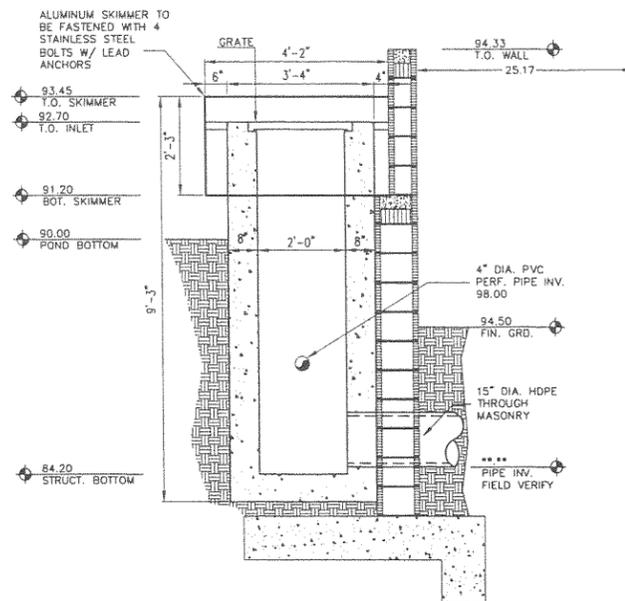
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HARRY BRUMLEY, III
 FLORIDA PE # 0041837

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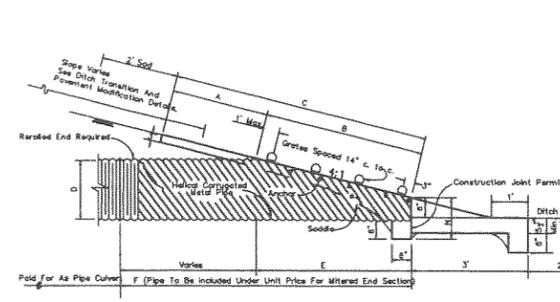
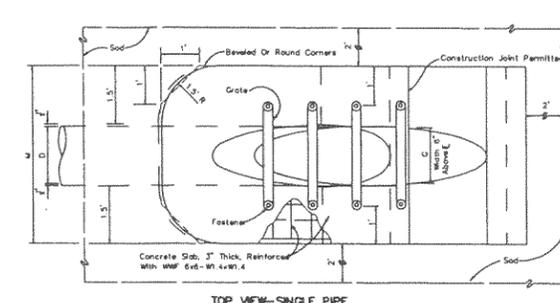


1 PLAN VIEW OUTFALL STRUCTURE
SCALE: 3/4" = 1'-0"



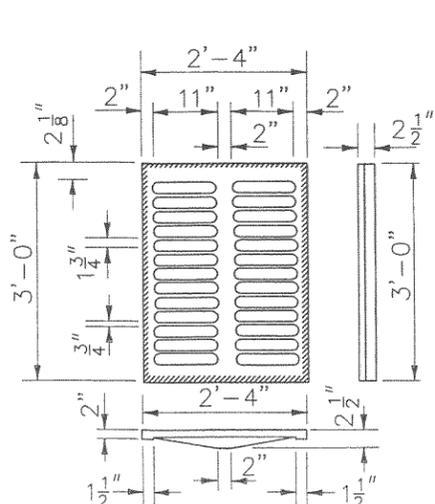
2 OUTFALL STRUCTURE
SCALE: 3/4" = 1'-0"

DIMENSIONS & QUANTITIES														REMARKS	
D	H	A	B	C	E	F	G	CONCRETE (Cu. Yds.)			SOODING (Sq. Yds.)			REMARKS	
								Single Pipe	Double Pipe	Triple Pipe	Single Pipe	Double Pipe	Triple Pipe		
8"	2'-0"	2.5	0.72	3.22	0.7	4.0	0.58	3.72	5.72	7.72	9.72	1.04		THESE SIZES ARE RESTRICTED TO INLET AND OUTLET TREATMENT FOR WATER MANAGEMENT SYSTEMS OF SIMILAR APPLICATIONS. SET GENERAL NOTE NO. 8 SEE F.D.S.I. NO. 271 SHEET 5 OF 8 FOR 5' VOT SLAB QUANTITIES. DIMENSIONS PERMITTED TO ALLOW USE OF 17 STANDARD PIPE LENGTHS. DIMENSIONS PERMITTED TO ALLOW USE OF 17 STANDARD PIPE LENGTHS. ALL CONCRETE SLAB SHALL BE REINFORCED TO FORM BRIDGE ACROSS TOP OF PIPE. SEE SECTION BELOW.	
10"	2'-0"	2.5	1.04	3.84	1.0	5.0	0.81	3.82	5.08	6.82	10.41	1.04			
12"	2'-0"	2.5	1.36	4.56	1.3	6.0	1.00	4.08	5.52	6.72	11.08	1.04			
14"	2'-0"	2.5	1.68	5.28	1.6	7.0	1.13	4.33	6.22	6.50	12.08	1.04			
16"	2'-0"	2.5	2.00	6.00	1.9	8.0	1.28	4.58	7.12	10.22	13.08	1.04			
18"	2'-0"	2.5	2.32	6.72	2.2	9.0	1.44	4.88	8.02	11.22	15.08	1.04			
20"	2'-0"	2.5	2.64	7.44	2.5	10.0	1.61	5.22	9.02	12.22	17.08	1.04			
22"	2'-0"	2.5	2.96	8.16	2.8	11.0	1.79	5.62	10.02	13.22	19.08	1.04			
24"	2'-0"	2.5	3.28	8.88	3.1	12.0	2.00	6.02	11.02	14.22	21.08	1.04			
26"	2'-0"	2.5	3.60	9.60	3.4	13.0	2.24	6.42	12.02	15.22	23.08	1.04			
28"	2'-0"	2.5	3.92	10.32	3.7	14.0	2.49	6.82	13.02	16.22	25.08	1.04			
30"	2'-0"	2.5	4.24	11.04	4.0	15.0	2.76	7.22	14.02	17.22	27.08	1.04			
32"	2'-0"	2.5	4.56	11.76	4.3	16.0	3.04	7.62	15.02	18.22	29.08	1.04			
34"	2'-0"	2.5	4.88	12.48	4.6	17.0	3.34	8.02	16.02	19.22	31.08	1.04			
36"	2'-0"	2.5	5.20	13.20	4.9	18.0	3.64	8.42	17.02	20.22	33.08	1.04			

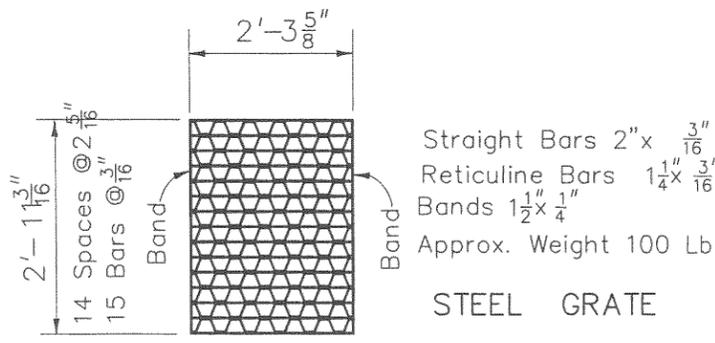


- GENERAL NOTES**
- UNLESS OTHERWISE DESIGNATED IN THE PLANS, CONCRETE PIPE MITERED END SECTIONS MAY BE USED WITH ANY TYPE OF SIZE DRAIN PIPE. CORRUGATED STEEL PIPE MITERED END SECTIONS MAY BE USED WITH ANY TYPE OF SIZE DRAIN PIPE EXCEPT ALUMINUM PIPE. ALSO, CORRUGATED ALUMINUM MITERED END SECTIONS MAY BE USED WITH ANY TYPE OF SIZE DRAIN PIPE EXCEPT STEEL PIPE. WHEN BUTT JOINTS COATED METAL PIPE IS SPECIFIED FOR SIZE DRAIN PIPE, MITERED END SECTIONS SHALL BE CONSTRUCTED WITH USE PIPE OR CONCRETE PIPE. WHEN THE MITERED END SECTION PIPE IS CONCRETE, A CONCRETE JACKET SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 430-4.
 - CONCRETE PIPE USED IN THE ASSEMBLY OF MITERED END SECTIONS SHALL BE OF SELECTIVE LENGTHS TO AVOID EXCESSIVE CONNECTIONS. CORRUGATED METAL PIPE CALDWELL THAT IS DAMAGED DURING BEVELING AND PREPARING FOR MITERED END SECTION SHALL BE REPAIRED. THAT PORTION OF CORRUGATED METAL PIPE IN DIRECT CONTACT WITH THE CONCRETE SLAB SHALL BE BUTT JOINTS COATED PRIOR TO PLACING OF THE CONCRETE.
 - CORRUGATED POLYETHYLENE PIPE (CPE) FOR SIZE DRAIN APPLICATION OF 15", 18" OR 24" DIAMETER SHALL UTILIZE EITHER CORRUGATED METAL OR CONCRETE MITERED END SECTIONS. WHEN USED IN CONJUNCTION WITH CORRUGATED METAL MITERED END SECTIONS, CONNECTION SHALL BE BY EITHER A FORMED METAL BAND SPECIFICALLY DESIGNATED TO JOIN CPE PIPE AND METAL PIPE, OR COVER COATED APPROVED BY THE STATE DRAINAGE ENGINEER. WHEN USED IN CONJUNCTION WITH A CONCRETE MITERED END SECTION, CONNECTION SHALL BE BY CONCRETE JACKET CONSTRUCTED IN ACCORDANCE WITH SECTION 430-4.
 - WHEN COSTING MULTIPLE SIZE DRAIN PIPES ARE SPACED OTHER THAN THE DIMENSIONS SHOWN IN THIS DETAIL, OR HAVE NON-PARALLEL AXES, OR HAVE NON-UNIFORM SECTIONS, THE MITERED END SECTIONS WILL BE CONSTRUCTED EITHER SEPARATELY AS SINGLE PIPE MITERED END SECTIONS OR COLLECTIVELY AS MULTIPLE PIPE END SECTIONS AS DIRECTED BY THE ENGINEER. HOWEVER, MITERED END SECTIONS WILL BE PAID FOR EACH BASED ON EACH INDEPENDENT PIPE END.
 - IN ADDITION TO THE REQUIREMENTS OF SECTION 430-4, SIZE DRAIN COVERTS SHALL COMPLY WITH THE OTHER REQUIREMENTS SHOWN ON SHEET NO. 206.
 - THE REINFORCED CONCRETE SLAB SHALL BE CONSTRUCTED FOR ALL SIZES OF SIZE DRAIN PIPE AND CAST IN PLACE WITH CLASS 1 CONCRETE.
 - ROUND PIPE 36" OR GREATER PIPE-HIGH SIZE 30" OR GREATER AND ELLIPTICAL PIPE 18" OR GREATER SHALL BE GRADED UNLESS SPECIFIED IN THE PLANS. SMALLER SIZES OF PIPE SHALL BE GRADED ONLY WHEN CALLED FOR IN PLANS. THE LOWER GRADE ON TRADING CONCRETE SLAB OR BRIDGE WEIRWAYS SHALL BE GRADED.
 - GRATES ARE TO BE FABRICATED FROM STEEL ASTM A 36, GRADE B. PIPE, THE LOWER GRADE ON ALL TRAFFIC APPROACH ENDS SHALL BE SPECIFIED BY AND ALL REMAINING GRATES SHALL BE SPECIFIED AS GRATES SUBJECT TO SALT FREE AND CORROSION FREE ENVIRONMENT MAY BE FABRICATED FROM GALVANIZED PIPE, WITH BASE METAL EXPOSED DURING FABRICATION PREPARED AS SPECIFIED IN SECTION 562, STABILIZED OR FURNISHED FROM BLACK PIPE AND HOT DIPPED GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A 113. GRATES SUBJECT TO SALT WATER OR HEAVY CORROSION ENVIRONMENT SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A 113.
 - OTHER DIMENSIONS SHALL BE USED ON ALL GRATES IN EXCESS OF 28 AS DIRECTED BY THE ENGINEER.
 - THE PROJECT ENGINEER SHALL CONTACT THE DISTRICT DRAINAGE ENGINEER FOR POSSIBLE ALTERNATE TREATMENT PRIOR TO CONSTRUCTING SIZE DRAIN MITERED END SECTIONS WHERE A MINIMUM SPACING OF 3' WILL NOT OCCUR BETWEEN THE POINTS OF THE MITERED END SECTIONS.
 - THE COST OF ALL PIPE (S), GRATES, FASTENERS, REINFORCING CONNECTORS, ANCHORS, CONCRETE, SEALANTS, JACKETS AND COUPLING BANDS SHALL BE INCLUDED IN THE COST FOR THE MITERED END SECTION. SEEDING SHALL BE PAID FOR SEPARATELY UNDER THE CONTRACT UNIT PRICE FOR SEEDING. ST. MITERED END SECTIONS SHALL BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR MITERED END SECTION (S), EACH BASED ON EACH INDEPENDENT PIPE END.

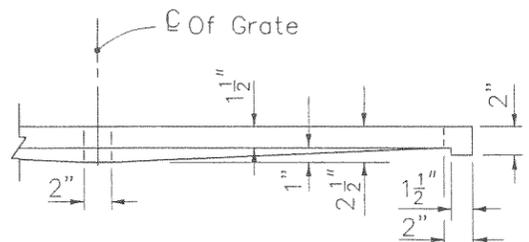
SIDE DRAIN MITERED END SECTIONS FOR CORRUGATED METAL AND ROUND CONCRETE PIPE



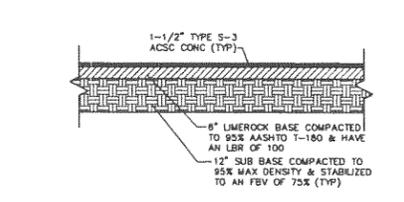
TYPE C
Approx. Weight 235 Lbs.
CAST IRON GRATE



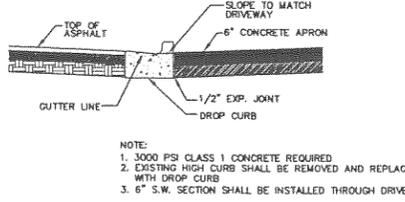
TYPE C
STEEL GRATE



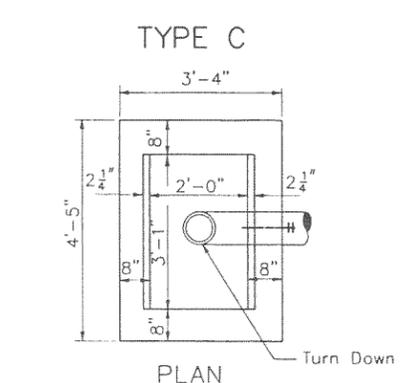
HALF SECTION CAST IRON GRATES



4 ASPHALT PAVING DETAIL
N.T.S.



5 APRON CONNECTION
N.T.S.



TYPE "C" INLET

Revisions
6/14/06 Submit to Seminole County CRA
9/07/06 Submit to Seminole County Rezoning
Res zoning Revision
10/12/06

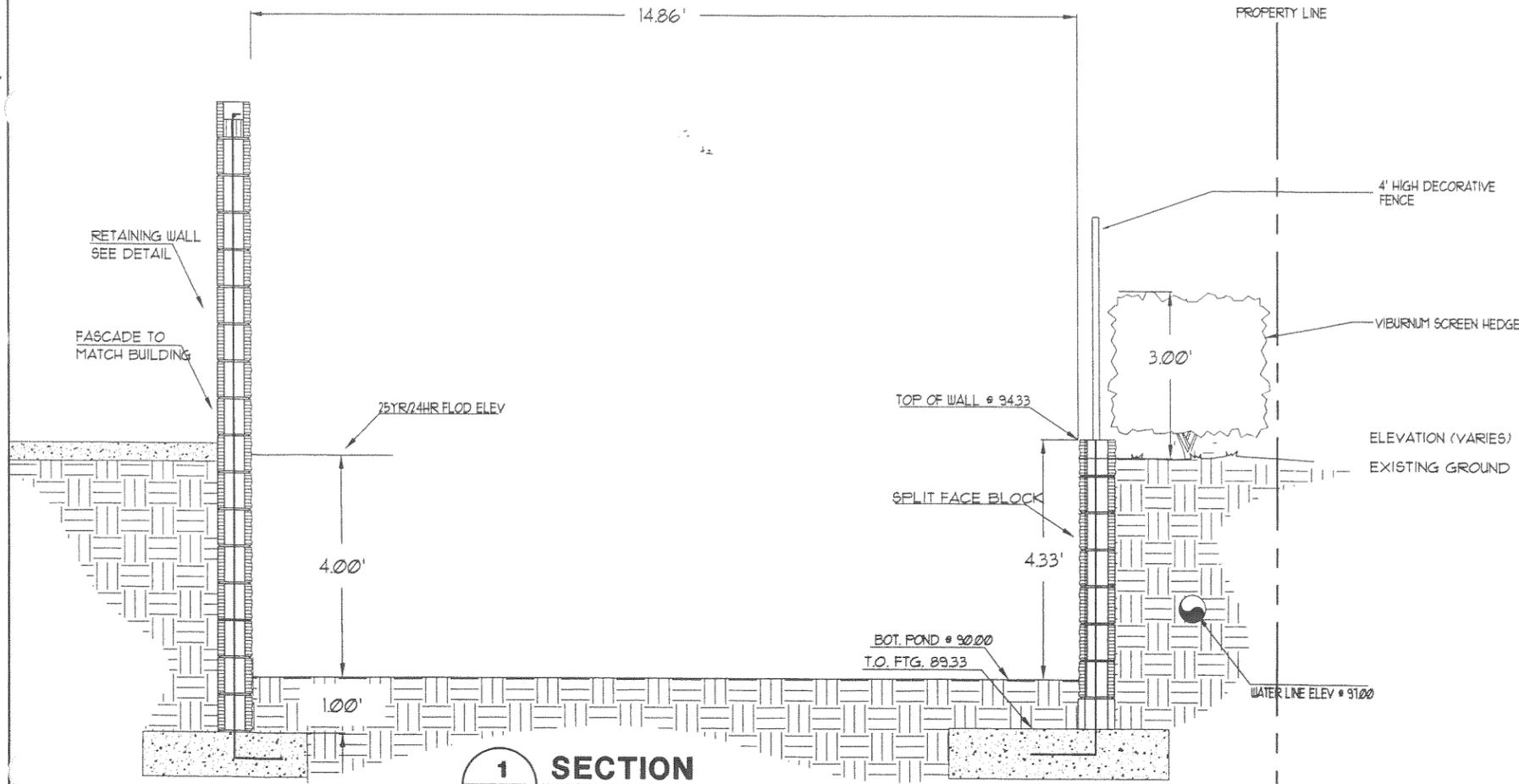
HB ASSOCIATES, LLC
STRUCTURAL/CIVIL ENGINEERING
FLORIDA CA # 00070415
377 MATLAND AVENUE, SUITE # 1014 (407) 740-5444
ALTAHONTE SPRINGS, FL 32701-5442 FAX (407) 740-7900

SPARTAN RETAIL & OFFICE
9494 US HIGHWAY 17-92 SOUTH
SEMINOLE COUNTY, FLORIDA

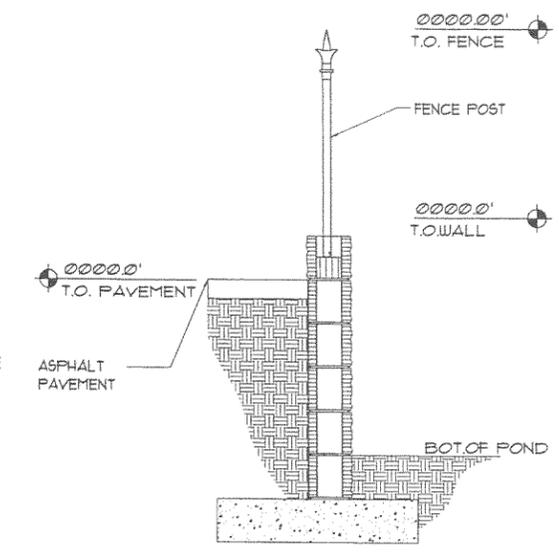
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Date: 6/11/06
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Job No.: HB 06-94

Sheet: 7 of 9
C7
File: 10261-c7.dwg

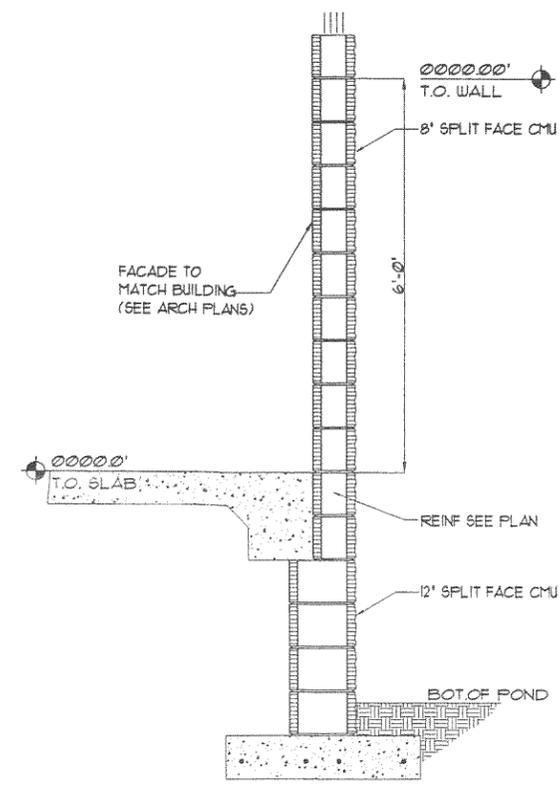
HARRY BRUMLEY, III
FLORIDA PE # 0041837



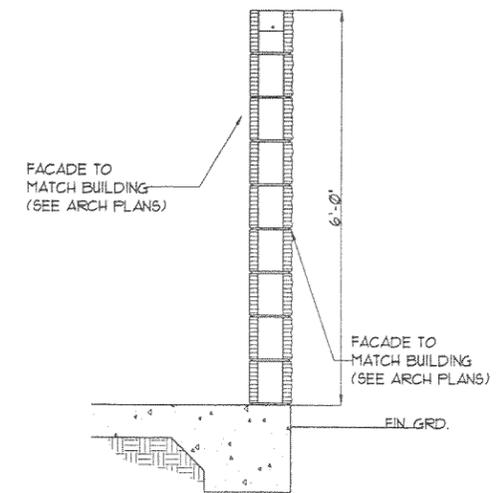
1 SECTION
C7.1



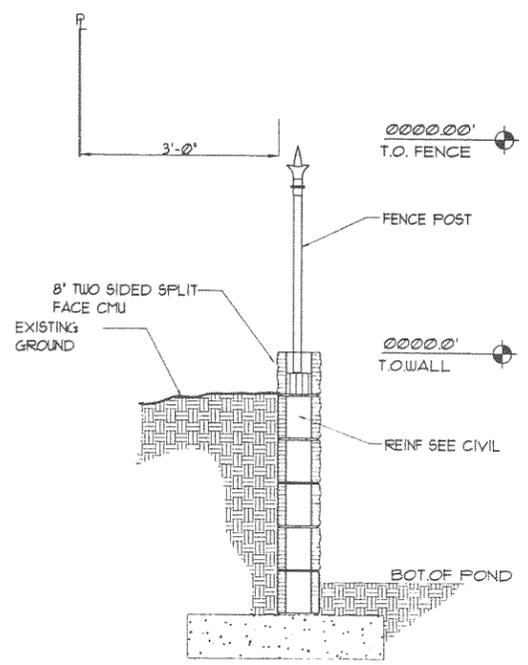
2 SECTION
C7.1



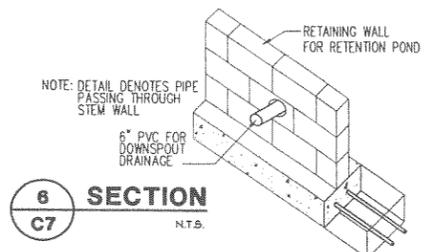
3 DUMP.WALL/RET.POND SECTION
C7.1



4 DUMPSTER WALL SECTION
C7.1



5 SECTION
C7.1



6 SECTION
C7.1

10/17/06
HARRY BRUMLEY, III
FLORIDA PE # 0041837

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Revisions	
6/14/06	Submit to Seminole County CRA
9/07/06	Submit to Seminole County Rezoning
10/12/06	Rezoning Revision

HB ASSOCIATES, LLC
STRUCTURAL/CIVIL ENGINEERING
FLORIDA CA # 0007045

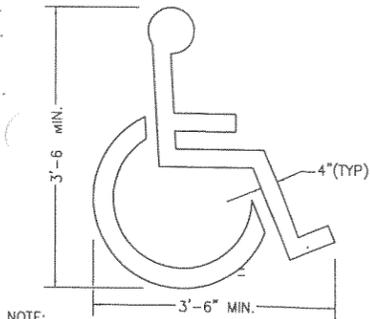
377 MAITLAND AVENUE, SUITE # 1014 (407) 740-5444
ALTA MONTE SPRING, FL 32701-5442 FAX (407) 740-7800

SPARTAN RETAIL & OFFICE
9494 US HIGHWAY 17-92 SOUTH
SEMINOLE COUNTY, FLORIDA

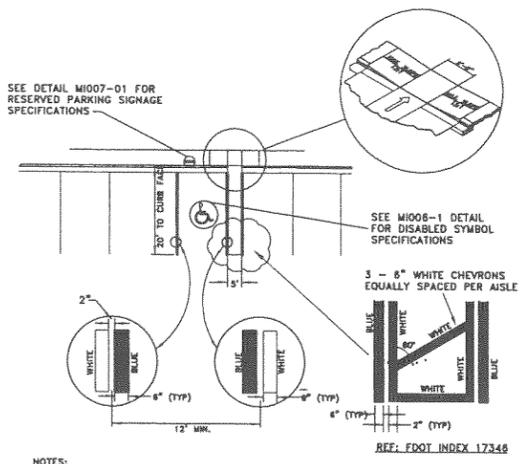
DETAILS

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Checked:	HB
Date:	6/1/06
Scale:	N.T.S.
Job No.:	HB 06-94

Sheet: 7 of 9
C7.1
File: /0267-c7.dwg



NOTE: THIS SYMBOL TO BE WHITE DOT. TRAFFIC RATED PAINT
ACCESSIBLE PARKING - PAVEMENT SYMBOL

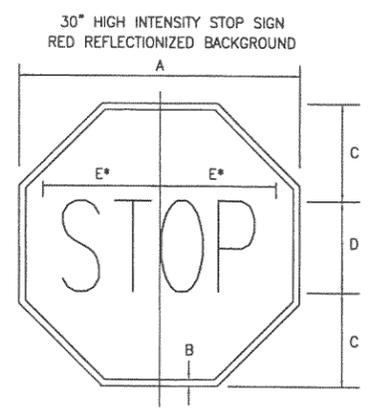


- NOTES:
- EACH SUCH PARKING SPACE SHALL BE CONSPICUOUSLY STRIPED IN BLUE PAINT, AND SHALL BE POSTED AND MAINTAINED WITH A PERMANENT, ABOVE GRADE SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, AND THE CAPTION "PARKING BY DISABLED PERMIT ONLY". SUCH SIGNS SHALL NOT BE OBTAINED BY A VEHICLE PARKED IN THE SPACE. ALL DISABLED PARKING SPACES MUST BE SIGNED AND MARKED IN ACCORDANCE WITH THE STANDARDS ADOPTED BY THE DEPARTMENT OF TRANSPORTATION.
 - PARKING SPACE WIDTH SHALL BE MEASURED FROM CENTER TO CENTER BETWEEN BLUE AND WHITE STRIPES.
 - THIS DETAIL IS PROVIDED TO SUPPORT LDC SECTION 3.41.3.2
 - WHERE CURBING EXISTS PARALLEL TO STALL, BLUE LINE SHALL BE REQUIRED ADJACENT TO CURB (WHITE LINE WILL NOT BE REQUIRED).



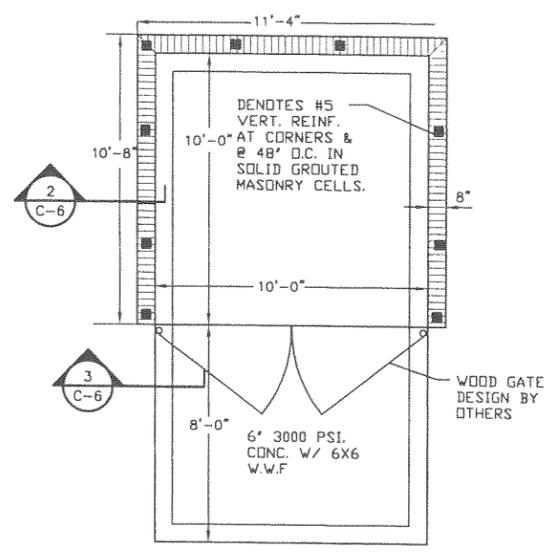
HC ACCESSIBLE PARKING SIGNAGE

- NOTES:
- LETTERS SHALL BE BLACK AND 1" IN HEIGHT AND 2" APART. LETTERS ARE TO BE SERIES OR "C", PER MUTCD.
 - TOP PORTION OF SIGN SHALL HAVE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
 - BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK BORDER.
 - ONE SIGN REQUIRED FOR EACH PARKING SPACE.
 - HEIGHT OF SIGN SHALL BE 7' FROM THE BOTTOM OF THE SIGN TO NEAREST EDGE OF PAVEMENT IN STRICT ACCORDANCE WITH SECTION 2A-18 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
 - OPTION: THE HEIGHT TO THE BOTTOM OF THE TWO (2) SECONDARY SIGNS MOUNTED BELOW ANOTHER SIGN MAY BE SIX FEET (6').



DIMENSIONS		INCHES	
A	B	C	D
30	2 1/4	5 3/4	8 1/8

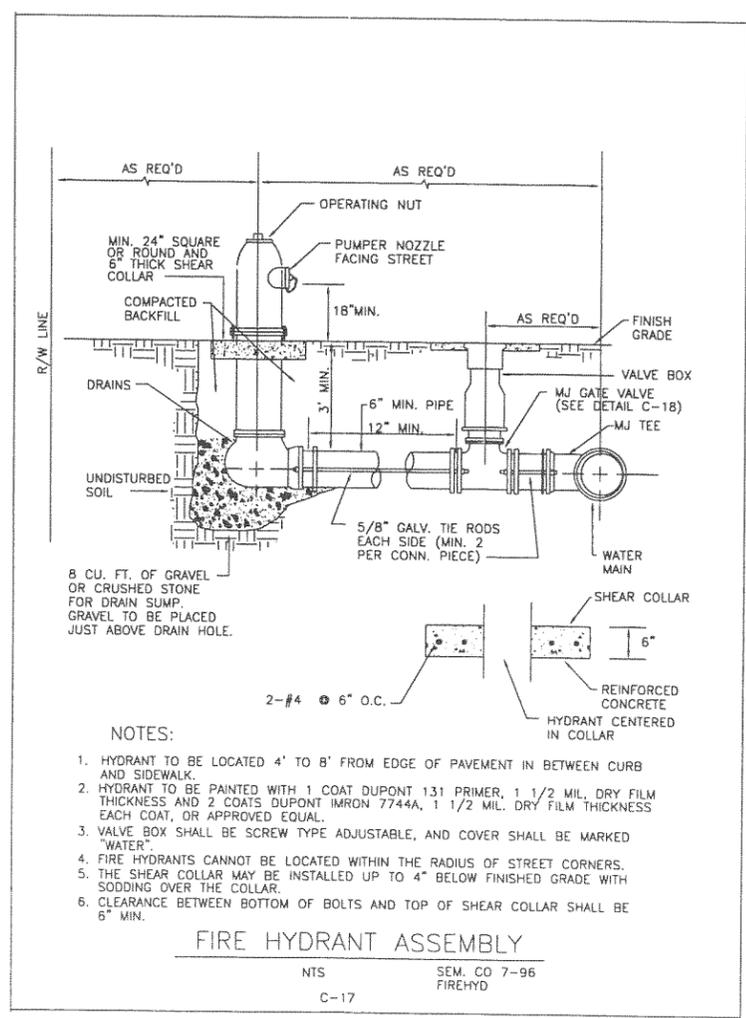
* REDUCE SPACING BY 40%



1 DUMPSTER PLAN
 C-6 N.T.S

**STRUCTURAL DESIGN CRITERIA
 GOVERNING CODES AND SPECIFICATIONS
 PRIVACY WALL / DUMPSTER WALL NOTES**

- Wall design is based on minimum 120 MPH wind load in accordance with the 2004 Florida Building Code.
- Wall and foundation design is based on a granular cohesionless soil with the following properties:
 Total Unit Weight Compacted100 PCF
 Allowable Bearing Pressure2000 PSF
 Passive Lateral Coefficient3.00
 Active Lateral Coefficient0.33
 Maximum % Passing #200 Sieve12
- Provide wall joint at 20' on center minimum. Discontinue horizontal reinforcement and provide 1 #5 in solid grouted cell on each side of joint.
- Concrete work shall be in accordance with ACI 301301-89 "Specifications for Structural Concrete for Buildings."
- Concrete shall have a minimum compressive strength of 3000 PSI at 28 days.
- Concrete masonry work shall be in accordance with ACI 530.1-92 "Specifications for Concrete Masonry Structures."
- Concrete masonry units shall be in accordance with ASTM C90, Grade N Type II and shall be of a type such that the cores line up vertically.
- Hollow masonry clay units shall be in accordance with ASTM C652 and shall have a net compressive strength of 5000 psi.
- Masonry mortar shall be in accordance with ASTM C270, Type S or M.
- Grout for masonry work shall be in accordance with ASTM C476, Coarse Type, and shall attain a compressive strength of 2000 psi at 28 days.
- Provide bridge ladder-type joint reinforcing at 16" on center vertically in all masonry construction. Lap joint reinforcement a minimum of 6" and discontinue at with ASTM A82.
- Masonry joint reinforcement shall be hot-dip galvanized steel wire in accordance with ASTM A615, Grade 40.
- Lap splices for masonry reinforcement shall be permitted provided lap splices are a minimum 40 bar diameters in length.



- NOTES:
- HYDRANT TO BE LOCATED 4' TO 8' FROM EDGE OF PAVEMENT IN BETWEEN CURB AND SIDEWALK.
 - HYDRANT TO BE PAINTED WITH 1 COAT DUPONT 131 PRIMER, 1 1/2 MIL. DRY FILM THICKNESS AND 2 COATS DUPONT IMRON 7744A, 1 1/2 MIL. DRY FILM THICKNESS EACH COAT, OR APPROVED EQUAL.
 - VALVE BOX SHALL BE SCREW TYPE ADJUSTABLE, AND COVER SHALL BE MARKED "WATER".
 - FIRE HYDRANTS CANNOT BE LOCATED WITHIN THE RADIUS OF STREET CORNERS.
 - THE SHEAR COLLAR MAY BE INSTALLED UP TO 4" BELOW FINISHED GRADE WITH SODDING OVER THE COLLAR.
 - CLEARANCE BETWEEN BOTTOM OF BOLTS AND TOP OF SHEAR COLLAR SHALL BE 6" MIN.

FIRE HYDRANT ASSEMBLY

NTS SEM. CO 7-96
 C-17 FIREHYD

Revisions	
6/14/06	Submit to Seminole County CRA
9/07/06	Submit to Seminole County Rezoning
	Rezoning Revision

HB ASSOCIATES, LLC
 STRUCTURAL/CIVIL ENGINEERING
 FLORIDA CA # 0007045
 377 HATLAND AVENUE, SUITE # 1014 ALTAMONTE SPRINGS, FL 32701-5442
 (407) 740-5444 FAX (407) 740-7900

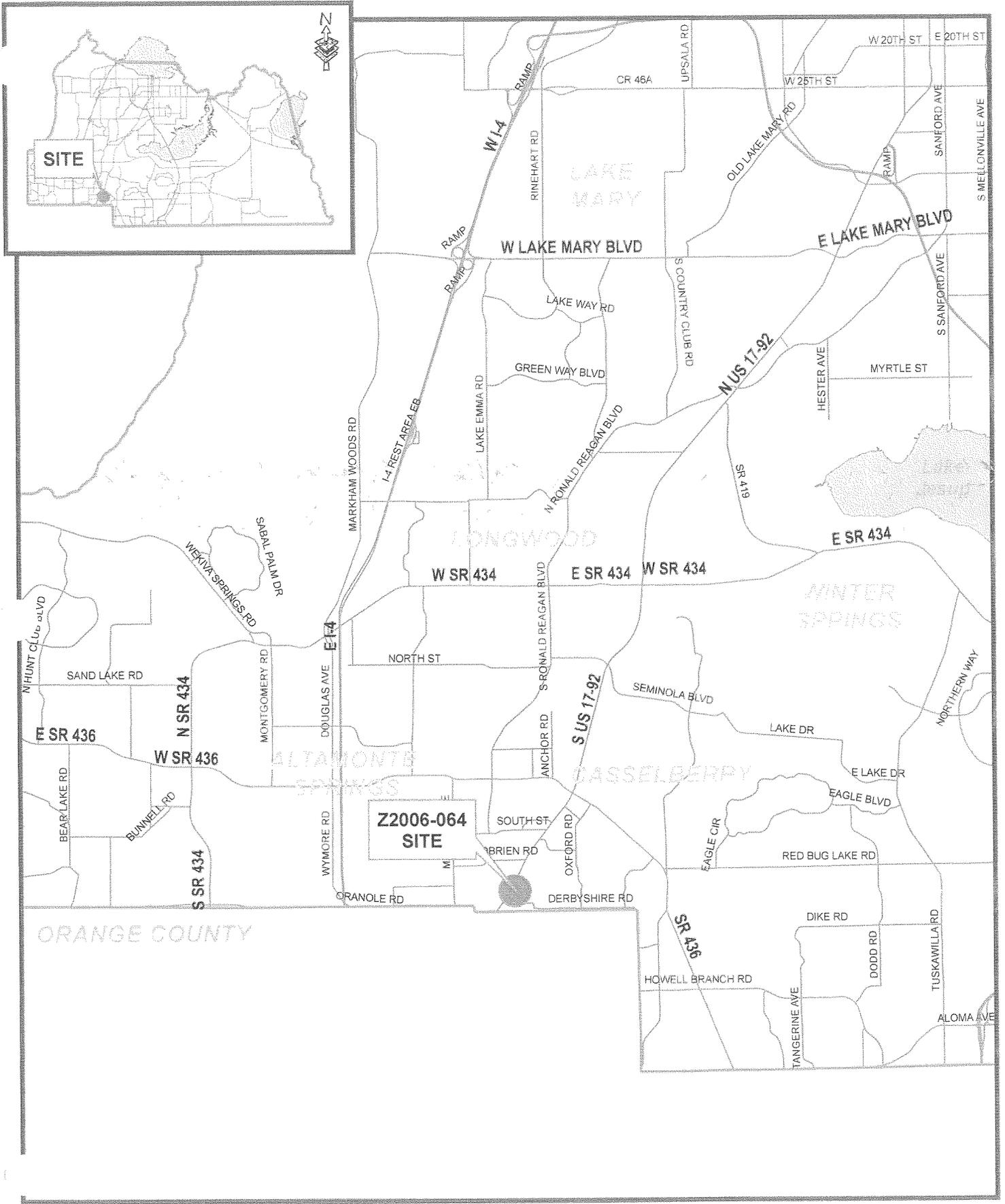
SPARTAN RETAIL & OFFICE
 9494 US HIGHWAY 17-92 SOUTH
 SEMINOLE COUNTY, FLORIDA

UTILITY PLAN

Drawn:	HB
Checked:	HB
Date:	6/1/06
Scale:	1" = 20'
Job No.:	HB 06-94

Handwritten signature
HARRY BRUMLEY, III
 FLORIDA REG. # 0041837

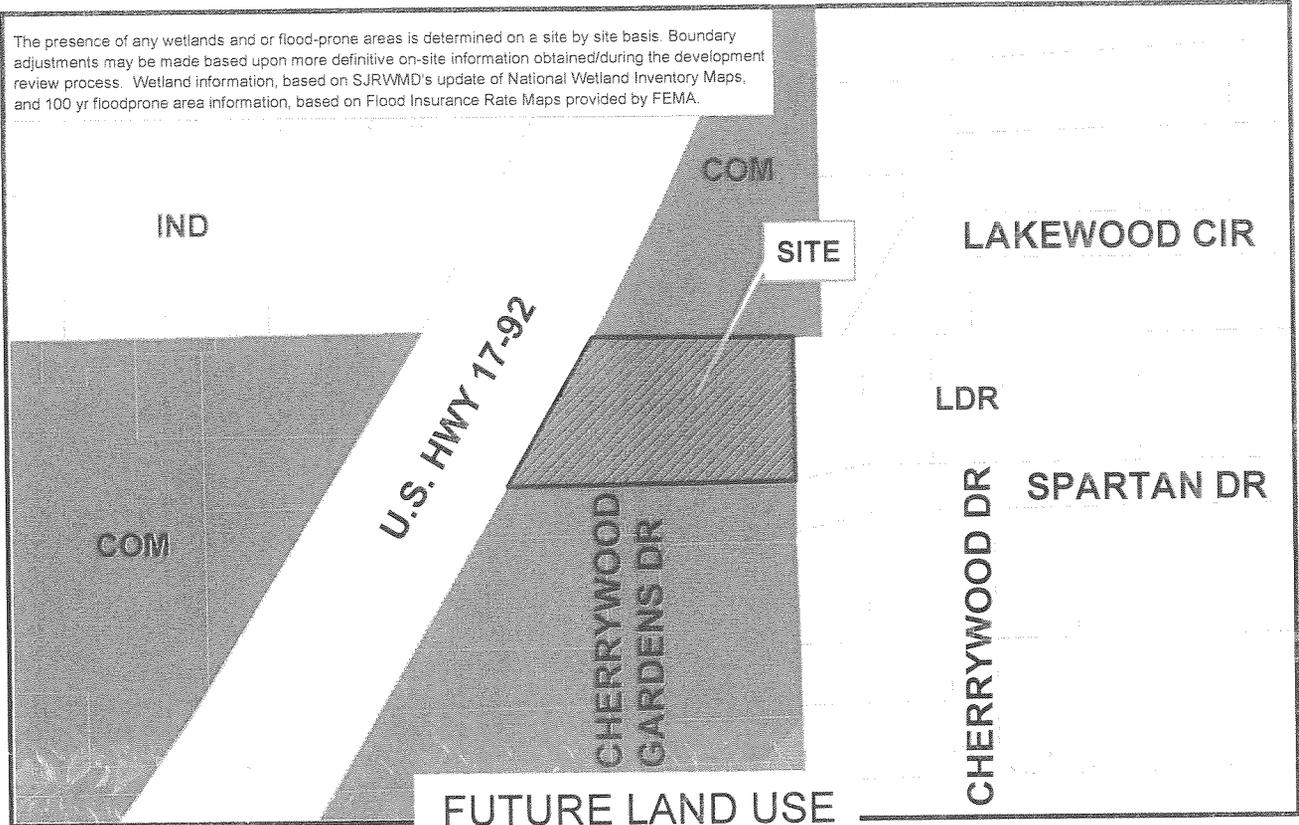
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SITE

**Z2006-064
SITE**

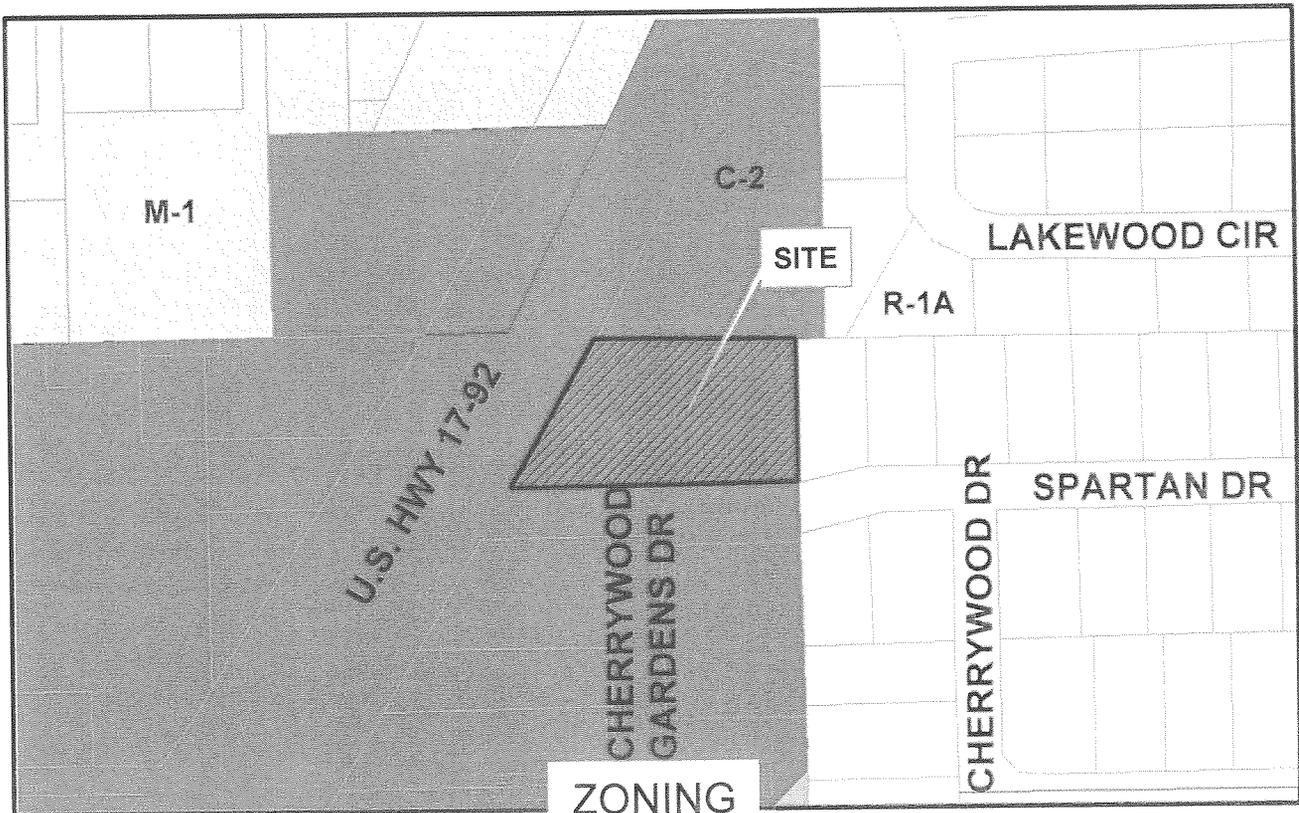
The presence of any wetlands and or flood-prone areas is determined on a site by site basis. Boundary adjustments may be made based upon more definitive on-site information obtained/during the development review process. Wetland information, based on SJRWMD's update of National Wetland Inventory Maps, and 100 yr floodprone area information, based on Flood Insurance Rate Maps provided by FEMA.



LDR COM IND Site Municipality CONS

Applicant: Gary Jensen
 Physical STR: 19-21-30-300-0630-0000
 Gross Acres: 1.03 acres +/- BCC District: 4
 Existing Use: Vacant/Commercial
 Special Notes: None

	Amend/ Rezone#	From	To
FLU	--	--	--
Zoning	Z2006-064	C-2	PUD



M-1 C-2 R-1A FP-1 W-1



Rezoning No: Z2006-064
 From: C-2 To: PUD

-  Parcel
-  Subject Property



Winter 2006 Color Aerials

Z2006-064

DEVELOPMENT ORDER #06-20500008

SEMINOLE COUNTY DEVELOPMENT ORDER

On December 12, 2006, Seminole County issued this Administrative Order relating to and touching and concerning the following property described in the attached legal description as Exhibit "A".

(The aforementioned legal description has been provided to Seminole County by the owner of the subject property.)

FINDINGS OF FACT

Property Owner(s): Spartan 17-92, LLC

Project Name: Spartan Office and Retail PUD Rezone

Requested Development Approval: Rezone from C-2 (Retail Commercial) and PUD (Planned Unit Development).

The Development Approval sought is consistent with the Seminole County Comprehensive Plan and will be developed consistent with and in compliance to applicable land development regulations and all other applicable regulations and ordinances.

The owner of the property has expressly agreed to be bound by and subject to the development conditions and commitments stated below and has covenanted and agreed to have such conditions and commitments run with, follow and perpetually burden the aforescribed property.

Prepared by: Michael Rumer
1101 East First Street
Sanford, Florida 32771

NOW, THEREFORE, IT IS ORDERED AND AGREED THAT:

(1) The aforementioned application for development approval is **GRANTED**.

(2) All development shall fully comply with all of the codes and ordinances in effect in Seminole County at the time of issuance of permits including all impact fee ordinances.

(3) The conditions upon this development approval and the commitments made as to this development approval, all of which have been accepted by and agreed to by the owner of the property are as follows:

- A. All development shall comply with the Preliminary Master Plan attached as Exhibit B and the building elevation attached as Exhibit C.
- B. The maximum building height shall be two stories, not to exceed 52'.
- C. The project shall consist of no more than 5,980 square feet of retail on the first floor, 4,519 square feet of office on the second floor and 4,626 square feet of office on the third floor.
- D. Minimum building setbacks from the property perimeter boundary shall be:
 - 1. 0' side setback from the north property line (abutting existing Commercial).
 - 2. 0' side setback from the south property line (abutting Spartan Drive).
 - 3. 15' rear setback from the covered parking and 50' for the main building from the east property line (abutting Low Density Residential).
 - 4. 15' from the western property line (abutting US 17-92).
- E. Permitted uses for the first floor retail shall be in accordance with the provisions of the C-1 district, special exception uses shall remain special exception uses, with the following prohibited uses:
 - Launderettes and Laundromats
 - Plant nurseries
 - Multi-family housing
- F. Permitted uses for the second and third floor shall be in accordance with the provisions of the OP Office District
- G. The walled retention pond will consist of cascading split faced block.
- H. A sidewalk is not required along Spartan Drive.
- I. A minimum of 25% usable open space shall be provided. The amenities associated with the open space shall be determined at Final Master Plan.
- J. 62 parking spaces are required.
- K. Parking spaces shall be a minimum of 9x18.
- L. All mechanical equipment, ground or roof-mounted, shall be screened from off-site view.

(4) This Development Order touches and concerns the aforescribed property and the conditions, commitments and provisions of this Development Order shall perpetually burden, run with and follow the said property and be a servitude upon and binding upon said property unless released in whole or part by action of Seminole County by virtue of a document of equal dignity herewith. The owner of the said property has expressly covenanted and agreed to this provision and all other terms and provisions of this Development Order.

(5) The terms and provisions of this Order are not severable and in the event any portion of this Order shall be found to be invalid or illegal then the entire order shall be null and void.

Done and Ordered on the date first written above.

By: _____

Carlton D. Henley
Chairman, Board of County Commissioners

OWNER'S CONSENT AND COVENANT

COMES NOW, the owner, Mark Nasrallah, on behalf of Spartan US 17-92, LLC, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Development Order.

Witness

Mark Nasrallah

Witness

STATE OF FLORIDA)

)

COUNTY OF SEMINOLE)

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Thomas Beckel who is personally known to me or who has produced _____ as identification and who did take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this _____ day of _____, 2006.

Notary Public, in and for the County and State
Aforementioned

My Commission Expires:

EXHIBIT A

THE NORTH 210 FEET OF THE SOUTHEAST $\frac{1}{4}$ OF THE SOUTHWEST $\frac{1}{4}$, LYING EAST OF STATE ROAD 17-92, SECTION 19, TOWNSHIP 21 SOUTH, RANGE 30 EAST, SEMINOLE COUNTY, FLORIDA, LESS THE SOUTH 50 FEET.

AN ORDINANCE AMENDING THE LAND DEVELOPMENT CODE OF SEMINOLE COUNTY; PROVIDING FOR THE REZONING OF CERTAIN DESCRIBED REAL PROPERTIES LOCATED IN UNINCORPORATED SEMINOLE COUNTY FROM C-2 (RETAIL COMMERCIAL) TO PUD (PLANNED UNIT DEVELOPMENT DISTRICT); PROVIDING FOR LEGISLATIVE FINDINGS; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION; AND PROVIDING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF SEMINOLE COUNTY, FLORIDA:

Section 1. LEGISLATIVE FINDINGS.

(a) The Board of County Commissioners hereby adopts and incorporates into this Ordinance as legislative findings the contents of the document titled "Spartan Office and retail PUD Rezone".

(b) The Board of County Commissioners hereby determines that the economic impact statement referred to by the Seminole County Home Rule Charter is unnecessary and waived as to this Ordinance.

Section 2. REZONING. The zoning classification assigned to the following described property is changed from the C-2 (Retail Commercial) to the PUD (Planned Unit Development District) zoning classification.

LEGAL DESCRIPTION ATTACHED AS EXHIBIT A

Section 3. CODIFICATION. It is the intention of the Board of County Commissioners that the provisions of this Ordinance shall not be codified.

Section 4. SEVERABILITY. If any provision of this Ordinance or the application thereof to any person or circumstance is held invalid, it is the intent of the Board of County Commissioners that the invalidity shall not affect other provisions or applications of this Ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this Ordinance are declared severable.

Section 5. EFFECTIVE DATE. A certified copy of this Ordinance shall be provided to the Florida Department of State by the Clerk of the Board of County Commissioners in accordance with Section 125.66, Florida Statutes, and this Ordinance shall take effect upon filing the Ordinance with the Department of State and recording Development Order #06-21700004 in the Public Records of Seminole County, Florida.

ENACTED this 12th day of December 2006

BOARD OF COUNTY COMMISSIONERS
SEMINOLE COUNTY, FLORIDA

By: _____
Carlton D. Henley, Chairman

**EXHIBIT A
LEGAL DESCRIPTION**

THE NORTH 210 FEET OF THE SOUTHEAST $\frac{1}{4}$ OF THE SOUTHWEST $\frac{1}{4}$, LYING EAST OF STATE ROAD 17-92, SECTION 19, TOWNSHIP 21 SOUTH, RANGE 30 EAST, SEMINOLE COUNTY, FLORIDA, LESS THE SOUTH 50 FEET.

FILE # Z2006-64

SEMINOLE COUNTY DENIAL DEVELOPMENT ORDER

On December 12, 2006, Seminole County issued this Denial Development Order relating to and touching and concerning the following property described in the attached legal description as Exhibit "A".

Property Owner(s):

Spartan 17-92 LLC
507N NEW YORK AV
Orlando, FL 32861

Project Name: Spartan Office and Retail PUD Rezone

Requested Development Approval: The applicant is requesting a rezone from C-2 (Retail Commercial) to PUD (Planned Unit Development)

The Board of County Commissioners has determined that the requested rezoning from C-2 (Retail Commercial) to PUD (Planned Unit Development) and the associated Preliminary Master Plan is not compatible with the surrounding area and could not be supported.

After fully considering staff analysis titled "Spartan Office and Retail PUD Rezone" and all evidence submitted at the public hearing on December 12, 2006, regarding this matter the Board of County Commissioners have found, determined and concluded that the requested rezoning should be denied.

ORDER

NOW, THEREFORE, IT IS ORDERED AND AGREED THAT:

The aforementioned application for development approval is **DENIED**.

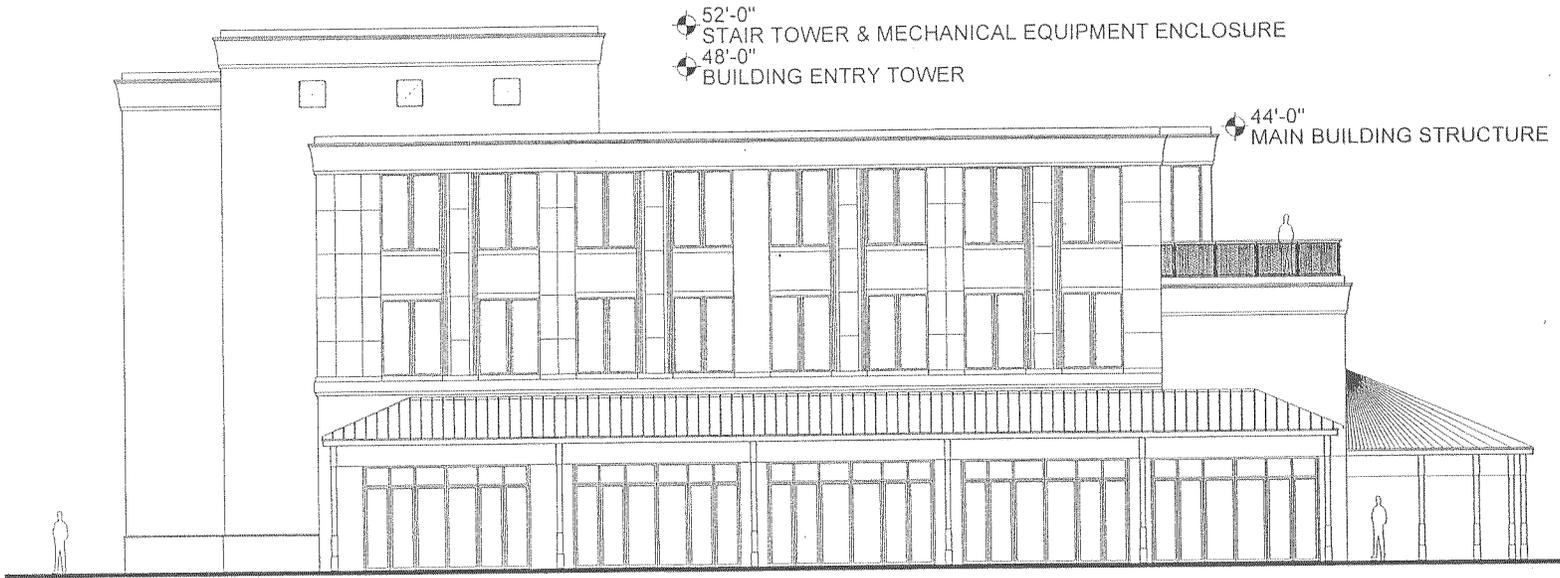
Done and Ordered on the date first written above.

**SEMINOLE COUNTY BOARD OF
COUNTY COMMISSIONERS**

By: _____
Carlton D. Henley, Chairman

EXHIBIT A

THE NORTH 210 FEET OF THE SOUTHEAST $\frac{1}{4}$ OF THE SOUTHWEST $\frac{1}{4}$, LYING EAST OF STATE ROAD 17-92, SECTION 19, TOWNSHIP 21 SOUTH, RANGE 30 EAST, SEMINOLE COUNTY, FLORIDA, LESS THE SOUTH 50 FEET.



PRELIMINARY NORTH ELEVATION

OVER TYPED BY: [illegible] SCALE: 1/4" = 1'-0"

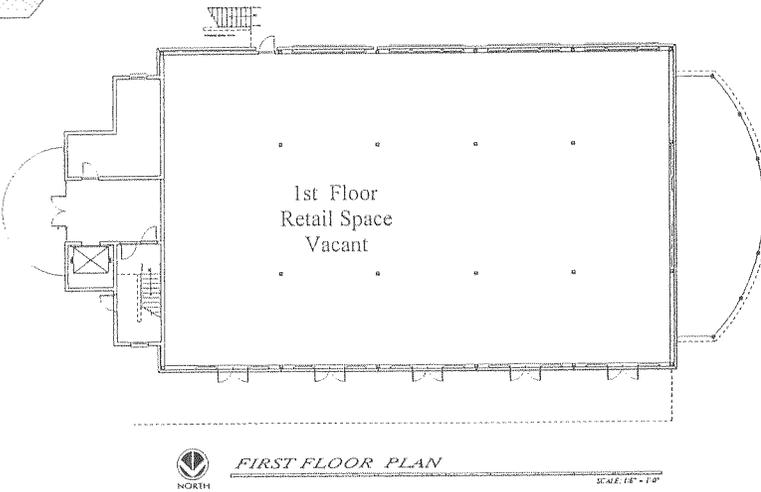
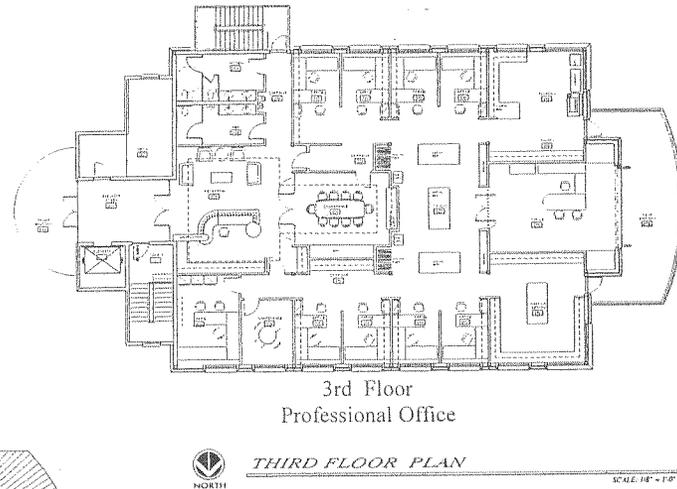
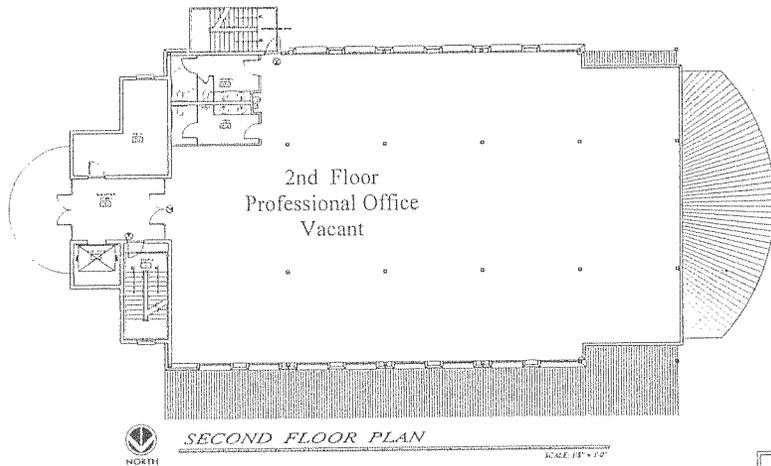
Preliminary Site Plan Review 10-11-06

PROJECT NAME	Commercial Retail & Professional Office Development
ARCHITECT	Nasrallah Architects & Engineers, Inc.
DATE	10/11/06
SCALE	1/4" = 1'-0"
SHEET NO.	A
TOTAL SHEETS	1.0

NASRALLAH
 FIRE ARCHITECTURAL DESIGN, INC.
 8427 N. New York Ave., Suite 300
 Dallas, Texas 75246
 PH: 469-247-2499
 email: info@nasrallah.com

DATE PLOTTED: 10/10/2006 10:45:00 AM

DATE PLOTTED: 10/10/2006 10:45:00 AM



SQUARE FOOTAGE CALCULATIONS

	10/10/2006
FIRST FLOOR LEASEABLE AREA	5980 S.F.
SECOND FLOOR LEASEABLE AREA	4519 S.F.
THIRD FLOOR LEASEABLE AREA	4626 S.F.
TOTAL LEASEABLE AREA	15,125 S.F.
CORE AREA	
FIRST FLOOR CORE AREA	772 S.F.
SECOND FLOOR CORE AREA	1107 S.F.
THIRD FLOOR CORE AREA	1005 S.F.
TOTAL CORE AREA	2884 S.F.
TOTAL GROSS BUILDING AREA	18,019 S.F.

Preliminary Site Plan Review: 10-11-06

PROJECT NAME: *Remanufactured Building & Professional Office Development*
Apartment #1-92 B.B.C.
 STREET NAME: *Stewart Avenue, Newark*

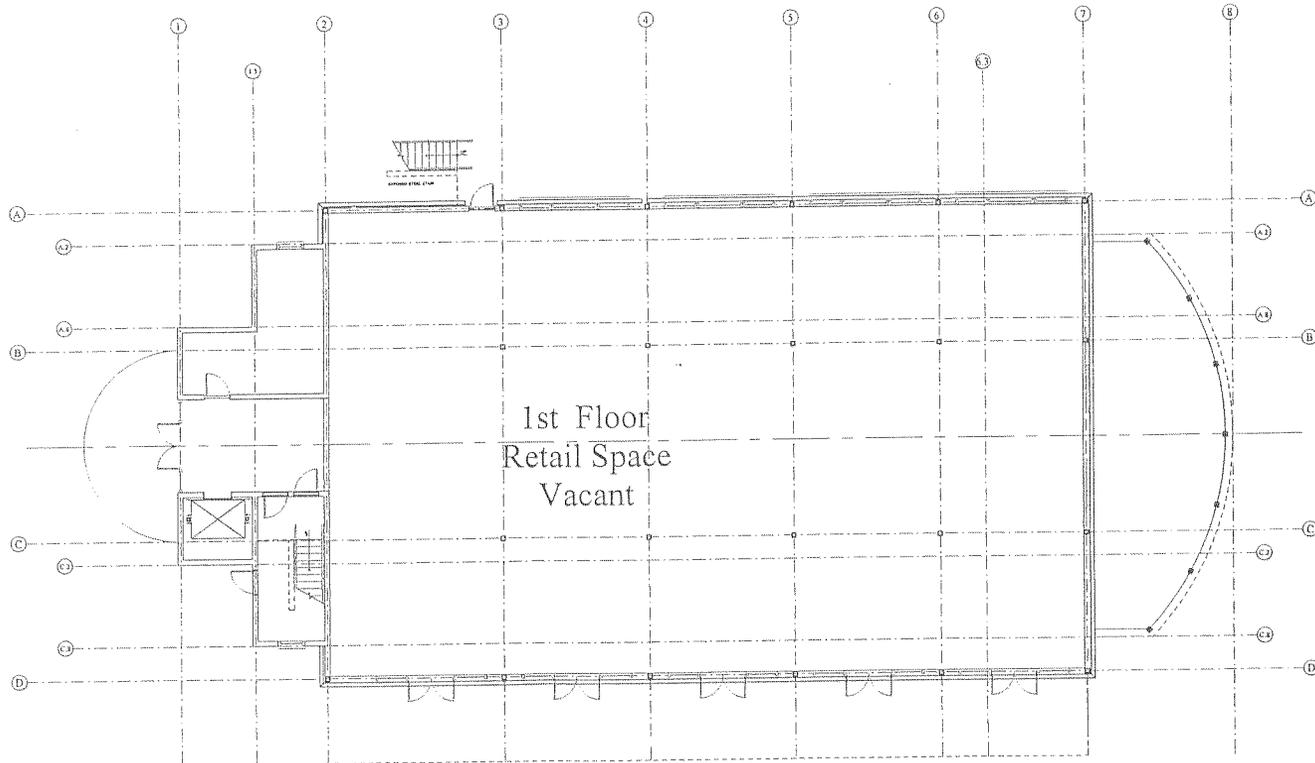
SHEET NO:
A
 OF 1.1 SHEETS

10 Aug 2006

NASRALLAH
 FINE ARCHITECTURAL DESIGN INC.

207 N. JUNKY YARD, SUITE 200
 PH: 407-647-0928 FAX: 407-647-2499
 WWW: WWW.NASRALLAHDESIGN.COM

NO.	DATE	REVISION



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

Preliminary Site Plan Review: 10-11-06

PROJECT NAME: *Remainder of Block F-14-2, Former Office Development at Spaulding F-92 S.E.C.*
 PROJECT NO.: *10-11-06*
 SHEET NO.: *A*
 OF *1* SHEETS

DATE: *10/11/06*
 DRAWN BY: *[Signature]*
 CHECKED BY: *[Signature]*
 PROJECT NO.: *10-11-06*
 SHEET NO.: *A*
 OF *1* SHEETS

DATE: *10/11/06*
 DRAWN BY: *[Signature]*
 CHECKED BY: *[Signature]*
 PROJECT NO.: *10-11-06*
 SHEET NO.: *A*
 OF *1* SHEETS

NASRALLAH

FINE ARCHITECTURAL DESIGN, INC.
 2075 W. 10th Street, Suite 300
 Winter Park, FL 32789
 Ph: 407.876.7495
 Email: info@nasrallah.com

NO.	DATE	BY	REVISIONS

