

ITEM # \_\_\_\_\_

SEMINOLE COUNTY GOVERNMENT  
LAND PLANNING AGENCY / PLANNING AND ZONING COMMISSION  
AGENDA MEMORANDUM

**SUBJECT:** ORANGE MALL Rezone from C-2 (Commercial) to PCD (Planned Commercial Development). (Orange Mall Partners LLC/ Land Design Innovations, Inc. Constance Owens, applicant)

**DEPARTMENT:** Planning & Development **DIVISION:** Planning

**AUTHORIZED BY:** Matthew West **CONTACT:** Tony Walter <sup>TW</sup> **EXT.** 7575

Agenda Date <u>11/5/03</u>	Regular <input type="checkbox"/>	Work Session <input type="checkbox"/>	Briefing <input type="checkbox"/>
	Special Hearing – 6:00 <input type="checkbox"/>	Public Hearing – 7:00 <input checked="" type="checkbox"/>	

**MOTION/RECOMMENDATION:**

1. RECOMMEND approval of the proposed rezoning from C-2 (Commercial) to PCD (Planned Commercial Development District) located in the Fern Park Shopping Center abutting US 17-92 south of Fernwood Boulevard with staff findings and recommendations; or
2. RECOMMEND denial of the proposed rezoning from C-2 (Commercial) to PCD (Planned Commercial Development District) located in the Fern Park Shopping Center abutting US 17-92 south of Fernwood Boulevard; or
3. CONTINUE this item to a date and time certain.

District: 4 – Henley

Tony Walter, Principal Planner

**BACKGROUND:**

The applicant is requesting approval of a rezoning from C-2 (Commercial) to PCD (Planned Commercial Development District) on approximately 12.9 acres at the Fern Park Shopping Center (old site). The applicant is proposing to convert 91,518 square feet of vacant space in the 125,790 square foot development to an in-door flea market/shopping center which will include a proposed minimum of 300 booths. The balance of the development, 34,272 square feet, will remain with existing retail uses.

**STAFF RECOMMENDATION:**

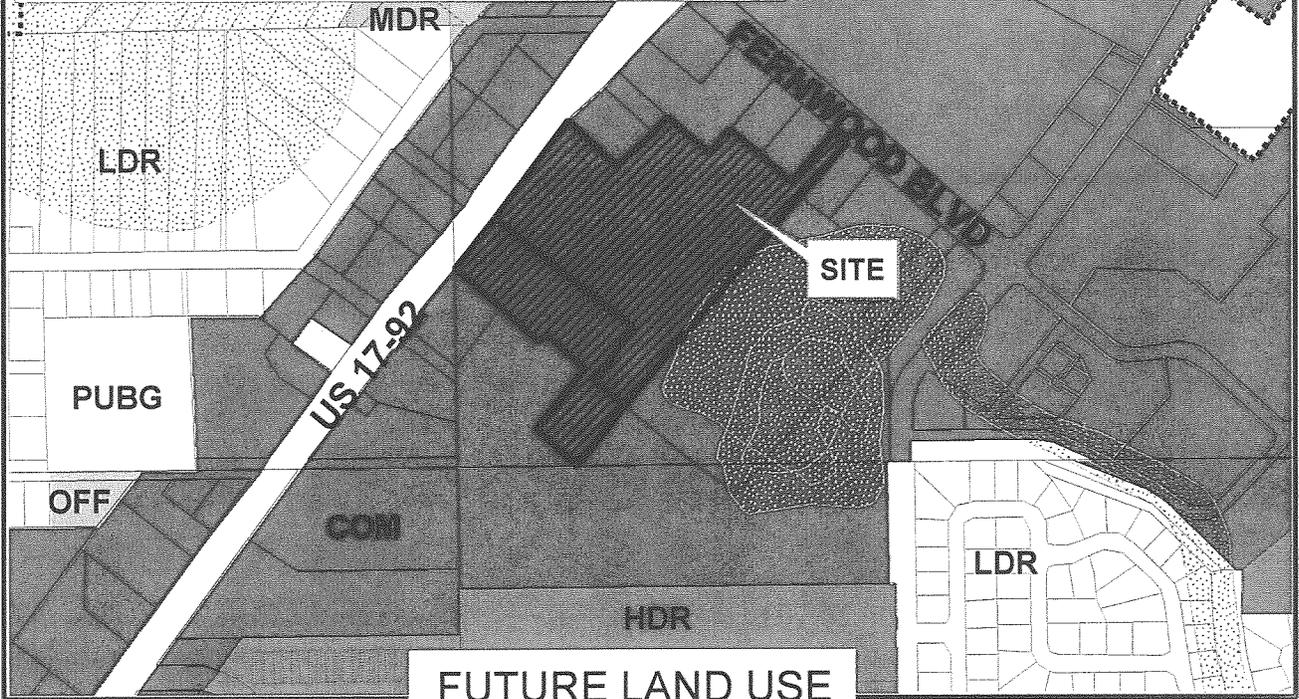
RECOMMEND continuation of the proposed rezoning from C-2 (Commercial) to PCD (Planned Commercial Development District) located in the Fern Park Shopping Center abutting US 17-92 south of Fernwood Boulevard until all outstanding issues are resolved.

Reviewed by: _____
Co Atty: <u>HZC</u>
DFS: _____
OTHER: _____
DCM: _____
CM: _____
File No. <u>Z2003-040</u>

Attachments:

Future Land Use and Zoning Map  
Vicinity Aerial  
Site Plan and Construction Documents  
Orange Mall Rezone Executive Summary  
Orange Mall Staff Analysis  
Draft Zoning Ordinance  
Draft Development Order

The presence of any wetlands and/or flood-prone areas is determined on a site by site basis. Boundary adjustments may be made based upon more definitive on-site information obtained during the development review process.  
 \*Wetland information, based on National Wetland Inventory Maps, provided by SJRWMD.  
 Floodprone area information, based on Flood Insurance Rate Maps, provided by FEMA.

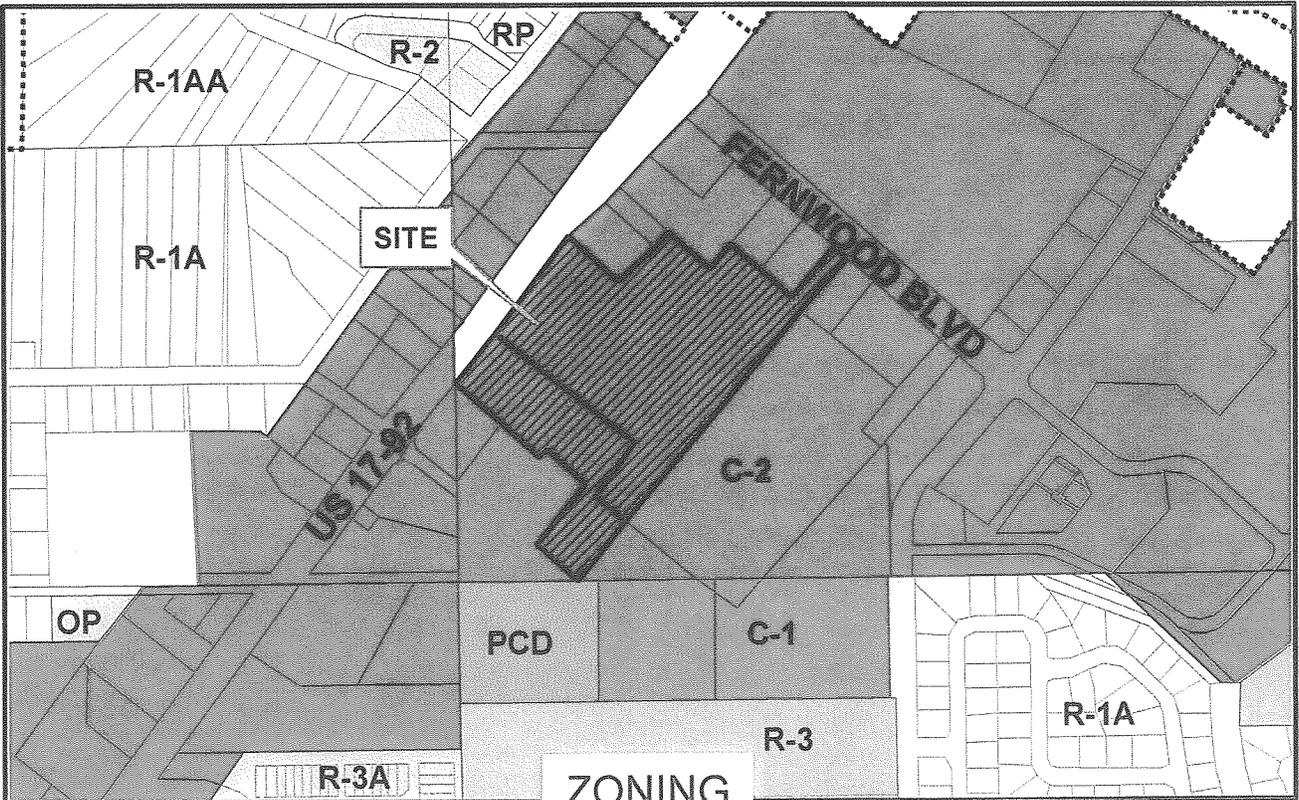


**FUTURE LAND USE**



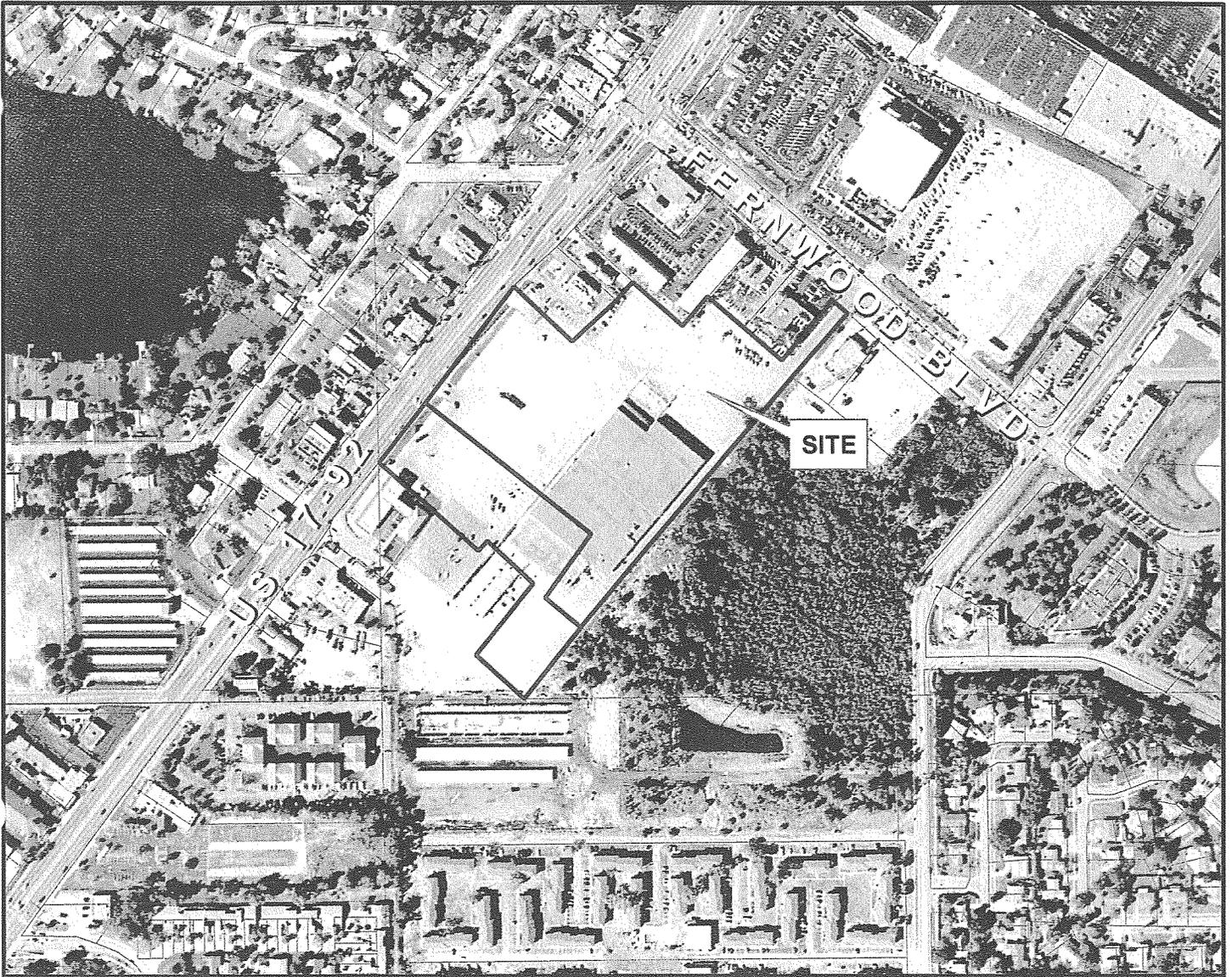
Applicant: Orange Mall Partners LLC  
 Physical STR: 17-21-30-510-0000-004G & 300-0220-0000  
 Gross Acres: 12.86 BCC District: 4  
 Existing Use: Retail/Vacant  
 Special Notes: None

	Amend/ Rezone#	From	To
FLU	--	--	--
Zoning	Z2003-040	C-2	PCD



**ZONING**





Rezone No: Z2003-040  
From: C-2 To: PCD

-  Parcel
-  Subject Property



February 1999 Color Aerials

## **EXECUTIVE SUMMARY**

### **ORANGE MALL REZONE**

<b>C-2 (Commercial) to PCD (Planned Commercial Development District)</b>	<b>Rezoning Z2003-040</b>
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<b>REQUEST</b>			
<b>APPLICANT</b>	Constance A. Owners, P.E., Land Design Innovations, Inc.		
<b>PROPERTY OWNER(S)</b>	R D Management Corporation, Charles J. Messi, Vice President		
<b>PLAN AMENDMENT</b>	None		
<b>REZONING</b>	Rezone from C-2 (Commercial) to PCD (Planned Commercial Development District)		
<b>LOCATION</b>	In the Fern Park Shopping Center abutting US 17-92 south of Fernwood Blvd. (old site)		
<b>PROPOSED USE</b>	To convert the old development to an in-door flea market/shopping center, which will include a proposed minimum of 300 booths. Vendors will be allowed to sell new or antique goods only, with lease options at a minimum of one (1) year, along with a percent of seasonal vendors with a lease option of less than one year		
<b>APPROXIMATE SIZE</b>	12.9 Acres (Commercial/C-2)		
<b>EXISTING USE</b>	Unoccupied Commercial/Retail		
<b>HEARING DATE(S)</b>	<table style="width: 100%; border: none;"> <tr> <td style="width: 50%; border: none;"><b>LPA/P&amp;Z:</b> November 5, 2003</td> <td style="width: 50%; border: none;"><b>BCC:</b> December 9, 2003</td> </tr> </table>	<b>LPA/P&amp;Z:</b> November 5, 2003	<b>BCC:</b> December 9, 2003
<b>LPA/P&amp;Z:</b> November 5, 2003	<b>BCC:</b> December 9, 2003		
<b>SEC/TWP/RNG</b>	17-21-30-510-0000-004G & 17-21-30-300-0220-0000		
<b>FILE NUMBER</b>	03-20500009; Z2003-040		
<b>COMMISSION DISTRICT</b>	#4 – Henley		

**RECOMMENDATION**

**STAFF**

**November 5, 2003**

RECOMMEND continuation of the proposed rezoning from C-2 (Commercial) to PCD (Planned Commercial Development District) located in the Fern Park Shopping Center abutting US 17-92 south of Fernwood Boulevard until all outstanding issues are resolved.

If the LPA/P&Z would opt to recommend approval, the following conditions are provided for consideration:

1. That ninety percent (90%) of the booths be limited to tenant leases of one (1) year or longer.
2. That the vendors will sell only bona fide antiques and/or new merchandise.
3. That the total number of booths not exceed one hundred fifty seven (157) as calculated by providing three (3) parking spaces per booth and six hundred eight (608) parking spaces shown on the plan. That the number of booths may change as the square footage of the existing general retail changes using the same parking calculation ratio of three (3) parking spaces per booth and one (1) parking space for each two hundred fifty square feet (250) of general retail.
4. That pawn shops and gaming establishments not be permitted.
5. Provide an internal pedestrian sidewalk system connecting the front entrance of the building to US 17-92 and Fernwood Boulevard.
6. Provide a minimum of twenty five percent (25%) open space.
7. The parking lot lighting not to exceed twenty five feet (25') in height.
8. That the building exterior be consistent with the building elevation presented to the LPA/P&Z at their November 15, 2003 meeting.
9. That exterior building colors consist of a pallet of earth tones as presented at the

	<p>November 5, 2003 LPA/P&amp;Z meeting.</p> <ol style="list-style-type: none"><li>10. That a one hundred foot (100') curb and gutter be constructed in front of both bus stops and shelters on Fernwood Boulevard.</li><li>11. That a left turn lane into the site be constructed on Fernwood Boulevard.</li><li>12. That the operating hours be from 8:00 AM to 7:00 PM Sunday - Thursday and from 8:00 AM to 9:00 PM Friday - Saturday.</li></ol>
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# ORANGE MALL REZONE STAFF ANALYSIS

<b>C-2 (Commercial) to PCD (Planned Commercial Development District)</b>	<b>Rezoning Z2003-040</b>
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1. **Property Owner(s):** R D Management Corporation, Charles J. Messi, V P
2. **Tax Parcel Number(s):** 17-21-30-510-0000-004G and 17-21-30-300-0220-0000
3. **Applicant's Statement:** The applicant has stated that this request is to allow the applicant to convert the old development to an in-door flea market/shopping center, which will include a proposed minimum of 300 booths. Vendors will be allowed to sell new or antique goods only, with lease options at a minimum of one (1) year, along with a percent of seasonal vendors with a lease option of less than one year. The applicant also has stated the intent to improve the current site conditions, while attempting to provide some stormwater treatment to the site that currently has none. The proposed construction will include removal and replacement of existing pavement that has become unsuitable for proposed traffic conditions, providing an asphalt overlay to the entire applicant-owned parking lot, re-striping of parking spaces to provide angled parking and one-way directional flow, removal of impervious areas in order to provide green-space and some treatment of stormwater runoff, and proposed landscape and irrigation to enhance "curb-appeal" to a site that has not been occupied for several years.
4. **Development Trends:** Development trends.

## SITE DESCRIPTION

**1. PERMITTED USES** - The Commercial future land use designation and PCD (Planned Commercial Development District) zoning classification provides for a variety of land use densities and intensities with final approval of uses by the Board of County Commissioners.

Abutting uses, future land use designations and zoning classifications are:

Location	Existing Use	Future Land Use	Zoning
<b>Site</b>	Commercial/ Retail	Commercial	C-2
<b>North</b>	Commercial/ Retail	Commercial	C-2
<b>South</b>	Commercial/ Self Storage	Commercial	C-1 & PCD

<b>East</b>	Wetlands/ Vacant	Commercial	C-2
<b>West</b>	Commercial/ Retail	Commercial	C-2

**Adjacent Uses:** The abutting property located on the north side of the site consists of retail establishments including a bank and post office. The property to the east is primarily vacant and wetlands. The property to the south and west is commercial including a gasoline station and self storage facility.

**Project Description:** The proposed rezone is to allow the applicant to convert the old development to an in-door flea market/shopping center, which will include a proposed minimum of 300 booths. The proposed flea market will occupy 91,518 square feet of the 125,790 square foot facility. The balance, 34,272 square feet is occupied by existing businesses. Vendors will be allowed to sell new or antique goods only, with lease options at a minimum of one (1) year, along with a percent of seasonal vendors with a lease option of less than one year. The applicant also proposes to improve the current site conditions, while attempting to provide some stormwater treatment to the site that currently has none. The proposed site improvements will include removal and replacement of existing pavement that has become unsuitable for proposed traffic conditions, providing an asphalt overlay to the entire applicant-owned parking lot, re-striping of parking spaces to provide angled parking and one-way directional flow, removal of impervious areas in order to provide green-space and some treatment of stormwater runoff, and landscaping and irrigation to provide "curb-appeal" to a site that has not been occupied for several years.

**ANALYSIS**

**2. PLAN PROGRAMS** - Since the Plan (Vision 2020) policies address the continuance, expansion and initiation of new government service and facility programs, including, but not limited to, capital facility construction, each application for a land use designation amendment will include a description and evaluation of any Plan programs (such as the affect on the timing/financing of these programs) that will be affected by the amendment if approved.

**Summary of Program Impacts:** The proposed PCD rezoning does not alter the options or long-range strategies for facility improvements or capacity additions included in the Support Documentation to the Seminole County Comprehensive Plan (Vision 2020). The rezone request would not be in conflict with the Metroplan Orlando Plan or the Florida Department of Transportation's 5-Year Plan (Policy TRA 14.1).

A. Traffic Circulation - Consistency with Future Land Use and Design Elements: *In terms of all development proposals, the County shall impose a linkage between the Future Land Use Element and the Traffic Circulation Element and all land development activities shall be consistent with the adopted Future Land Use and Design Elements (Policy TRA 2.1). The County shall require that access to properties fronting on more than one roadway shall be designed to minimize impact to adjacent residential areas. Access should be permitted on adjacent collector or arterial roadways and not on the adjacent*

*local or residential streets. However, where improved traffic control can be achieved with minimum impact to adjacent residential neighborhoods, access may be considered on a local or residential street (Policy TRA 10.10).*

The site is served by US 17-92 and Fernwood Blvd. Based on the County 2003 Travel Time and Delay Study, the section of US 17-92 from Lake of the Woods to SR 436 operates at Level of Service (LOS) standard "E" in the AM peak period and LOS "F" in the PM peak period. Design of improvements to US 17-92 is scheduled to begin in 2004 with construction to follow.

The County does not track Fernwood Blvd. as part of the Concurrency Management System. The 2003 daily count for Fernwood Blvd. is 10,918 vehicles. Based on the County's LOS standards for daily capacities in the Comprehensive Plan, Fernwood is operating at LOS A. No improvements are scheduled for Fernwood Blvd.

The applicant's preliminary traffic study indicates the proposed redevelopment is expected to generate 152 net new AM peak hour trips and 304 net new PM peak hour trips. County staff has reviewed the preliminary study and has the following comments.

1. For trip generation, the study used the Institute of Traffic Engineer's (ITE) Land Use 820 for Shopping Centers. This applies to the typical retail shopping center/mall such as the former plaza that existed on the site. For Land Use 820, the study used the average daily trip rate of 42.92 trips/Total Gross Square Footage (TGSF). This may not be an appropriate trip rate for an indoor flea market. The 1994 Traffic Monitoring Study for Flea World in Sanford is based on counts at the site on Saturdays which generated an average of 60.25 trips/TGSF. Since Flea World is only open Friday - Sunday, Saturday was determined as the peak day and weekday counts were not done. The proposed site will be open 7 days a week so it is hard to compare with the trip characteristics of Flea World. However the Saturday trip generation for Flea World was higher than the average rate for ITE's retail category used by the applicant.
2. The study used a pass-by rate of 48.6% for the proposed use which seems high. For the proposed 91,518 s.f., the ITE Trip Generation Handbook gives a pass-by rate of 40% based on the fitted curve equation provided for Land Use 820. The pass-by trips percentage for a flea market would likely be lower than that for a typical retail center. Also a flea market with antiques would be more of a destination trip than a short pass-by trip. A study of Sam's Club by Kimley Horn and Associates found an average pass-by rate of 19% for the Discount Club. A Discount Club would be similar to the flea market in that the time at the store is longer and it would be more of a destination trip. Therefore, a pass-by trip rate of 20% may be more appropriate for the proposed development.
3. Table 3 of the report shows a total peak hour volume of 3,974 on US 17-92 between Fernwood Blvd and SR 436. The Seminole County 2003 traffic counts shows a PM peak hour count of 4,598 for a count taken just south of Fernwood on US 17-92. The background traffic count will significantly affect the results of the LOS analysis in the preliminary study.

4. One problem with any traffic study is knowing what the true trip generation characteristics of the proposed development will be. In this case ITE does not have a category for indoor flea markets. The best scenario would be to find similar indoor flea market sites in Central Florida and do a trip generation and pass-by study.

Because the facility for the proposed use has an existing vacant building development can precede generating impacts to the roadway up to what the previous use generated. At this point the resulting impacts to the roadway are unclear. In particular the impacts during the PM peak traffic period are important as that is the period of time when the section of US 17-92 in front of the site operates at LOS F.

B. Intermodal Connections in Transportation Improvements: *The County shall consider the safety and efficiency of features at intermodal connections, such as bus stops, bus shelters, signage, pedestrian and bicycle/trail access, handicapped access and park-and-ride lots.*

The applicant's traffic study states that pedestrian trips are highly expected because of the mix of retail and service activities in the vicinity of the site within walking distance (usually 0.25 miles). Also site observations indicate a high level of pedestrians at the bus stops along Fernwood Blvd. The pedestrian activity is expected to increase after the Orange Mall redevelopment is in place.

The site is served by two regional transit routes at stops along the Fernwood Blvd. corridor. Links 39 and 41 each operate at 30-minute frequencies. Potential customers and employees of the facility may chose to access the site as pedestrians or using public transportation thus reducing vehicle trips and parking demand.

C. Water and Sewer Service - Extension of Service to New Development: *Future Land Use Element Exhibit 20 (Services and Facilities by Classification) requires a full range of urban services to serve the proposed uses (Policy POT 4.5 and Policy SAN 4.4).*

The site is within the Seminole County utilities service area and is currently being served by the County's central water and sewer service system.

D. Public Safety – Adopted Level of Service: *The County shall maintain adopted levels of service for fire protection and rescue...as an average response time of five minutes (Policy PUB 2.1).*

The property is served by Seminole County Fire Station #22 at 7122 US 17-92, Fern Park, Florida. Response time to this site would not exceed the County's average response time standard of five (5) minutes.

**3. REGULATIONS** - The policies of the Plan also contain general regulatory guidelines and requirements for managing growth and protecting the environment. These guidelines will be used to evaluate the overall consistency of the land use amendment with the Comprehensive Plan (Vision 2020).

A. Preliminary Development Orders: Capacity Determination: *For preliminary development orders and for final development orders under which no development activity impacting public facilities may ensue, the capacity of Category I and Category III public facilities shall be determined as follows... No rights to obtain final development orders under which development activity impacting public facilities may ensue, or to obtain development permits, nor any other rights to develop the subject property shall be deemed to have been granted or implied by the County's approval of the development order without a determination having previously been made that the capacity of public facilities will be available in accordance with law (Policy IMP 2.4).*

A review of the availability of public facilities to serve the project indicates that with the exception of a level of service of F along the US 17-92 along the front of the site discussed in 2A above, there would be adequate capacity to serve the site, and that the proposed rezoning would create no adverse impacts to County public facilities.

B. Flood Plain and Wetlands Areas - Flood Plain Protection and Wetlands Protection: *The County shall implement the Conservation land use designation through the regulation of development consistent with the Flood Prone (FP-1) and Wetlands (W-1) Overlay Zoning classifications...(FLU Policy 1.2 and 1.3).*

There are flood prone areas on the property and wetlands identified on the adjacent property. The site can be developed with code compliance.

Stormwater retention design, to be approved at time of PCD final site plan, may result in reduced development activities for this property.

C. Protection of Endangered and Threatened Wildlife: *The County shall continue to require, as part of the Development Review Process, that prior to development approval, proposed development to coordinate with all appropriate agencies and comply with the US Fish and Wildlife Service and the Florida Fish and Wildlife Conservation Commission Rules as well as other applicable Federal and State Laws regarding protection of endangered and threatened wildlife (Policy CON 3.13).*

Prior to submission of a final PCD site plan a survey of threatened and endangered and species of special concern will be required to determine the presence of any endangered or threatened wildlife.

**4. DEVELOPMENT POLICIES** - Additional criteria and standards are also included in the Plan (Vision 2020) that describes when, where and how development is to occur. Plan development policies will be used to evaluate the appropriateness of the use, intensity, location, and timing of the proposed amendment.

A. Compatibility: *When the County's Future Land Use Map (FLUM) was developed, land use compatibility issues were evaluated and ultimately defined through a community meeting/hearing process that involved substantial public comment and input. When amendments are proposed to the FLUM, however, staff makes an initial evaluation of compatibility, prior to public input and comment, based upon a set of professional standards that include, but are not limited to criteria such as: (a) long standing community development patterns; (b) previous policy direction from the Board of County Commissioners; (c) other planning principles articulated in the Seminole County Comprehensive Plan (Vision 2020) (e.g., appropriate transitioning of land uses, protection of neighborhoods, protection of the environment, protection of private property rights, and no creation of new strip commercial developments through Plan amendments, etc.).*

Based upon an initial evaluation of compatibility, rezoning the property to PCD, as proposed, would be consistent with Plan policies identified at this time and therefore is consistent with the Seminole County Comprehensive Plan (Vision 2020).

Compatibility with surrounding uses can be achieved by applying the conditions set forth in the enclosed rezoning development order that addresses location criteria, size, design, access, buffering, lighting, and hours of operation, consistent with the following:

1. The County shall consider uses or structures proposed within the Planned Unit Development (PUD) and Planned Commercial Development (PCD) zoning classifications on a case by case basis evaluating the compatibility of the proposed use or structure with surrounding neighborhoods and uses. Compatibility may be achieved by application of development standards such as, but not limited to, lot size, setbacks, buffering, landscaping, hours of operation, lighting, and building heights. The Board of County Commissioners shall have discretion as to the uses and structures approved with a PUD or PCD zoning classification (Policy FLU 2.11).
2. The County shall continue to support the US Highway 17-92 Corridor Redevelopment Agency to maintain the existing corridor assets, to discover and promote its hidden assets, and to improve or eliminate deficiencies in the target redevelopment area. (Policy FLU 4.3)
3. The Comprehensive Plan sets forth the long range potential uses of property in the context of a lawful planning horizon and provides for a wide array of potential zoning classifications within each land use designation. A property owner is not entitled to all zoning classifications or the most potentially dense or intense zoning classification within a land use designation. Numerous planning, timing, compatibility, public facility and other generally acceptable planning issues affect the appropriateness of assigning a particular zoning classification or approving a particular land use with regard to a particular parcel of property. (Policy FLU 12.4)

Applicable Plan policies include, but are not limited to, the following:

1. Policy FLU 2.11 (Determination of Compatibility in the Planned Unit Development and Planned Commercial Development Zoning Classifications).

2. Policy FLU 4.3 (Community Redevelopment Agency).
3. Policy FLU 12.4 (Relationship of Land Use to Zoning Classification).
4. FLU Exhibit 5 (Future Land Use Densities And Allowable Zoning Classifications).

B. Concurrency Review - Application to New Development: *For purposes of approving new development subsequent to adoption of this Comprehensive Plan, all adopted public safety level of service standards and schedules of capital improvements...shall be applied and evaluated...consistent with policies of the Implementation Element... (Policy CIE 3.2).*

This policy provides for the adoption of level of service (LOS) standards for public facilities and requires that final development orders be issued only if public facilities meeting the adopted LOS are available or will be available concurrent with the development. The applicant has filed a Concurrency Review Deferral Affidavit.

**5. COORDINATION** - Each application for a land use designation amendment will be evaluated to assess how and to what extent any additional intergovernmental coordination activities should be addressed.

A. Plan Coordination: *The County shall continue to coordinate its comprehensive planning activities with the plans and programs of the School Board, major utilities, quasi-public agencies and other local governments providing services but not having regulatory authority over the use of land (Policy IGC 2.9). Seminole County shall coordinate its comprehensive planning activities with the plans and programs of regional, State and Federal agencies by...as the County is now a charter County (Policy IGC 3.3).*

The Seminole County Comprehensive Plan (Vision 2020) fully complies with the State Comprehensive Plan adopted pursuant to Chapter 187, Florida Statutes, and the Strategic Regional Policy Plan of the East Central Florida Regional Planning Council pursuant to Chapter 163, Florida Statutes. Consistency with the State Plan and the Regional Policy Plan may be evaluated by individual review agencies during the Plan amendment review process.

**STAFF RECOMMENDATION**

**1. REZONING:**

**STAFF RECOMMENDATION:**

1. RECOMMEND continuation of the proposed rezoning from C-2 (Commercial) to PCD (Planned Commercial Development District) located in the Fern Park Shopping Center abutting US 17-92 south of Fernwood Boulevard until all outstanding issues are resolved, with the following findings:
  - A. Compatibility with surrounding uses can be achieved by applying the conditions set forth in the enclosed rezoning development order that addresses location criteria, size, design, access, buffering, lighting, and hours of operation.
  - B. The proposed plan addresses supports the US Highway 17-92 Corridor Redevelopment Agency by the proposed improvements to the exterior of the building and parking lot.
  - C. The site plan is deficient in the following areas:
    - A) Loading areas are not provided
    - B) Trash and refuse treatment area not identified
    - C) Minimum open space requirement of 25% is not demonstrated
    - D) Architectural elevations including proposed building exterior colors are not provided
    - E) Parking does not appear to be adequate to accommodate the number of booths and existing general retail
    - F) Revised traffic analysis is needed to address the proposed new trips on the segment of US 17-92 that is at LOS of F

**2. DEVELOPMENT CONDITIONS:**

If the LPA/P&Z recommends the proposed amendment and rezoning, staff recommends approval of the enclosed rezoning development order.

Note: As this is a preliminary plan, additional conditions may be placed on the PCD site plan during the final site plan review process.

AN ORDINANCE AMENDING, PURSUANT TO THE LAND DEVELOPMENT CODE OF SEMINOLE COUNTY, THE ZONING CLASSIFICATIONS ASSIGNED TO CERTAIN PROPERTY LOCATED IN SEMINOLE COUNTY; ASSIGNING CERTAIN PROPERTY CURRENTLY ASSIGNED THE C-2 (COMMERCIAL) ZONING CLASSIFICATION THE PCD (PLANNED COMMERCIAL DEVELOPMENT DISTRICT) ZONING CLASSIFICATION; PROVIDING FOR LEGISLATIVE FINDINGS; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION; AND PROVIDING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF SEMINOLE COUNTY, FLORIDA:

**Section 1. LEGISLATIVE FINDINGS.**

(a) The Board of County Commissioners hereby adopts and incorporates into this Ordinance as legislative findings the contents of the documents titled "Executive Summary Orange Mall Rezone."

(b) The Board hereby determines that the economic impact statement referred to by the Seminole County Home Rule Charter is unnecessary and waived as to this Ordinance.

**Section 2. REZONINGS.** The zoning classification assigned to the following described property is changed from C-2 (Commercial) to PCD (Planned Commercial Development District):

**SEE ATTACHED EXHIBIT A**

**Section 3. CODIFICATION.** It is the intention of the Board of County Commissioners that the provisions of this Ordinance shall not be codified.

**Section 4. SEVERABILITY.** If any provision of this Ordinance or the application thereof to any person or circumstance is held invalid, it is the intent of the Board of County Commissioners that the invalidity shall not affect other provisions or applications of this Ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this Ordinance are declared severable.

**Section 5. EFFECTIVE DATE.** A certified copy of this Ordinance shall be provided to the Florida Department of State by the Clerk of the Board of County Commissioners in accordance with Section 125.66, Florida Statutes, and this Ordinance shall be effective upon the date of said filing and the recording date of the Development Order # 03-20500009 in the Official Land Records of Seminole County.

ENACTED this 9th day of December 2003

BOARD OF COUNTY COMMISSIONERS  
SEMINOLE COUNTY, FLORIDA

By: \_\_\_\_\_  
Daryl G. McLain, Chairman

**EXHIBIT A  
LEGAL DESCRIPTION**

C-2 to PCD (Z2003-040)

Parcel 1 – AKA Parcel 22 & 4G

From the Southwest Corner of Section 17, Township 21 South, Range 30 East, Seminole County, Florida, run along the westerly line of said Section 17, N 01 degrees 29'26"W, 596.50 feet to a point of beginning on the easterly right-of-way line of State Road 15 & 600; run thence along said right-of-way line N 38 degrees 12'34" E, 232.80 feet; run thence N 40 degrees 31'34" E, 150.29 feet; run thence N 43 degrees 29'54" E, 187.63 feet; thence leaving the aforementioned right-of-way run S 48 degrees 50'29" E, 200 feet; run thence N 43 degrees 29'54" E, 200 feet; run thence S 48 degrees 50'29" E, 170.25 feet; run thence N 41 degrees 09'31" E, 100 feet; run thence S 48 degrees 50'29" E, 250 feet; run thence N 41 degrees 09'31" E, 200 feet to a point on the southerly right-of-way line of Fernwood Boulevard; run thence along said right-of-way line S 48 degrees 50'29" E, 60 feet; run thence leaving aforementioned right-of-way S 41 degrees 09'31" W, 1272.12 feet; run thence N 48 degrees 50'29" W, 168.16 feet; run thence N 41 degrees 09'31" E, 236.12 feet; run thence N 48 degrees 50'29" W, 162.33 feet; run thence S 41 degrees 09'31" W, 34.07 feet; run thence N 48 degrees 50'29" W, 351.95 feet to the point of beginning being part in Lot 4, Fernwood Plaza as recorded in Plat Book 13, Page 95, Public Records of Seminole County.

## SEMINOLE COUNTY DEVELOPMENT ORDER

On \_\_\_\_\_, Seminole County issued this Development Order relating to and touching and concerning the following described property:

Parcel 1 – AKA Parcel 22 & 4G

From the Southwest Corner of Section 17, Township 21 South, Range 30 East, Seminole County, Florida, run along the westerly line of said Section 17, N 01 degrees 29'26"W, 596.50 feet to a point of beginning on the easterly right-of-way line of State Road 15 & 600; run thence along said right-of-way line N 38 degrees 12'34" E, 232.80 feet; run thence N 40 degrees 31'34" E, 150.29 feet; run thence N 43 degrees 29'54" E, 187.63 feet; thence leaving the aforementioned right-of-way run S 48 degrees 50'29" E, 200 feet; run thence N 43 degrees 29'54" E, 200 feet; run thence S 48 degrees 50'29" E, 170.25 feet; run thence N 41 degrees 09'31" E, 100 feet; run thence S 48 degrees 50'29" E, 250 feet; run thence N 41 degrees 09'31" E, 200 feet to a point on the southerly right-of-way line of Fernwood Boulevard; run thence along said right-of-way line S 48 degrees 50'29" E, 60 feet; run thence leaving aforementioned right-of-way S 41 degrees 09'31" W, 1272.12 feet; run thence N 48 degrees 50'29" W, 168.16 feet; run thence N 41 degrees 09'31" E, 236.12 feet; run thence N 48 degrees 50'29" W, 162.33 feet; run thence S 41 degrees 09'31" W, 34.07 feet; run thence N 48 degrees 50'29" W, 351.95 feet to the point of beginning being part in Lot 4, Fernwood Plaza as recorded in Plat Book 13, Page 95, Public Records of Seminole County.

(The aforescribed legal description has been provided to Seminole County by the owner of the aforescribed property.)

### FINDINGS OF FACT

**Property Owner:** Robert L. Hart  
C/O R D Management Corporation  
810 7<sup>th</sup> Ave., 28<sup>th</sup> Floor  
New York, NY 10019

**Project Name:** ORANGE MALL REZONE

**Requested Development Approval:** Rezone from C-2 (Commercial) to PCD (Planned Commercial Development District).

The Development Approval sought is consistent with the Seminole County Comprehensive Plan and will be developed consistent with and in compliance to applicable land development regulations and all other applicable regulations and ordinances.

The owner of the property has expressly agreed to be bound by and subject to the development conditions and commitments stated below and has covenanted and agreed to have such conditions and commitments run with, follow and perpetually burden the aforescribed property.

Prepared by: TONY WALTER  
1101 East First Street  
Sanford, Florida 32771

## Order

### NOW, THEREFORE, IT IS ORDERED AND AGREED THAT:

- (1) The aforementioned application for development approval is **GRANTED**.
- (2) All development shall fully comply with all of the codes and ordinances in effect in Seminole County at the time of issuance of permits including all impact fee ordinances.
- (3) The conditions upon this development approval and the commitments made as to this development approval, all of which have been accepted by and agreed to by the owner of the property are as follows:

1. That ninety percent (90%) of the booths be limited to tenant leases of one (1) year or longer.
2. That the vendors will sell only bona fide antiques and/or new merchandise.
3. That the total number of booths is one hundred fifty seven (157). This number has been calculated based upon allowing one (1) booth per every three (3) parking spaces. The development currently has six hundred eight (608) parking spaces as shown on the plan. The number of booths may change as the allocation of building square footage changes between general commercial and flea market booths. However, parking ratios shall be maintained at three (3) spaces for each booth and one (1) space for every two hundred fifty square feet (250) of general retail.
4. That pawn shops and gaming establishments not be permitted.
5. Provide an internal pedestrian sidewalk system connecting the front entrance of the building to US 17-92 and Fernwood Boulevard.
6. Provide a minimum of twenty five percent (25%) open space.
7. The parking lot lighting not to exceed twenty five feet (25') in height.
8. That the building exterior be consistent with the building elevation presented to the LPA/ P&Z at their November 5, 2003 meeting.
9. That exterior building colors consist of a pallet of earth tones as presented at the November 5, 2003 LPA/P&Z meeting.
10. That a one hundred foot (100') curb and gutter be constructed in front of both bus stops and shelters on Fernwood Boulevard.
11. That a left turn land into the site be constructed on Fernwood Boulevard.
12. That the operating hours be from 8:00 AM to 7:00 PM Sunday through Thursday and from 8:00 AM to 9:00 PM Friday and Saturday.

(4) This Development Order touches and concerns the aforescribed property and the conditions, commitments and provisions of this Development Order shall perpetually burden, run with and follow the said property and be a servitude upon and binding upon said property unless released in whole or part by action of Seminole County by virtue of a document of equal dignity herewith. The owner of the said property has expressly covenanted and agreed to this provision and all other terms and provisions of this Development Order.

(5) The terms and provisions of this Order are not severable and in the event any portion of this Order shall be found to be invalid or illegal then the entire order shall be null and void.

**Done and Ordered on the date first above.**

By: \_\_\_\_\_  
 Daryl McLain, Chairman  
 Seminole County Board  
 Of County Commissioners

**Order**

**OWNER'S CONSENT AND COVENANT**

**COMES NOW**, Robert L. Hart, the owner of the aforescribed property in this Development Order, on behalf of himself and his heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Development Order.

\_\_\_\_\_  
Witness

OWNER:

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Robert L. Hart

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Print Name

STATE OF FLORIDA    )  
  )  
COUNTY OF SEMINOLE    )

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, by Robert L. Hart, who is personally known to me or who has produced \_\_\_\_\_ as identification and who did take an oath.

**WITNESS** my hand and official seal in the County and State last aforesaid this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public, in and for the County and State  
Aforementioned

My Commission Expires:

# CONSTRUCTION DOCUMENTS FOR THE ORANGE MALL

SEMINOLE COUNTY, FLORIDA

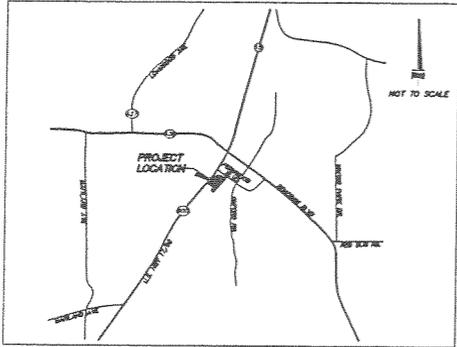
TAX. ID. 17-21-30-501-0000-004G

FOR

ORANGE MALL PARTNERS LLC

810 7th AVE. - 28th FLOOR  
NEW YORK, NY 10019

TEL.: (212) 265-6600



SEC. 17 TWP. 21, RGE. 30  
**LOCATION MAP**  
P.12

## SHEET INDEX

C-100	COVER SHEET
C-101	GENERAL NOTES
C-200	BOUNDARY and TOPOGRAPHIC SURVEY
C-300	DEMOLITION AND EROSION CONTROL
C-400	SITE PLAN
C-500	GEOMETRY PLAN
C-600	PAVING AND GRADING
C-700	DETAILS
L-001	LANDSCAPE PLAN A
L-002	LANDSCAPE PLAN B
IR-001	IRRIGATION PLAN A
IR-002	IRRIGATION PLAN A
IR-003	IRRIGATION NOTES AND DETAILS

SEPTEMBER 9, 2003

**PROPERTY MANAGER:**

CHARLES MESSI  
EM MANAGEMENT CORPORATION  
810 7th AVE. - 28th FLOOR  
NEW YORK, NY 10019  
CONTACT: MR. CHARLES MESSI  
TEL: (212) 265-6600

**CIVIL ENGINEER:**

LAND DESIGN INNOVATIONS, INC.  
140 N. ORLANDO AVENUE, STE. 285  
WINTER PARK, FLORIDA 32789  
CONTACT: CONSTANCE A. OWENS, P.E.  
TEL: (407) 975-1273  
FAX: (407) 975-1278

**GEOTECHNICAL ENGINEER:**

ARDAMAN & ASSOCIATES, INC.  
8008 S. ORANGE AVENUE  
ORLANDO, FLORIDA 32809  
CONTACT: CHARLES CUNNINGHAM, P.E.  
TEL: (407) 855-3860

**SURVEYOR:**

ASSOCIATED LAND SURVEYING  
AND MAPPING, INC.  
101 WYMORE RD., SUITE 110  
ALTAMONTE SPRINGS, FLORIDA 32714  
CONTACT: JACK REED, P.L.S.  
TEL: (407) 868-5008

**UTILITIES:**

POTABLE WATER- SEMINOLE COUNTY  
SANITARY SEWER- SEMINOLE COUNTY



LAND DESIGN INNOVATIONS  
140 N. ORLANDO AVENUE - SUITE 285  
WINTER PARK, FLORIDA 32789  
PHONE: (407) 975-1273 FAX: (407) 975-1278

Constance A. Owens, P.E. FL. Reg. No. 54842  
Certificate of Authorization No. 9400

LDI PROJECT No. 03020.02

**DEMOLITION AND EROSION CONTROL NOTES**

- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR DCA PERMITS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. CONTRACTOR IS ALSO TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES AND ANY UTILITY ADJUSTMENT REQUIRED. UTILITY COMPANIES SHALL BE NOTIFIED A MINIMUM OF THREE WORKING DAYS PRIOR TO EXCAVATION.
- THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS WERE DERIVED FROM ACTUAL FIELD MEASUREMENTS AND/OR DERIVED FROM RECORD DRAWINGS, VERIFIED FROM THE BEST AVAILABLE SOURCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE LOCATION OF EXISTING UTILITIES TO DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED CONSTRUCTION AND TO COORDINATE WITH UTILITY OWNERS TO RESOLVE THESE CONFLICTS.
- EXISTING ROADWAY BASE MATERIALS, SUCH AS SHELLO OR UNDERCOAT, MAY BE UTILIZED IN STABILIZATION IF SUITABLE FOR MIXING.
- ALL DEBRIS AND WASTE MATERIALS GENERATED BY DEMOLITION OR SUBSEQUENT CONSTRUCTION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER AT AN APPROVED DISPOSAL FACILITY. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED FOR DEMOLITION, CONSTRUCTION WORK AND HAULING WASTE MATERIALS. ALL ASSOCIATED COSTS AND PERMIT FEES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ALL SHEETING, SHORING AND BRACING REQUIRED TO PROTECT ADJACENT STRUCTURES AND UTILITIES OR TO MINIMIZE TRENCH WIDTH AS REQUIRED. SHEETING AND SHORING SHALL BE DESIGNED BY A STATE OF FLORIDA REGISTERED P.E., RETAINED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL FURNISH, ERECT AND MAINTAIN ALL NECESSARY TRAFFIC CONTROL AND SAFETY DEVICES IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND THE LATEST FLORIDA DEPARTMENT OF TRANSPORTATION "ROADWAY DESIGN STANDARDS".
- MAINTENANCE OF TRAFFIC ACCESS FOR LOCAL TRAFFIC WITHIN THE PROJECT LIMITS SHALL BE MAINTAINED. IF, DURING CONSTRUCTION ACCESS FOR LOCAL TRAFFIC IS CHANGED, THEN THE CONTRACTOR SHALL NOTIFY THE OWNER A MINIMUM OF THREE WORKING DAYS IN ADVANCE. MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH INDEX NO. 600 OF THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS.
- SILT SCREENS AND TURBIDITY BARRIERS INSTALLED MUST REMAIN IN PLACE AND MAINTAINED IN GOOD CONDITION AT ALL LOCATIONS SHOWN UNTIL THE CONSTRUCTION IS COMPLETED, SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
- THE EROSION CONTROL MEASURES SET FORTH IN THESE PLANS ARE INTENDED AS MINIMUM STANDARDS. ANY ADDITIONAL EROSION CONTROL REQUIRED BY SEMINOLE COUNTY OR FOOT BEYOND THAT SPECIFIED SHALL BE CONSIDERED AS INCLUDED WITHIN THIS CONTRACT.
- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE DESIGN STANDARDS OF SEMINOLE COUNTY, THE ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT, AND THE FLORIDA DEPT. OF TRANSPORTATION.
- EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN, CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
- SEDIMENT MATERIALS FROM WORK ON THIS PROJECT SHALL BE CONTAINED AND NOT ALLOWED TO COLLECT ON ANY OFF-PERIMETER AREAS OR IN WATERWAYS. THESE INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF EROSION/SEDIMENT CONTROL EFFORTS. ANY NECESSARY REMEDIES SHALL BE PERFORMED WITHOUT DELAY.
- ALL MUD, DIRT OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING PUBLIC OR PRIVATE ROADS AND FACILITIES, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL THE REQUIRED CONSTRUCTION PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL MAINTAIN TREE PROTECTION MEASURES THROUGHOUT DURATION OF CONSTRUCTION ACTIVITIES. CONTRACTOR MAY NOT BE ALLOWED TO STORE MATERIALS OR EQUIPMENT, INCLUDING VEHICULAR PARBONS, UNDER CANOPY OF TREES OR WITHIN TREE PROTECTION AREAS.
- THE CONTRACTOR SHALL EXCAVATE A MINIMUM OF 3 FEET BELOW PROPOSED GRADE WITHIN ALL AREAS WITH PROPOSED PLANTINGS, AS SHOWN ON THE LANDSCAPE PLANS. THIS INCLUDES AREAS TO BE SOODED AND USED FOR STORMWATER RETENTION.

**GRADING AND DRAINAGE NOTES**

- EXISTING TOPOGRAPHY AND ROADWAY RIGHT-OF-WAY DATA SHOWN ARE BASED UPON TOPOGRAPHIC SURVEY BY ASSOCIATED LAND & MAPPING SERVICES, INC., AS PROVIDED ON SHEET C-200.
- ALL GRADING AND SITE PREPARATION WILL CONFORM TO SPECIFICATIONS AS RECOMMENDED IN THE REPORT OF GEOTECHNICAL INVESTIGATION PREPARED BY ARDAMAN & ASSOCIATES, INC.
- CONTRACTOR SHALL VERIFY EXISTING TOPOGRAPHIC DATA LOCATIONS OF EXISTING UTILITIES AND ALL OTHER SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION WITHIN STREET RIGHT-OF-WAY SHALL CONFORM TO APPLICABLE STATE AND LOCAL JURISDICTIONAL REQUIREMENTS.
- ALL OPEN DRAINAGE SWALES SHALL BE SOODED, AND RIP RAP MUST BE PLACED AS NECESSARY TO CONTROL EROSION (WHERE APPLICABLE).
- THE GRADING CONTRACTOR IS RESPONSIBLE FOR STRIPPING AND STOCKPILING OF TOPSOIL. THE GRADING CONTRACTOR IS ALSO RESPONSIBLE FOR SPREADING 4" OF TOPSOIL ON LANDSCAPE AREAS AND THE REMOVAL OF EXCESS TOPSOIL FROM THE SITE.
- GRADING CONTRACTOR SHALL PROVIDE AND INSTALL TOPSOIL IN DISTURBED AREAS TO BE GRASSED, TO INCLUDE PAVEMENT SHOULDER AND DETENTION AREAS.
- FOR BENCHMARK INFORMATION SEE DRAWING SHEET C-200, BOUNDARY/TOPOGRAPHIC SURVEY PLAN.
- ALL GRADES SHOWN ARE FINISHED GRADES UNLESS NOTED OTHERWISE.
- INLET ELEVATIONS AND MANHOLE ELEVATIONS ARE TOP OF RIM.
- ALL MATERIALS, INSTALLATION, AND TESTING SHALL BE IN ACCORDANCE WITH THE SEMINOLE COUNTY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHERE THE SPECIFICATIONS CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
- COORDINATE VALUES, IF SHOWN, ARE BASED ON A LOCAL GRID ESTABLISHED BY THE SURVEYOR.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE GRADED TO ORIGINAL GROUND LINES, FINISHED WITH ARGENTINE BANNA SOO UNLESS NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL MAINTAIN ALL AREAS UNTIL FINAL ACCEPTANCE.
- SUBSURFACE INFORMATION FOR THIS PROJECT WAS OBTAINED FOR DESIGN PURPOSES AND MAY NOT BE AN ADEQUATE REPRESENTATION OF ACTUAL CONDITIONS AT TIME OF CONSTRUCTION. INFORMATION SHOWN, INCLUDING WATER LEVELS, REPRESENT EXISTING CONDITIONS AT THE SPECIFIC BORING LOCATIONS AT THE TIME THE BORINGS WERE PERFORMED.
- ALL REFERENCES TO PROPOSED CONSTRUCTION INDICATES CONSTRUCTION INCLUDED IN THIS CONTRACT.
- ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER OR ARCHITECT, IN WRITING, WITHIN 48 HOURS OF DISCOVERY. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO SUCH DIFFERING CONDITIONS WILL BE ALLOWED IF HE OR SHE FAILS TO PROVIDE WRITTEN NOTIFICATION.
- ALL LANDSCAPE ISLAND CURBS TO BE "EXTRUDED CURBING" UNLESS NOTED OTHERWISE.

LAND DESIGN INNOVATIONS  
 140 N. Orlando Ave. • Suite 205  
 Phone: 407.975.1274  
 Fax: 407.975.1278

Rev.	Date	Description	By

ORANGE MALL  
 PARTNERS LLC  
 YORK, NY

ORANGE MALL  
 SPECIFICATIONS AND  
 GENERAL NOTES

Contractor shall verify all conditions on the job site to verify the Project Engineer of any variations from dimensions shown on these drawings before proceeding with any construction.

DRAWN BY: JRD  
 CHECKED BY: CAO  
 DATE: 0-5-03  
 JOB NO.: 0320.02  
 DWG. FILE:

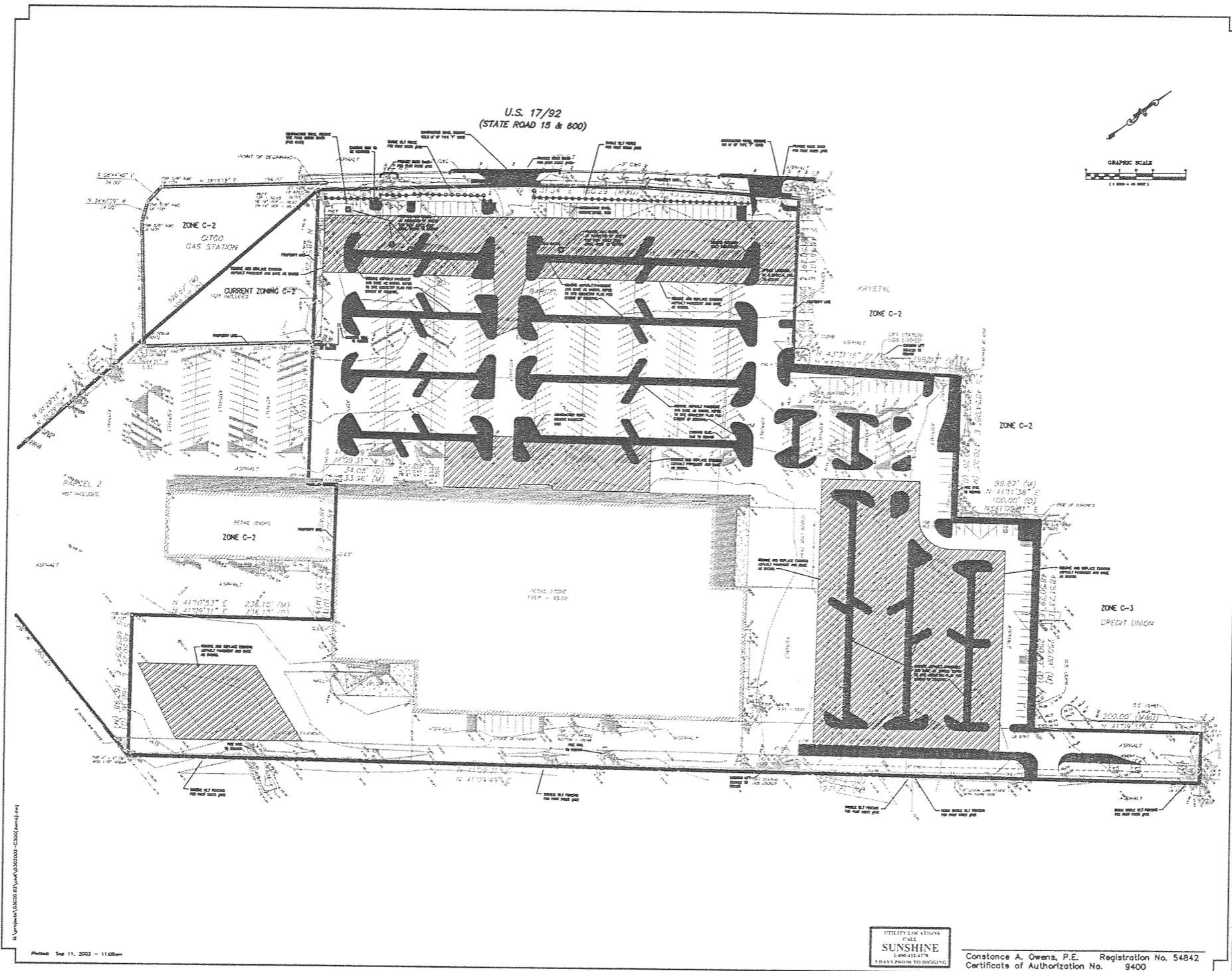
SHEET NO.  
 C-101

UTILITY LOCATIONS  
 CALL  
**SUNSHINE**  
 1-800-431-4779  
 5 DAYS PRIOR TO DIGGING

Constance A. Owens, P.E. Registration No. 54842  
 Certificate of Authorization No. 9400

C:\Users\jrd\Documents\032002\032002-02-C-101(general notes).dwg





LAND DESIGN INNOVATIONS  
 140 N. Orlando Ave. • Suite 205  
 Phone: 407.976.1271  
 Fax: 407.976.1278

By	Description	Date	Rev.

ORANGE MALL  
 PARTNERS LLC  
 YORK, NY

ORANGE MALL  
 DEMOLITION AND  
 EROSION CONTROL PLAN

Contractor shall verify all conditions on the job site to verify the Project Engineer of any variations from information shown on these drawings before proceeding with any construction.

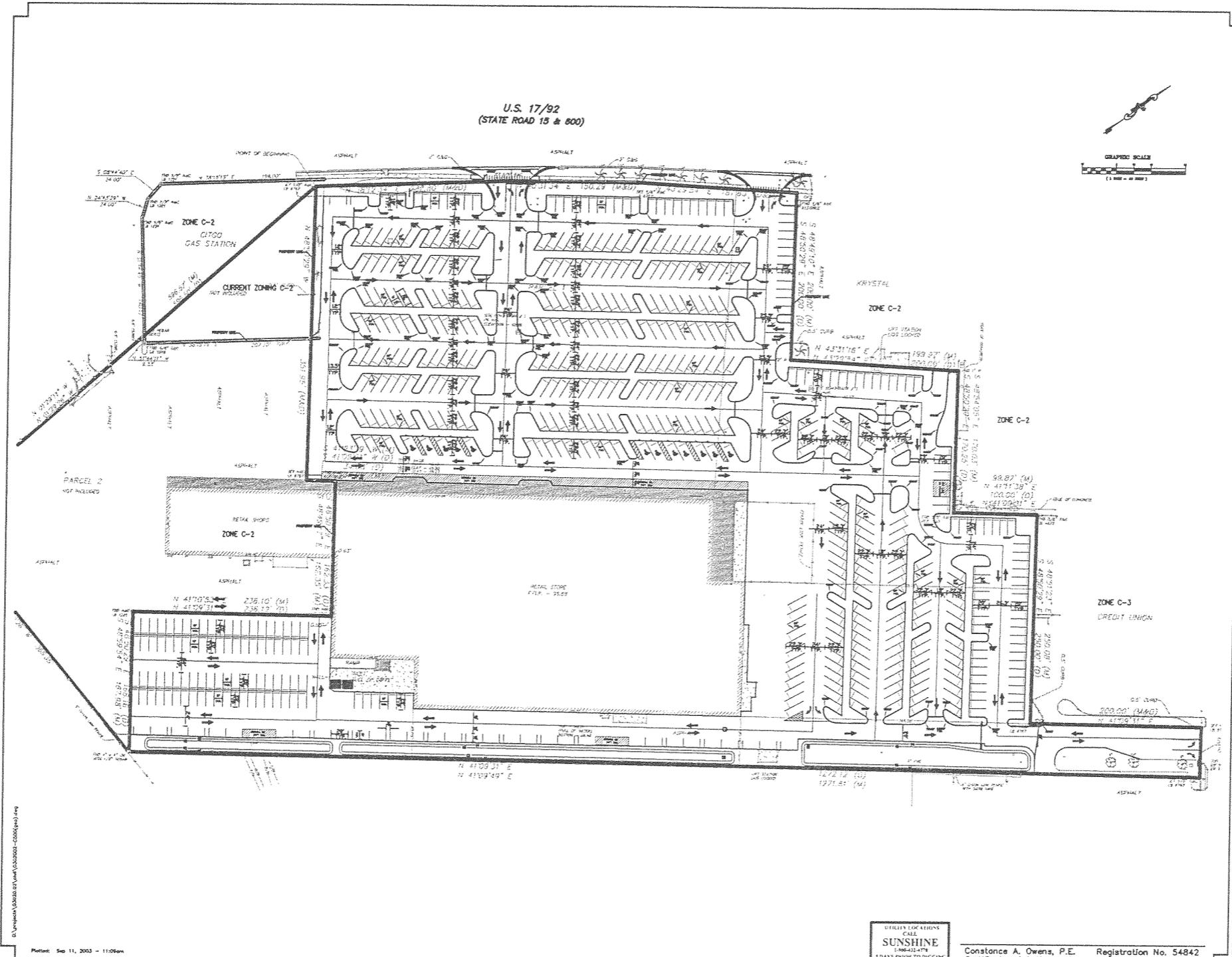
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 JOB NO.: 0320.02  
 DWG. FILE:

SHEET NO.  
**C-300**

UTILITY LOCATIONS  
 CALL  
**SUNSHINE**  
 1-800-4-A-TY  
 4 DAYS PRIOR TO DIGGING

Constance A. Owens, P.E. Registration No. 54842  
 Certificate of Authorization No. 9400





LAND DESIGN INNOVATIONS  
 100 N. Oldfield Ave. Suite 295  
 Phone: 407.975.1270  
 Fax: 407.975.1278

Rev.	Date	Description	By

**ORANGE MALL PARTNERS LLC**  
 YORK, NY

**ORANGE MALL**  
**GEOMETRY PLAN**

Contractor shall verify all conditions on the job site & notify the Project Engineer if any variations from dimensions shown on these drawings before proceeding with any construction.

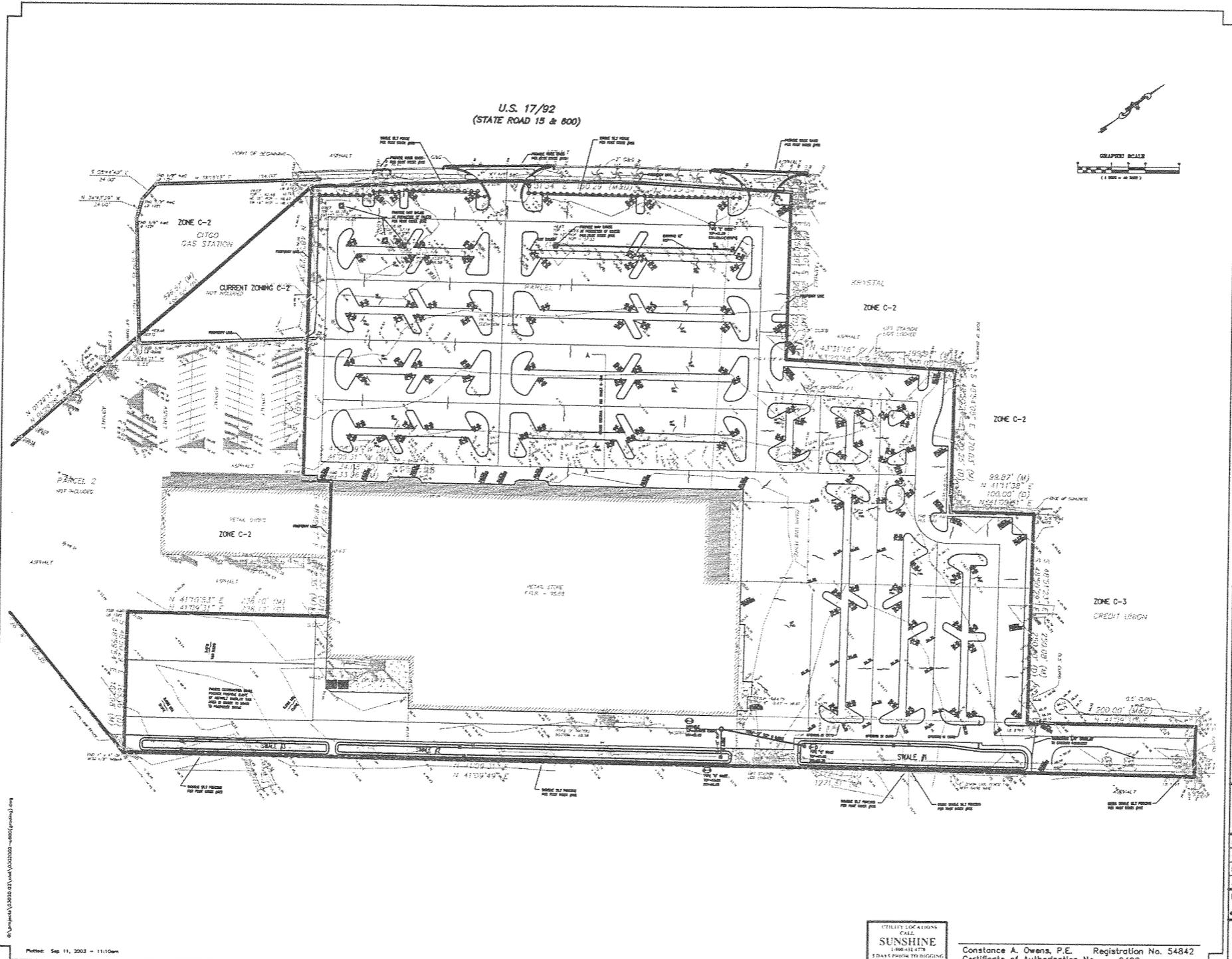
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 JOB NO.: 0320.02  
 DWG. FILE:

SHEET NO.  
**C-500**

UTILITY LOCATIONS  
 CALL  
**SUNSHINE**  
 1-800-445-7778  
 5 DAYS PRIOR TO DIGGING

Constance A. Owens, P.E. Registration No. 54842  
 Certificate of Authorization No. 9400

C:\projects\0320.02\mfr\0320.02-050.dwg



LAND DESIGN INNOVATIONS  
 140 S. Orlando Ave. Suite 205  
 Winter Park, Florida 32789  
 Phone: 407.973.1271  
 Fax: 407.973.1276

By	Description	Date	Rev.

ORANGE MALL  
 PARTNERS LLC  
 YORK, NY

ORANGE MALL  
 PAVING AND  
 GRADING PLAN

Contractor shall verify all conditions on the job site & notify the Project Engineer of any variations from dimensions shown on these drawings before proceeding with any construction.

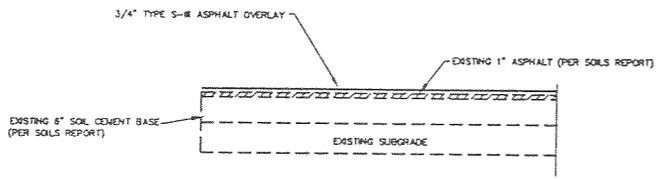
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SHEET NO.  
**C-600**

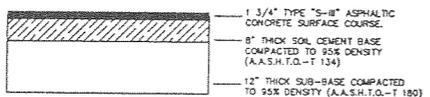
UTILITY LOCATIONS  
 CALL  
**SUNSHINE**  
 1-800-251-1177  
 5 DAYS BEFORE DIGGING.

Constance A. Owens, P.E. Registration No. 54842  
 Certificate of Authorization No. 9400

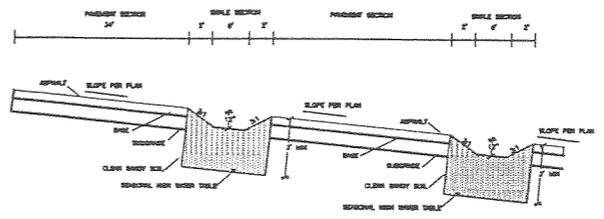
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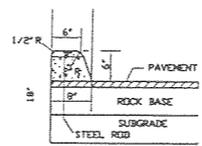
EXISTING TYPICAL PAVEMENT SECTION  
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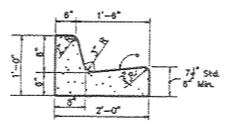
NEW TYPICAL PAVEMENT SECTION  
K.T.S.



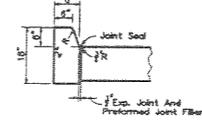
TYPICAL CROSS-SECTION "A"-A"  
K.T.S.



EXTRUDED CURB  
K.T.S.



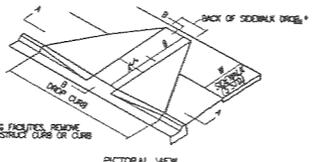
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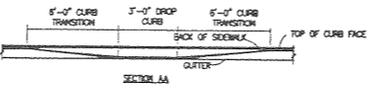
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6'	0"	6.0'	6.0'	6.0'
7'	0"	7.0'	7.0'	7.0'
8'	0"	8.0'	8.0'	8.0'
5'	2.0'	7.0'	7.5'	5.0'
5'	3.0'	8.0'	8.1'	4.5'
5'	3.0'	8.0'	8.2'	4.4'
5'	3.5'	8.5'	8.6'	4.1'
5'	4.0'	9.0'	8.6'	3.6'
5'	4.5'	9.5'	8.7'	3.4'
5'	5.0'	10.0'	8.8'	3.1'

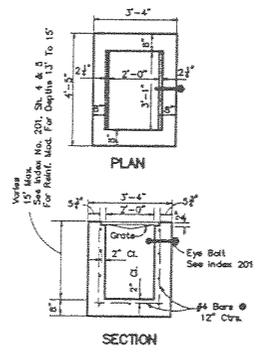
8'-0" (A+10")  
BACKLAP FROM FRONT EDGE OF SIDE-  
WALK TO BACK PORT OF 12" SLOPE  
BACK OF SIDEWALK DROP REQUIRED  
FOR ALL SIDEWALK SLOPES  
BACK OF SIDEWALK DROP REQUIRED FOR  
SIDEWALK SLOPES 0.04 AND HIGHER 0.02



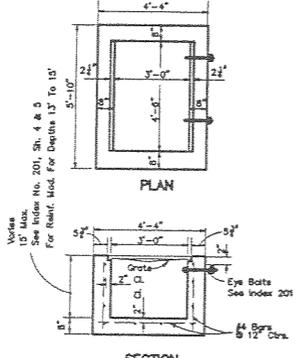
PICTORIAL VIEW



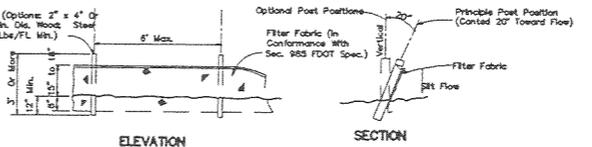
HANDICAP RAMP DETAIL  
K.T.S.



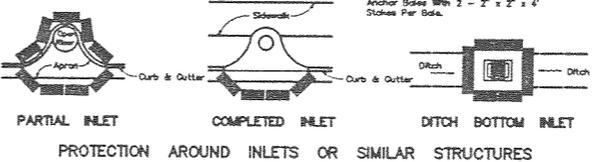
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K.T.S.



TYPE 'D' INLET - FOOT INDEX #300  
K.T.S.

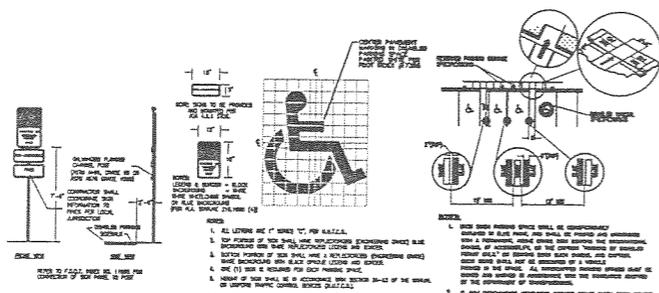


TYPE 'N' SILT FENCE  
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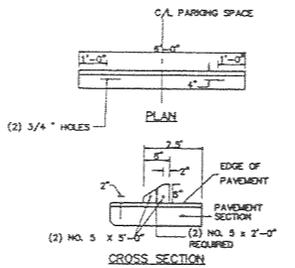


PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

SILT FENCING DETAIL - FOOT INDEX #102  
K.T.S.



HANDICAP SIGN AND SYMBOL DETAIL  
K.T.S.



TYPICAL WHEEL STOP DETAIL  
K.T.S.

UTILITY LOCATIONS  
CALL  
**SUNSHINE**  
1-800-421-4778  
1 DAY FROM DIGGING

Constance A. Owens, P.E. Registration No. 54842  
Certificate of Authorization No. 9400

LAND DESIGN INNOVATIONS  
1411N. Orlando Ave. - Suite 295  
Orlando, FL 32819  
Phone: 407.931.1213  
Fax: 407.931.1218

By	Description	Date	Rev.

ORANGE MALL  
PARTNERS LLC  
YORK, NY

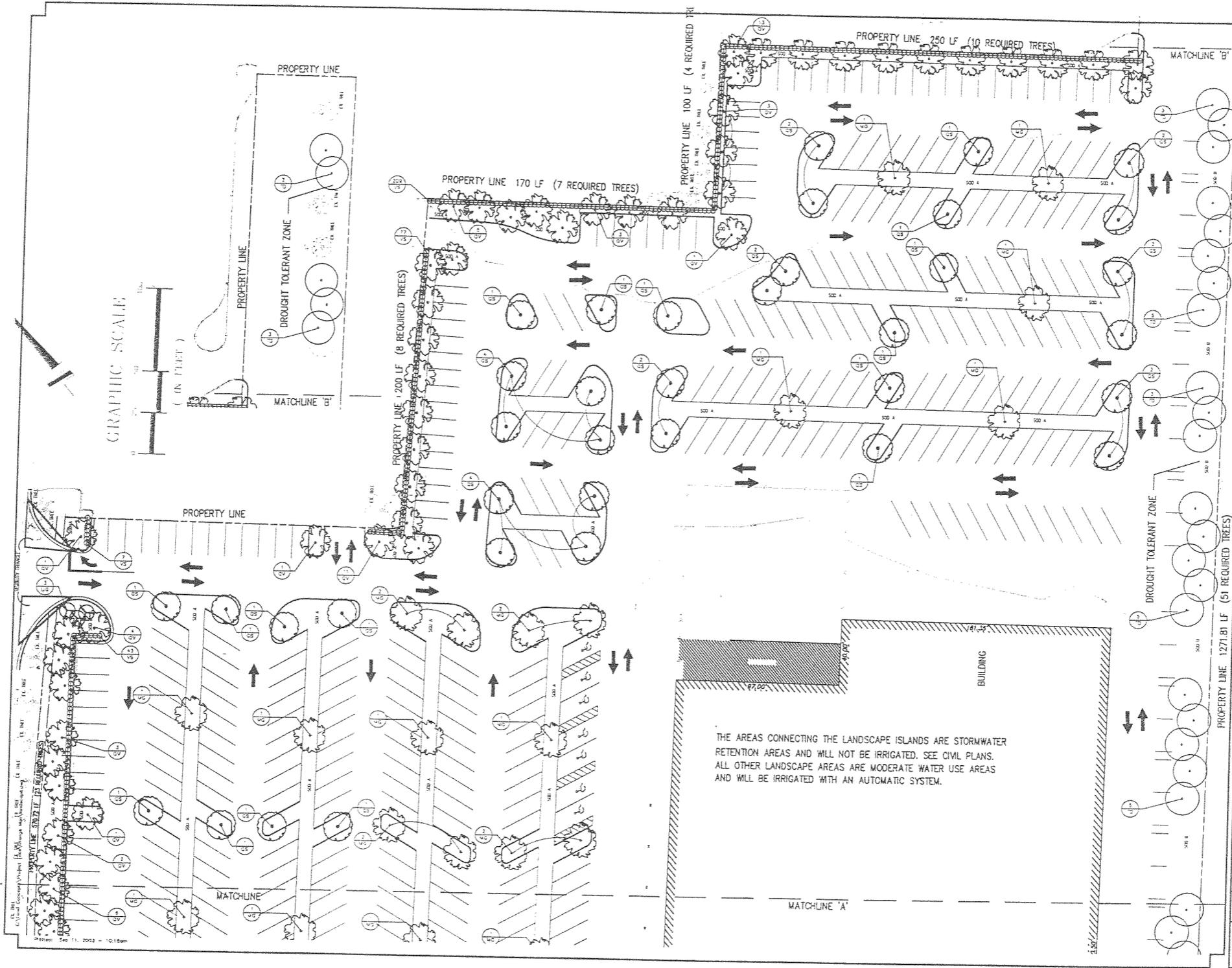
ORANGE MALL  
GENERAL DETAILS

Contractor shall verify all conditions on the job site to verify the Project Engineer of any variations from dimensions shown on these drawings before proceeding with any construction.

DRAWN BY: JRD  
CHECKED BY: CAO  
DATE: 9-8-03  
JOB NO.: 0320.02  
DWG. FILE:

SHEET NO.  
**C-700**





THE AREAS CONNECTING THE LANDSCAPE ISLANDS ARE STORMWATER RETENTION AREAS AND WILL NOT BE IRRIGATED. SEE CIVIL PLANS. ALL OTHER LANDSCAPE AREAS ARE MODERATE WATER USE AREAS AND WILL BE IRRIGATED WITH AN AUTOMATIC SYSTEM.

By	
Description	
Date	
Rev.	
RD MANAGEMENT CORPORATION NEW YORK, NY	
ORANGE MALL	LANDSCAPE PLAN B
<input type="checkbox"/> LAND Concepts, Inc. <input type="checkbox"/> [unclear] <input type="checkbox"/> [unclear] <input type="checkbox"/> [unclear]	
DRAWN BY:	RVM
CHECKED BY:	RVM
DATE:	9-04-03
JOB NO.:	03-019
DWG. FILE:	
SHEET NO.	
L-002	

LAND DESIGN INNOVATIONS  
 140 NE Orlando Ave., Suite 205  
 Winter Park, Florida 32789  
 Phone: 407.933.1273  
 Fax: 407.933.1278

KEY	PLANT / SPECIFICATIONS
55	US QUERCUS SPINOSA (SHALLOW OAK) 14" x 8" x 5' CAL. 45 GAL. 5' CLEAR TRUNK FULL SPEC
13	CV QUERCUS PRINCEANA (LIVE OAK) 14" x 8" x 5' CAL. (DBH) 45 GAL. 5' CLEAR TRUNK FULL SPEC
34	VC KAUAIYA DRACOPHILA BROWN BRACKEN (SOUTHERN KAUAIYA) 14" x 8" x 5' CAL. (DBH) 45 GAL. 5' CLEAR TRUNK FULL SPEC
14	TC TAXODIUM DISTICHUM (REAL CYPRESS) 14" x 8" x 5' CAL. (DBH) 45 GAL. 5' CLEAR TRUNK FULL SPEC
15	US LIGULASTRUM LAPONVOLM (TREE LIGULASTRUM) 10'-17" W x 8" S. WALK-TRUNKED 45 GAL. 5' CLEAR TRUNK FULL SPEC
1	UN LAURESTROBIA NODOSA WATCHEE (WHITE OAK WATCHEE) 10'-17" W x 8" S. WALK-TRUNKED 45 GAL. 5' CLEAR TRUNK FULL SPEC
21	WR WASHINGTONIA ROBERTA (WASHINGTON PALM) 14" CT. BASE TRUNK KOD OF CHAIR OR BURN MARKS OR OTHER DAMAGE NO BARKS ON LOWER 1/3 OF TRUNK STRAIGHT TRUNKS (WATCHED)
69	RI RHAPHIDOPHYSA HOGA (HOGA HARTSTROME) 15" CAL. 3 GALLON 24" O.C.
7	CA CORYNUS KENTUCKICA (CORNUS LAX) 30" x 30" O.C. 15 GALLON PLANT AS SHOWN
1775	UM LINDERA MUSEUM 'BIG BLUE' (BORDER GRASS) 8" CAL. 3 GALLON 18" O.C.
26	L2 CORPOTALLUM CHINENSE 'TILEY' (RUBY CORPOTALLUM) 15" CAL. 3 GALLON 24" O.C.
444	VS KIBUNIA BURSIFLORA (SANGHANINA BURSEFLORA) 24" O.C. 3 GALLON 30" O.C.
500 A	STENTORHUM REICHAUTUM (ST. AUGUSTINE FLORNTAIL) STAGGERED PANELS
500 B	PASPALUM NOTATUM (BAHIA GRASS) STAGGERED PANELS

ALL LANDSCAPE BEDS TO BE CHECKED WITH 1/2" OF PINE BARK MULCH.

**SITE DATA**

CURRENT ZONING: PCD  
 FUTURE LAND USE DESIGNATION: COMMERCIAL  
 TOTAL AREA: 12.53 AC  
 BUILDING SUMMARY: 1 STORY

**PARKING LOT LANDSCAPING REQUIREMENT (TREES AND SHRUBS)**

REQUIRED TREES: 1 TREE PER ROOF OF LANDSCAPE ISLAND  
 THIS PLAN MEETS AND EXCEEDS THIS REQUIREMENT.

**BUFFERYARD PLANTINGS REQUIREMENT**

10 FOOT MIN. BUFFERYARD REQUIRED.  
 4 TREES PER 100 LF

EASTERN PERIMETER 1271 LF DIVIDED BY 25 EQUALS 51 TREES TREES PROVIDED: 51 TREES	WESTERN PERIMETER 510 LF DIVIDED BY 25 EQUALS 20 TREES TREES PROVIDED: 23 TREES
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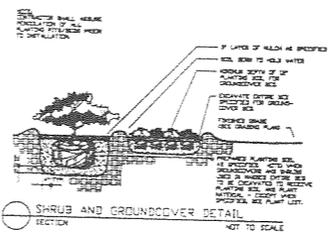
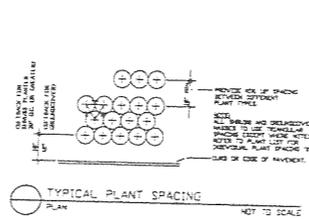
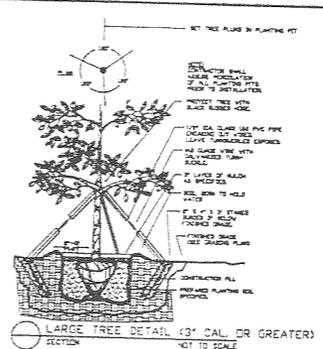
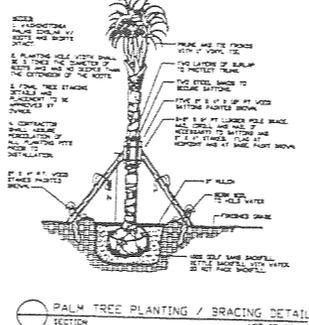
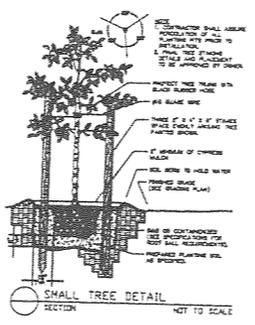
NORTHERN PERIMETER 720 LF DIVIDED BY 25 EQUALS 29 TREES TREES PROVIDED: 29 TREES	SOUTHERN PERIMETER NO LANDSCAPE BUFFER REQUIRED. TREES PROVIDED: 0 TREES
--	--

**EXISTING TREES**

NOTE:  
 ALL EXISTING TREES RETAINED FOR THIS PROJECT ARE NOTED ON THE PLAN.  
 UNDISTURBED AREAS ARE TO BE FENCED WITH WOODEN POSTS NOT MORE THAN 6 FEET APART AND  
 LOWERED TOGETHER BY A BOARD OR NET FENCE 4 FEET.  
 THE AREA OF PROTECTION SHALL BE A MINIMUM OF 1000 SF AND FALL WELL OUTSIDE OF THE OUTLINE  
 OF THE PROTECTED TREES. 8 TREES

**STREET TREE REQUIREMENT**

US 17-92 FRONTAGE EXISTING PALMS WILL BE RETAINED ALONG 17-92.	7 TREES
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**LANDSCAPE INSTALLATION NOTES**

- All base information provided by Land Design Innovations, Inc. The Contractor shall field verify all information prior to installation. All existing planting shall remain intact and undisturbed unless otherwise noted on the plans.
- Contractor shall notify all necessary utility companies 48 hours minimum prior to digging for all underground utilities, irrigation and all other obstructions and coordinate with Owner's Representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing these documents.
- Contractor shall familiarize himself/herself with existing site conditions prior to initiating planting. All existing site furnishings, paving, landscape and other elements to remain shall be protected from any damage unless otherwise noted.
- Unless otherwise noted, the limits of construction are the clearing limits noted on the drawings.
- Report any discrepancies between the construction drawings and field conditions to the Owner's Representative immediately.
- Landscape contractor shall coordinate all work with related contractors and with the general construction of the project in order not to impede the progress of the work of others or the Contractor's own work.
- Contractor shall be responsible to remove existing groundcover for all planting beds as specified prior to planting installation. Contractor shall be responsible to replace all portions of existing lawn areas damaged while completing planting installation with same grass species to the satisfaction of the Owner's Representative.
- The contractor shall bear all costs of testing of soils, amendments, etc. associated with the work and included in the specifications. Prior to commencement of the landscape planting work the Contractor shall provide complete soil tests for at least two on-site areas.
- All plant material shall be in full and strict accordance with the American Standards for Nursery Stock as published by the American Association of Nurserymen (AAN) and the project manual and specifications. Plant materials shall exceed in some instances some specifications if necessary to meet the minimum requirements of others.
- All trees shall have five feet (5') clear trunk unless otherwise specified.
- All container sizes noted on plant list are minimum. increase size if necessary to conform to plant size and specifications.
- All tree caliper sizes noted on plant list are minimum. increase size if necessary to conform to plant size and specifications.
- Any tree with a trunk formed "V" shape crotch will be rejected.
- Erosion control fabric shall be installed in all shrub and groundcover planting areas as per specifications for all slopes that exceed 3:1. See grading plans for location of slopes greater than 3:1.
- Typically, shrub and groundcover plantings are shown as mass planting beds. Plants shall be placed on a staggered spacing configuration (staggered spacing). Plant center to center dimensions (O.C.) are listed under "Comments" on the plant list.
- Landscape Contractor shall field stake the location of all plant material prior to initiating installation for the review and approval of the Owner's Representative and/or Landscape Architect.
- Landscape Contractor shall field adjust location of plant material as necessary to avoid damage to all existing underground utilities and/or existing above ground elements. All changes required shall be completed at the Contractor's Representative and the Landscape Architect.
- Contractor shall mulch all new plant material throughout and completely to depth specified.
- Any substitutions in size and/or plant material must be approved by the Landscape Architect. All plants will be subject to approval by Landscape Architect and/or Owner's Representative before planting can begin.
- Contractor shall refer to the landscape planting details, plant list, general notes and the project manual and specifications for further and complete landscape planting instructions.
- Landscape Contractor shall coordinate all planting work with irrigation work. Landscape Contractor shall be responsible for all non-watering irrigation water and rainfall. Landscape Contractor shall be responsible for hand watering in all planting areas, regardless of the status of existing or proposed irrigation.
- Landscape Contractor shall clean the work areas at the end of each working day. Rubbish and debris shall be collected and disposed off-site daily. All materials, products and equipment shall be stored in an organized fashion as directed by the Owner's Representative.
- Landscape Contractor shall replace all areas disturbed by plant removal, relocation and/or installation work. Landscape Contractor shall replace (by equal size and quality) any and all existing plant material disturbed or damaged by plant removal, relocation and/or installation work.

**LAND DESIGN INNOVATIONS**  
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By	
Description	
Date	
Rev.	

**RD MANAGEMENT CORPORATION**  
 NEW YORK, NY

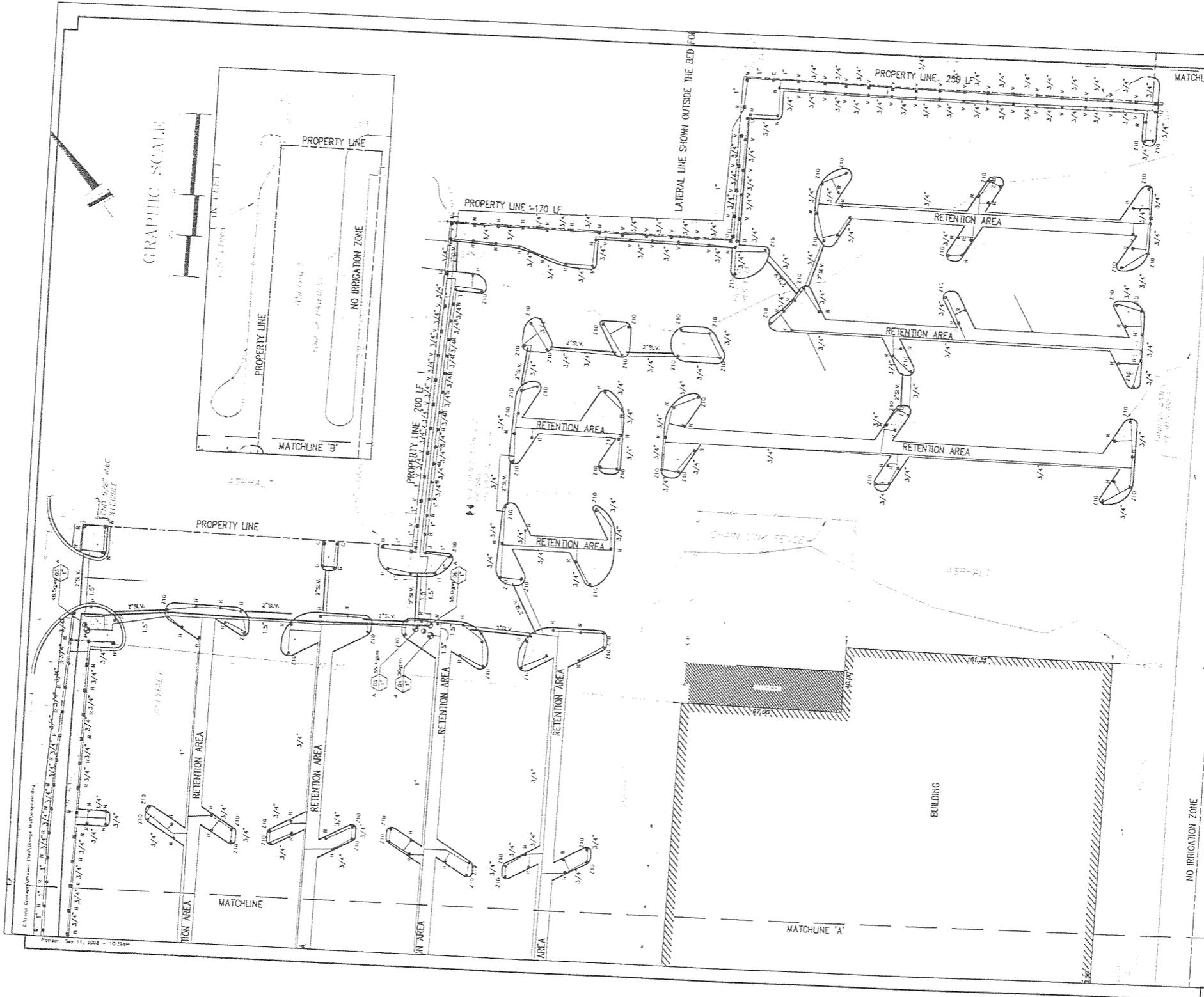
**ORANGE MALL**  
 LANDSCAPE NOTES AND DETAILS

LAND Concepts, Inc.  
 J. & W. BARR  
 1000 Park Ave. #200  
 P.O. Box 200  
 White Plains, NY 10610  
 (914) 941-1234

DRAWN BY: | RVM  
 CHECKED BY: | RVM  
 DATE: | 8-04-03  
 JOB NO.: | 03-019  
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 SHEET NO.  
 L-003

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GRAPHIC SCALE

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NO IRRIGATION ZONE  
 PROPERTY LINE 1271.81 LF  
 PROPERTY LINE 200 LF  
 PROPERTY LINE 259 LF  
 MATCHLINE 'A'  
 MATCHLINE 'B'  
 MATCHLINE 'C'  
 NO IRRIGATION ZONE

**LAND DESIGN INNOVATIONS**  
 Incorporated  
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Rev.	Date	Description

**RD MANAGEMENT CORPORATION**  
 NEW YORK, NY

**ORANGE MALL**  
 IRRIGATION PLAN B

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DRAWN BY: RVM  
 CHECKED BY: RVM  
 DATE: 9-04-03  
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 IR-002

# IRRIGATION NOTES

- REFER TO THE LANDSCAPE PLANS WHEN TREESHOWING TO AVOID TREES AND SHRUBS.
- ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER.
- ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- ALL POP-UP ROTORS AND SPRAYS SHALL BE INSTALLED USING A FLEXIBLE JOINT CONNECTION TO THE LATERAL LINE PIPING.
- ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES & WALLS.
- THROTTLE ALL IRRIGATION CONTROL VALVES AS REQUIRED TO PREVENT FLOODING.
- ALL RISERS SHALL BE PAINTED FLAT BLACK.
- ALL RISERS SHALL BE STAKED WITH REBAR AND SECURED WITH NYLON CONNECTORS AT TWO LOCATIONS ON THE RISER. PAINT ALL FLAT BLACK.
- ALL CONTROL WIRE SPICES SHALL BE MADE IN CONTROL VALVE BOXES USING KING "ONE STEP" CONNECTORS AND SEALANT WITH WIRE NUTS.
- THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON A REPRODUCIBLE PAPER (HELMIX OR MYLAR) SHOWING ALL IRRIGATION DRAWINGS ON A REPRODUCIBLE PAPER (HELMIX OR MYLAR) OBTAINED FROM THE LANDSCAPE ARCHITECT FOR A FEE. THE DRAWING SHALL LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES.
- ALL CONTROL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES.
- SOME PIPE LINES ARE DRAWN OFF SET IN ROADWAYS AND SIDEWALKS FOR CLARITY. INSTALL ALL IRRIGATION LINES NOT SHOWN IN SLEEVES IN LANDSCAPE AREAS.
- ALL RISERS SHALL BE INSTALLED 18" FROM ANY WALL AND A MINIMUM OF 12" FROM ANY SIDEWALK, PAVED OR ROAD.
- THE EXACT HEIGHT OF RISERS SHALL BE SET BY THE MATURE HEIGHT OF THE PLANTING AND AS APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS AND COST OF ANY DAMAGE CAUSED BY HIS WORK.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.
- ELECTRICAL SERVICE TO ALL EQUIPMENT SHALL BE PROVIDED TO A JUNCTION BOX AT THE EQUIPMENT LOCATION (BY OTHERS NOT A PART OF THIS CONTRACT).
- IRRIGATION WATER CONNECTIONS AND SYSTEM CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL CODES.
- SIZE ALL IRRIGATION LATERAL LINES AT VELOCITIES LESS THAN 5 FEET PER SECOND. 1/2"-6 GPM, 3/4"-9 GPM, 1"-16 GPM, 1.5"-35 GPM, 2"-55 GPM, 2.5"-80 GPM.

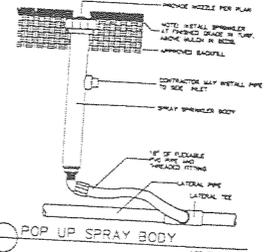
# IRRIGATION LEGEND

- 1" IRRIGATION WATER TAP AND METER ON POTABLE WATER LINE WITH BACKFLOW PREVENTER. PROVIDED BY IRRIGATION INSTALLER.
- 1" REDUCED PRESSURE BACKFLOW DEVICE PER LOCAL CODE. VERIFY RPD LOCATION IN THE FIELD. FERCO 823Y, OR EQUAL.
- ELECTRIC IRRIGATION CONTROLLER. NUMBER OF STATIONS SHOWN ON THE PLAN. PEDESTAL MOUNT, METAL CABINET WITH RANSWITCH. 120VAC SINGLE PHASE ELECTRIC POWER BY OTHERS. MASTER PRO-1.
- ELECTRIC IRRIGATION VALVE. PLASTIC BODY WITH FLOW CONTROL MOUNTED IN 15" PLASTIC VALVE BOX. SIZE INDICATED ON DRAWING. TERO P-220 SERIES.
- ELECTRIC VALVE INDICATOR. SHOWS VALVE LOCATION, STATION NUMBER, SIZE AND ZONE GPM VOLUME.
- 1" BRONZE QUICK COUPLER VALVE IN VALVE BOX. MOUNT ON O-RING TYPE SWING JOINT. MOUNT IN 15" RECTANGULAR VALVE BOX. PROVIDE ONE 1564-1 DOV KEY PER FOUR QUICK COUPLER VALVES. TERO 474-00 SERIES.
- ISOLATION VALVE. PROVIDE 1 1/2" VALVE BOX WITH EXTENSIONS. 3" AND SMALLER - BRONZE THREAD ON TYPE WITH WHEEL HANDLE.
- PVC MAINLINE PIPE. CLASS 200, PVC. SIZE.
- PVC LATERAL PIPE. CLASS 160, SOLVENT WELD, PVC. SIZE. LATERAL PIPE AT VELOCITIES OF 5 FEET PER SECOND OR LESS.
- PVC SLEEVE PIPE. SOL. 40 PVC, SOLVENT WELD PIPE. SIZE. S.V.

# SPRAY BODIES

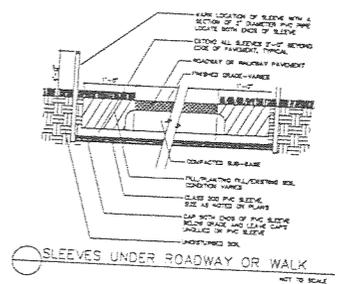
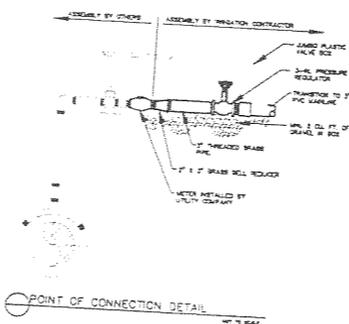
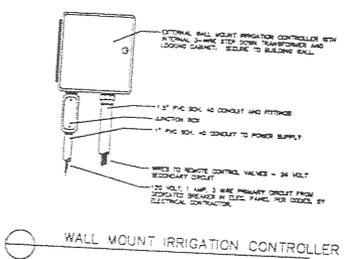
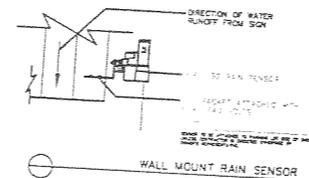
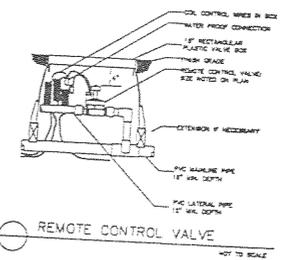
TORO 570-2 SERIES BODIES & ADAPTERS  
 PROVIDE SPRAY NOZZLES PER PLAN  
 USE POLY-PIPE OR PVC FLEXIBLE CONNECTIONS

- 1" 6" POP-UP TURF SPRAY BODY
- 2" 12" POP-UP SHRUB SPRAY BODY
- 1/2" 1" SHRUB SPRAY RISER



# SPRAY HEAD NOZZLE CHART

LETTER	GPM AT 30 PSI	RADIUS	PATTERN
A	1.0	15'	QUARTER
B	1.5	15'	ONE THIRD
C	2.0	15'	HALF
D	3.0	15'	TWO THIRD
E	4.0	15'	THREE QTR.
F	0.5	12'	FULL
G	0.5	12'	LOW QUARTER
H	1.0	12'	LOW GAL. THIRD
J	0.5	12'	LOW GAL. HALF
K	1.0	12'	LOW GAL. 2 THIRD
L	1.5	12'	LOW GAL. 3 QUART.
M	2.0	12'	FULL
N	0.3	10'	FLAT QUARTER
P	0.5	10'	FLAT THIRD
R	0.5	10'	FLAT HALF
S	0.5	10'	FLAT 2 THIRD
T	0.5	10'	FLAT 3 QUARTER
V	0.5	4' X 15'	END STRIP
W	1.2	4' X 30'	SIDE STRIP
X	1.2	4' X 30'	SIDE STRIP
Y	1.7	5' X 15'	CENTER STRIP
Z	1.0	5'	STREAM BUBBLER
	VARIABLES	15'	ADJUSTABLE ARC



LAND DESIGN INNOVATIONS  
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 FAX: 407/973-1218

By: \_\_\_\_\_  
 Description: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Rev: \_\_\_\_\_

RD MANAGEMENT CORPORATION  
 NEW YORK, NY

ORANGE MALL  
 IRRIGATION NOTES AND DETAILS

LAND Concepts, Inc.  
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 DATE: 19-04-03  
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 IR-003