

**SEMINOLE COUNTY GOVERNMENT  
BOARD OF ADJUSTMENT  
AGENDA MEMORANDUM**

*Continued from the July 24, 2006 BOA Meeting*

**SUBJECT:** Request for a special exception for a proposed off street parking facility and an addition to an existing church in the R-1 (Single-Family Dwelling District); (Vernon Thompson, applicant).

**DEPARTMENT:** Planning & Development **DIVISION:** Planning

**AUTHORIZED BY:** Kathy Fall **CONTACT:** Ian Sikonia **EXT.** 7398

**Agenda Date** 08/28/06 **Regular**  **Consent**  **Public Hearing – 6:00**

**MOTION/RECOMMENDATION:**

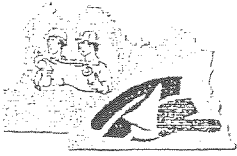
1. **APPROVE** the request for a special exception for a proposed off street parking facility and an addition to an existing church in the R-1 (Single-Family Dwelling District); or
2. **DENY** the request for a special exception for a proposed off street parking facility and an addition to an existing church in the R-1 (Single-Family Dwelling District); or
3. **CONTINUE** the request to a time and date certain.

<b>GENERAL INFORMATION</b>	Rose Hill Baptist Church P.O. Box 470164 Lake Monroe, FL 32747	R-1 District, LDC Section 30.183(d) & (a); (Off-street parking facility & Church)
<b>BACKGROUND / REQUEST</b>	<ul style="list-style-type: none"> <li>• The applicant proposes to expand an existing church and construct an off street parking facility in the Bookertown community.</li> <li>• The applicant wishes to expand the church by adding an additional 3,124 square feet to an existing building. The new addition will consist of a congregation area, reception areas, and the pastor's office. They are also proposing to construct two unpaved parking facilities. The first is an off street parking facility which located on the west side of the church across Moton Avenue and contains 22 parking spaces. The second is located on site and contains 18 spaces including the handicapped spaces.</li> </ul>	

	<ul style="list-style-type: none"> <li>The proposed membership for the existing church is 180 members. The total seating in the existing church is approximately 80 people while the new expansion will allow for approximately 180 people.</li> </ul>																											
<b>ZONING &amp; FLU</b>	<table border="1"> <thead> <tr> <th>DIRECTION</th> <th>EXISTING ZONING</th> <th>EXISTING FLU</th> <th>USE OF PROPERTY</th> </tr> </thead> <tbody> <tr> <td>SITE</td> <td>R-1</td> <td>Medium Density Residential</td> <td>Church</td> </tr> <tr> <td>NORTH</td> <td>R-1</td> <td>Medium Density Residential</td> <td>Single-Family Residential</td> </tr> <tr> <td>SOUTH</td> <td>R-1</td> <td>Medium Density Residential</td> <td>Single-Family Residential</td> </tr> <tr> <td>EAST</td> <td>R-1</td> <td>Medium Density Residential</td> <td>Single-Family Residential</td> </tr> <tr> <td>WEST</td> <td>R-1</td> <td>Medium Density Residential</td> <td>Single-Family Residential</td> </tr> </tbody> </table>				DIRECTION	EXISTING ZONING	EXISTING FLU	USE OF PROPERTY	SITE	R-1	Medium Density Residential	Church	NORTH	R-1	Medium Density Residential	Single-Family Residential	SOUTH	R-1	Medium Density Residential	Single-Family Residential	EAST	R-1	Medium Density Residential	Single-Family Residential	WEST	R-1	Medium Density Residential	Single-Family Residential
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<b>STANDARDS FOR GRANTING A SPECIAL EXCEPTION; LDC SECTION 30.43(b)(2)</b>	<p>The Board of Adjustment (BOA) shall have the power to hear and decide special exceptions it is specifically authorized to pass under the terms of the land development code upon determination the use requested:</p> <p><b><u>IS NOT DETRIMENTAL TO THE CHARACTER OF THE AREA OR NEIGHBORHOOD OR INCONSISTENT WITH TRENDS OF DEVELOPMENT IN THE AREA:</u></b></p> <p>The existing structure has been established on this property since 1950 in the Bookertown community. The proposed church expansion and parking facilities will not be inconsistent with character of the neighborhood due to its longstanding use as a church within the Bookertown community. It is typical to have community churches within established residential communities.</p> <p><b><u>DOES NOT HAVE AN UNDULY ADVERSE EFFECT ON EXISTING TRAFFIC PATTERNS, MOVEMENTS AND VOLUMES:</u></b></p> <p>A proposed addition of an existing church will increase traffic however a majority of those trips will be internal to the Bookertown community due the majority of the congregation living within the community. The services the church provides also will have a nominal effect on peak hour traffic because the church classes begin at 7:00 pm on weekdays and church service will only be held on Sunday's.</p> <p><b><u>IS CONSISTENT WITH THE SEMINOLE COUNTY VISION 2020 COMPREHENSIVE PLAN:</u></b></p> <p>The Seminole County Vision 2020 Comprehensive Plan describes Medium Density Residential Future Land Use as appropriate for a variety of non-residential special exception uses such as, group homes, churches, day care, guest cottages, home occupation,</p>																											

	<p>public utilities, and publicly owned parks and recreational areas. With the imposition of staff's recommended conditions, the proposed church expansion and off street parking facility would be consistent with this description, given the primary use of this site as a church.</p> <p><b><u>MEETS ANY ADDITIONAL REQUIREMENTS SPECIFIED IN THE CODE SECTION AUTHORIZING THE USE IN A PARTICULAR ZONING DISTRICT OR CLASSIFICATION:</u></b></p> <p>Based on the submitted site plan, the proposed expansion will meet the minimum applicable setbacks requirements in the R-1 (Single-Family Dwelling District). The existing church doesn't meet the applicable setbacks, however since the structure was built in 1950 setbacks were not in existence.</p> <p><b><u>WILL NOT ADVERSELY AFFECT THE PUBLIC INTEREST:</u></b></p> <p>Within the R-1 district, off street parking facilities and churches are allowed as conditional uses. The proposed off street parking facility and church expansion use would not have any significant additional impacts in intensity due to this site having been used as church for a number of years.</p>
<p><b>STANDARDS FOR GRANTING A SPECIAL EXCEPTION IN THE R-1 (SINGLE-FAMILY DWELLING DISTRICT); LDC SECTION 30.181(a) &amp; (d)</b></p>	<p>The BOA may permit any use allowed by special exception in the R-1 (Single-Family Dwelling District) upon making findings of fact, in addition to those required by section 30.43(b)(2) of the land development code, that the use:</p> <p><b><u>IS CONSISTENT WITH THE GENERAL ZONING PLAN OF THE R-1 (SINGLE FAMILY DWELLING DISTRICT):</u></b></p> <p>As previously stated churches and off street parking facilities are consistent with the general zoning plan of the R-1 district. With the imposition of staff's recommended conditions, the proposed church expansion and off street parking facility would otherwise comply with the use and standards of the R-1 district.</p> <p><b><u>IS NOT HIGHLY INTENSIVE IN NATURE:</u></b></p> <p>The request would not be highly intensive in nature, since the site has been established as a church and would be limited by the number of parking spaces allowable.</p> <p><b><u>HAS ACCESS TO AN ADEQUATE LEVEL OF URBAN SERVICES SUCH AS SEWER, WATER, POLICE, SCHOOLS AND RELATED SERVICES:</u></b></p> <p>County services including police, emergency, and garbage disposal are available to the site. The property is currently served by water and a septic system.</p>

<b>STAFF FINDINGS</b>	<p>There is currently an existing church and a vacant lot to the west across Moton Avenue. The expansion to the site includes a 3,124 square foot church expansion and an off street parking facility on the vacant property. In evaluating this request, staff has determined the following:</p> <ul style="list-style-type: none"><li>• The proposed use would be consistent with the comprehensive plan's designation of Medium Density Residential future land use for the subject property.</li><li>• With the imposition of staff's recommended conditions, the proposed use would not have an adverse impact on existing traffic patterns, movements or volumes.</li><li>• The proposed use would not adversely affect the public interest.</li><li>• No identified areas of environmental concern would be impacted by the proposed use.</li><li>• The proposed church expansion and off street parking facility would be compatible with the residential character of nearby and adjacent development.</li></ul>
<b>STAFF RECOMMENDATION</b>	<p>Based on the stated findings, staff recommends the Board of Adjustment approve the request for special exception, subject to the following conditions:</p> <ul style="list-style-type: none"><li>○ Parking of vehicles within the road right-of-way shall be prohibited.</li><li>○ The proposed addition shall not exceed 3,200 square feet and a maximum occupancy of 180 people</li><li>○ If the parking facility shall be lighted it will be residential in design and it will follow the standards set forth in the Land Development Code.</li></ul>



SEMINOLE COUNTY PLANNING & DEVELOPMENT DEPARTMENT  
 PLANNING DIVISION  
 1101 EAST FIRST STREET  
 SANFORD, FL 32771  
 (407) 665-7444 PHONE (407) 665-7385 FAX

RECEIVED JUN 02 2006  
 APPL. NO. B.S 2006-003

**APPLICATION TO THE SEMINOLE COUNTY BOARD OF ADJUSTMENT**

Applications to the Seminole County Board of Adjustment shall include all applicable items listed in the Board of Adjustment Process Checklist. No application will be scheduled for Board of Adjustment consideration until a complete application (including all information requested below) has been received by the Planning & Development Department, Planning Division. Applications for SPECIAL EXCEPTION shall only be received for processing following pre-application conference.

**APPLICATION TYPE:**

- VARIANCE**
- SPECIAL EXCEPTION** for an addition to an existing church and an off street parking facility
- LIMITED USE**
- SF DWELLING UNDER CONSTRUCTION
- NIGHT WATCHMAN
- YEAR OF MOBILE HOME / RV (EXISTING \_\_\_\_\_) (PROPOSED \_\_\_\_\_)
- SIZE OF MOBILE HOME / RV \_\_\_\_\_
- PLAN TO BUILD  YES  NO IF SO, WHEN \_\_\_\_\_
- APPEAL FROM DECISION OF THE PLANNING MANAGER**

PROPERTY OWNER		AUTHORIZED AGENT*
NAME	ROSE HILL BAPTIST CHURCH.	VERNON THOMPSON
ADDRESS	96 MOTON AVENUE LAKE MONROE, FLORIDA.	4121 DINON DR. ORL. FLA 32809
PHONE 1	DEACON WILLIAMS	407-739-7891
PHONE 2	407-427-0988.	
E-MAIL		

PROJECT NAME: ROSE HILL BAPTIST CHURCH.  
 SITE ADDRESS: 96 MOTON AVENUE, LAKE MONROE, FLA.  
 CURRENT USE OF PROPERTY: EXISTING CHURCH STRUCTURE.  
 LEGAL DESCRIPTION: \_\_\_\_\_

SIZE OF PROPERTY: 80 X 165 acre(s) PARCEL I.D. 20-19-30-801-0000-0990  
 UTILITIES:  WATER  WELL  SEWER  SEPTIC TANK  OTHER \_\_\_\_\_  
 KNOWN CODE ENFORCEMENT VIOLATIONS NONE.

IS PROPERTY ACCESSIBLE FOR INSPECTION  YES  NO

This request will be considered at the Board of Adjustment regular meeting on 7/24/06  
 (mo/day/yr), in the Board Chambers (Room 1028) at 6:00 p.m. on the first floor of the Seminole County Services Building, located at 1101 East First Street in downtown Sanford, FL.

I hereby affirm that all statements, proposals, and/or plans submitted with or contained within this application are true and correct to the best of my knowledge.

SIGNATURE OF OWNER OR AGENT\* [Signature] DATE 6/2/06.

\* Proof of owner's authorization is required with submittal if signed by agent

**ADDITIONAL VARIANCES**

VARIANCE 2:

VARIANCE 3:

VARIANCE 4:

VARIANCE 5:

VARIANCE 6:

VARIANCE 7:

**APPEAL FROM BOA DECISION TO BCC**

**APPELLANT INFORMATION**

NAME	
ADDRESS	
PHONE 1	
PHONE 2	
E-MAIL	

NATURE OF THE APPEAL \_\_\_\_\_

\_\_\_\_\_ APPELLANT SIGNATURE \_\_\_\_\_

**FOR OFFICE USE ONLY**

PROCESSING:

FEE(S): 370.00 COMMISSION DISTRICT \_\_\_\_\_ FLU / ZONING R-1 / MOR

BCC HEARING DATE \_\_\_\_\_ (FOR APPEAL)

LOCATION FURTHER DESCRIBED AS \_\_\_\_\_

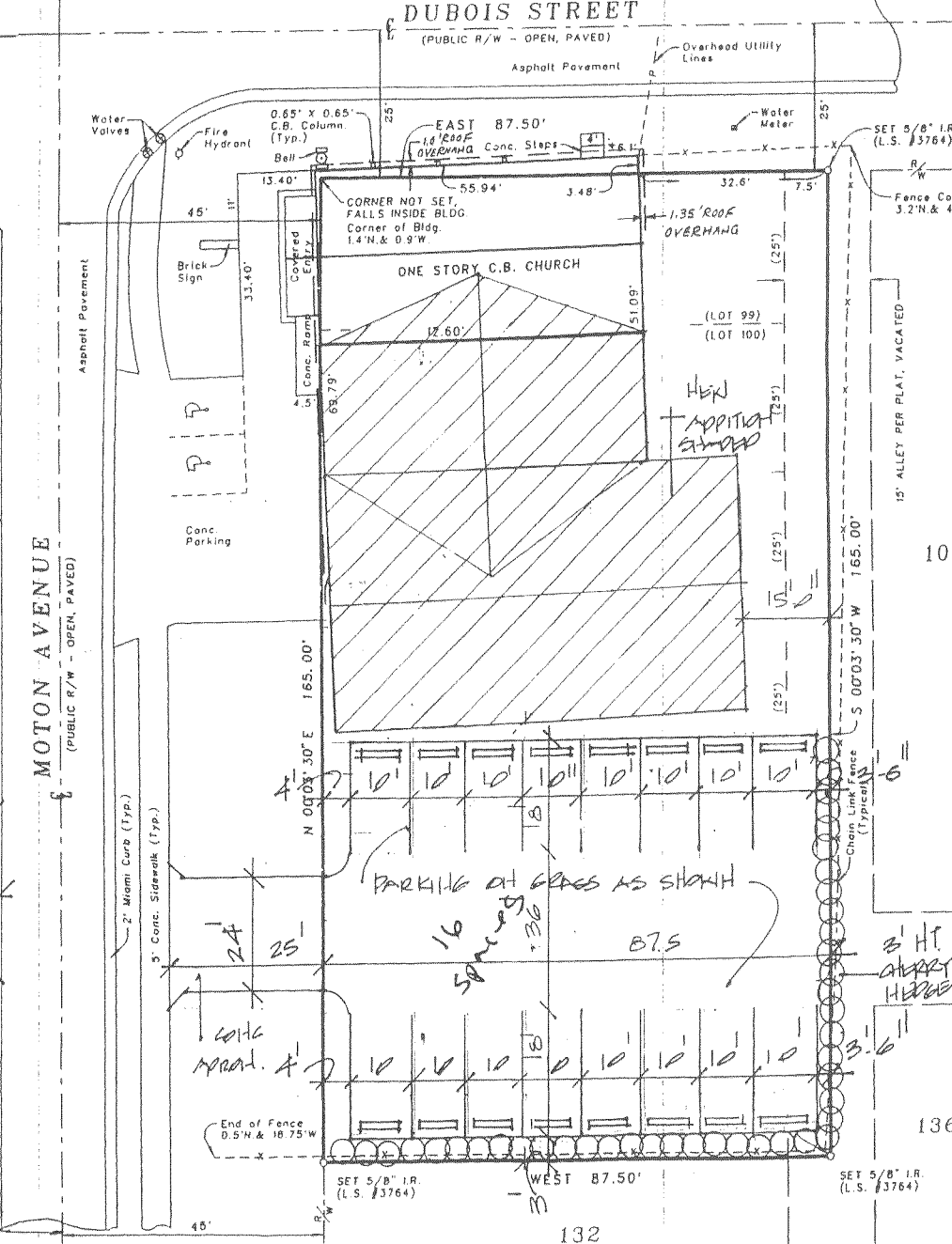
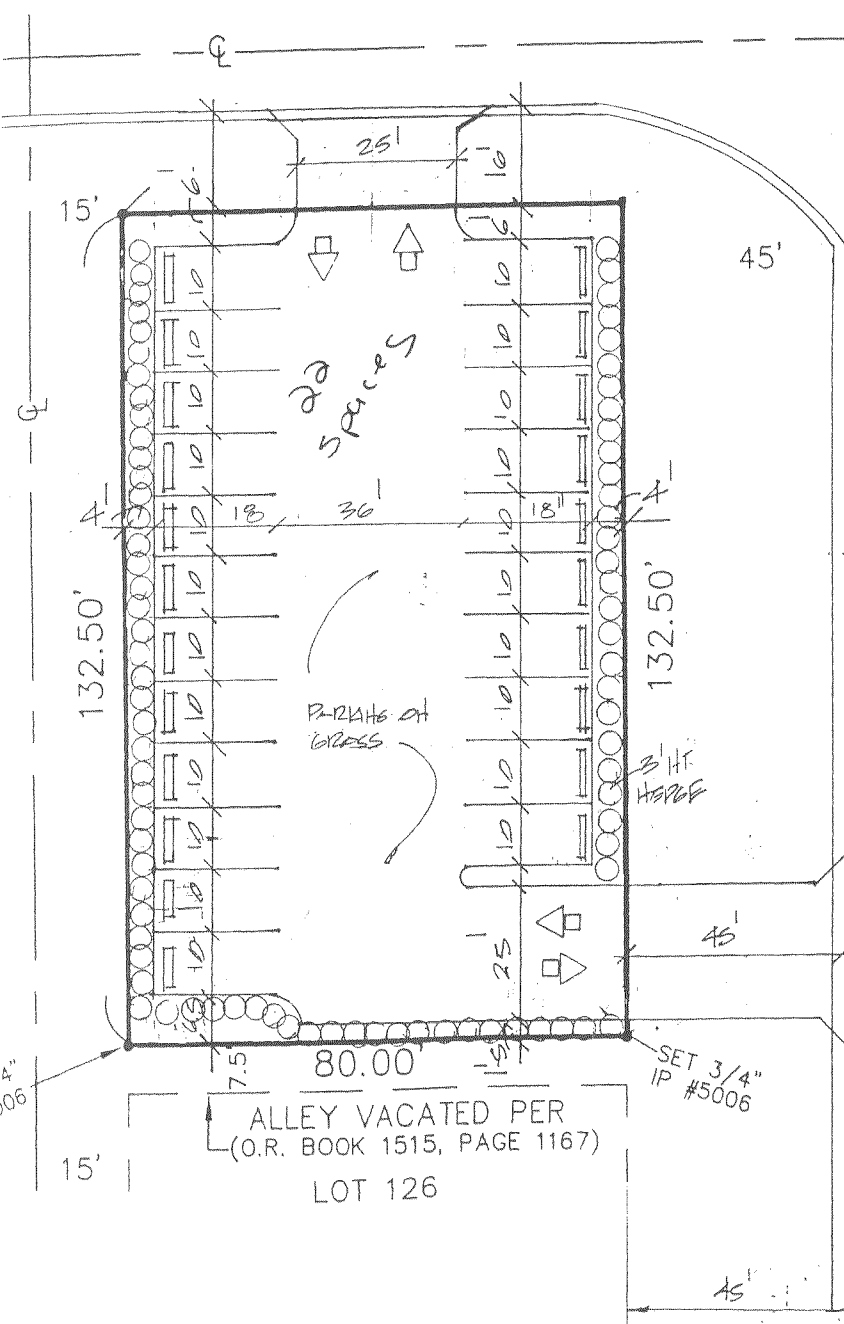
PLANNING ADVISOR \_\_\_\_\_ DATE \_\_\_\_\_

SUFFICIENCY COMMENTS \_\_\_\_\_

AND  
 LOT 131, BOOKER  
 AND THE SOUTH 1/2

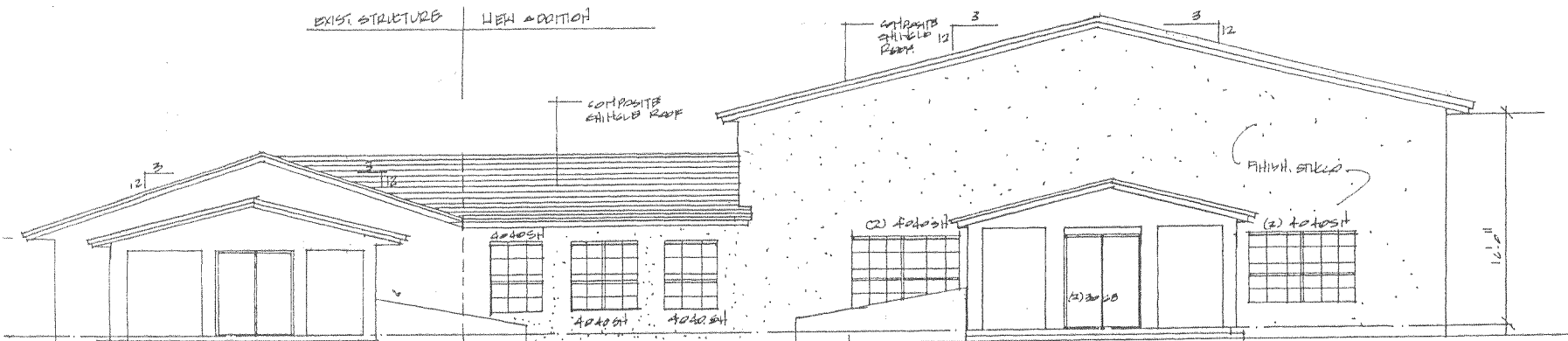
AS RECORDED IN PLAT BOOK 4, PAGES 97 AND 98, PUBLIC RECORDS OF SEMINOLE COUNTY,  
 ALLEY, ADJACENT TO SAID LOT 131, AND THE WEST 1/2 OF VACATED ALLEY ADJACENT T

DA,  
 LOT 131.



BEARINGS ARE BASED ON THE SOUTH RIGHT-OF-WAY OF  
 DUBOIS STREET, AS BEING EAST, ASSUMED.

SCALE: 1" = 20'  
 DATE OF:  
 BOUNDARY: 12-17-03  
 FOUND: 12-17-03

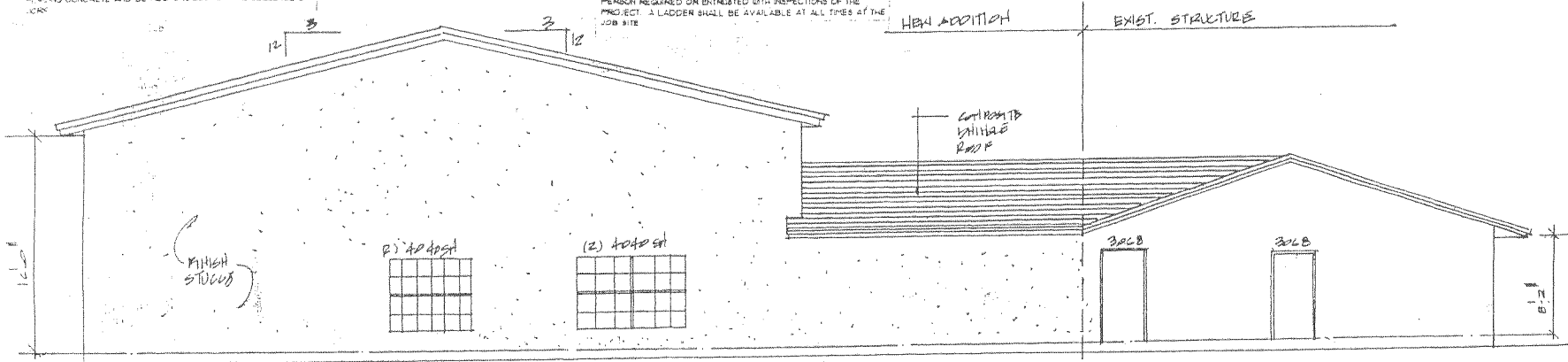


**DRAWINGS GENERAL NOTES**

1. REFERENCE TO ANY DETAIL ON DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWING. ANY INTERPRETATION OF THESE DRAWINGS APPEARING TO BE UNCLEAR OR AMBIGUOUS SHALL BE REFERRED TO THE ARCHITECT FOR INTERPRETATION AND CLARIFICATION.
2. THE DRAWINGS AND SPECIFICATIONS SHALL COMPLY WITH THE APPLICABLE CODES OF THE GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT. AN OPINION OR RECOMMENDATION SHALL BE BROUGHT PROMPTLY TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE EXECUTION OF ANY OF THE WORK.
3. DO NOT SCALE DRAWINGS. CONTACT THE ARCHITECT RIGHT AWAY FOR CLARIFICATION IN CASE OF A DIMENSION DISCREPANCY OR DISCREPANCY.
4. THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS SHALL VISIT THE SITE PRIOR TO THE SUBMISSION OF BIDS AND THOROUGHLY FAMILIARIZE THEMSELVES WITH THE WORK CONDITIONS AND THE EXACT NATURE AND EXTENT OF THE WORK WITH THE INTENT OF DELIVERING A COMPLETE SYSTEM. THE GENERAL CONTRACTOR SHALL COORDINATE ALL TRADES BEFORE PLACING CONCRETE AND BE RESPONSIBLE FOR THE SEQUENCE OF WORK.

5. ALL MATERIALS AND THE INSTALLATION OF SAME SHALL MEET THE BEST PRACTICE AND APPLICABLE SPECIFICATION OF THE INDIVIDUAL TRADES. SHODDY WORK WILL BE REJECTED.
6. UPON COMPLETION OF THE WORK UNDER CONTRACT THE GENERAL CONTRACTOR SHALL REMOVE ALL SURPLUS MATERIAL, EQUIPMENT AND DEBRIS INCIDENTAL TO THE WORK, AND LEAVE THE PREMISES AND GENERAL SITE CLEAN AND ORDERLY.
7. PLANS AND BOARD ON SURVEY PREPARED BY A REGISTERED LAND SURVEYOR AND PURCHASED BY THE OWNER. ACCURACY OF SURVEY DATA IS THE SURVEYOR'S RESPONSIBILITY.
8. DURING EACH WORKDAY, THE CONTRACTOR SHALL MAINTAIN THE JOB SITE ORDERLY, CLEAN AND FREE OF ANY DEBRIS AND/OR BUILDING MATERIALS THAT MAY ENDANGER HUMAN OR ANIMAL SAFETY, THAT OF WORKER EMPLOYEES, AND ANYBODY ELSE LIVING OR VISITING THE SITE. AT THE END OF THE WORK DAY, THE PROJECT SITE SHALL BE SUPT CLEAN AND TOOLS AND BUILDING MATERIALS PUT AWAY IN DESIGNATED PLACES SO AS NOT TO CLUTTER THE SITE OR HINDER CIRCULATION THROUGHOUT THE SITE.
9. THE CONTRACTOR SHALL PROVIDE SITE AND BUILDING ACCESS TO THE ARCHITECT, CITY FIELD INSPECTORS AND ANY OTHER PERSON REQUIRED ON RELATED WITH INSPECTIONS OF THE PROJECT. A LADDER SHALL BE AVAILABLE AT ALL TIMES AT THE JOB SITE.

**FRONT ELEVATION**  
SCALE 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE 1/4" = 1'-0"

REVISIONS	BY

PARADISE DESIGN & CONSTRUCTION  
4121 DIJON DRIVE  
ORLANDO, FLORIDA, 32808  
PH: 407-736-7891  
FAX: 407-814-1337

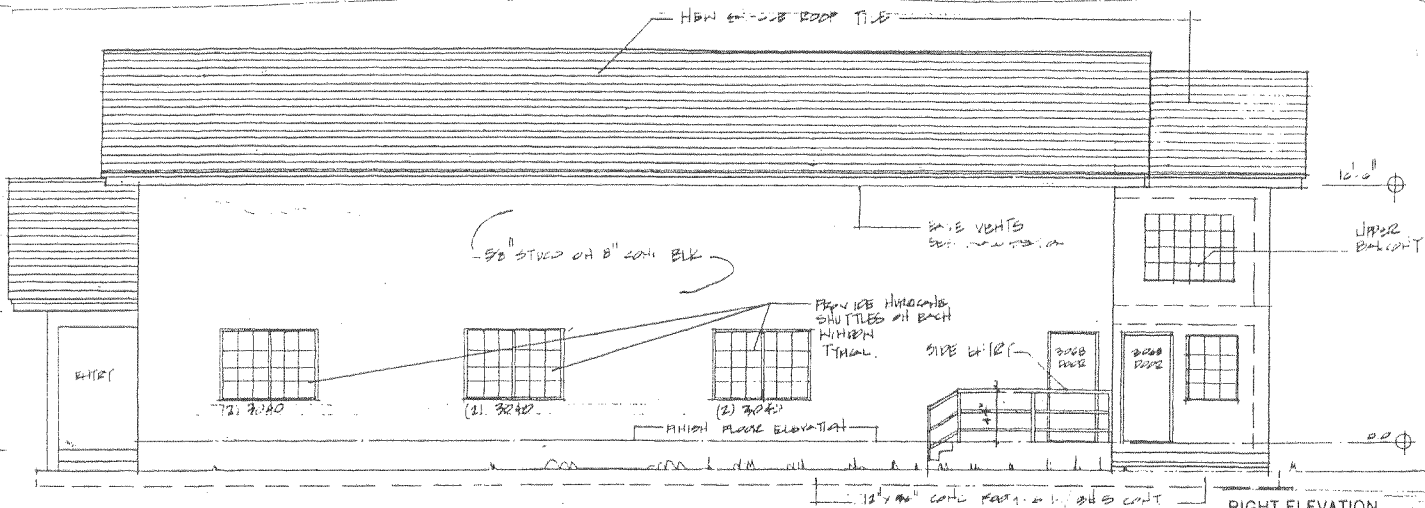
ROSE HILL BAPTIST CHURCH  
1161 MOTON AVENUE  
LAKE MONROE, FLORIDA 32747  
(PARCEL ID: 28-11-38-01-0000-0000)

DRAWN	VERB
CHECKED	HL
DATE	4/20/06
SCALE	AS SHOWN
JOB NO.	2006-17
SHEET	A-4



**HOLD DOWN ANALYSIS**

UNLESS NOTED OTHERWISE	UPLIFT
1 ALL HANDMADE TO BE SIMPSON UMG	1810#
2 LOW CONNECTIONS = METAL W/ 10100 x 1 1/2" W/ 3"	415#
3 WOOD CONNECTIONS TO BE AS FOLLOWS	860#
4 TO BE UPLIFT = 1/2"	
5 3/8" TO BE UPLIFT = 1/2"	
6 1/2" TO BE UPLIFT = 1/2"	
7 ALL UNLESS BY TRUSS COMPANY	
8 1/2" TO BE UPLIFT = 1/2"	2900#U
9 1/2" TO BE UPLIFT = 1/2"	2035#U
10 1/2" TO BE UPLIFT = 1/2"	2500#U
11 1/2" TO BE UPLIFT = 1/2"	3140#U
12 1/2" TO BE UPLIFT = 1/2"	2580#U
13 1/2" TO BE UPLIFT = 1/2"	3735#U
14 1/2" TO BE UPLIFT = 1/2"	3700#U
15 1/2" TO BE UPLIFT = 1/2"	1720#U
16 1/2" TO BE UPLIFT = 1/2"	2000#U
17 1/2" TO BE UPLIFT = 1/2"	4300#U
18 1/2" TO BE UPLIFT = 1/2"	5940#U
19 1/2" TO BE UPLIFT = 1/2"	3735#U
20 1/2" TO BE UPLIFT = 1/2"	3480#U
21 1/2" TO BE UPLIFT = 1/2"	2100#U

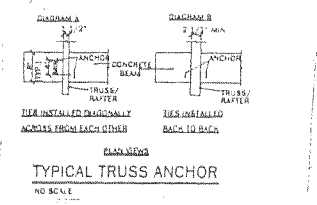


**FIELD REPAIR NOTES:**

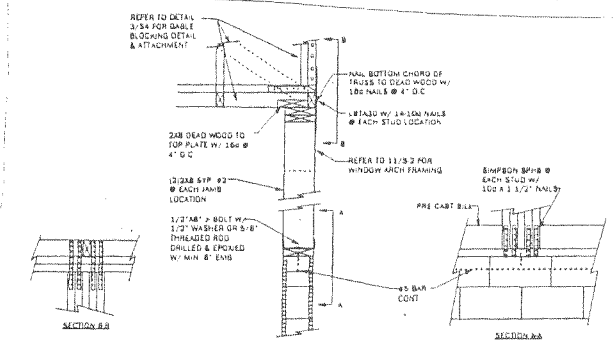
- MISSED Lintel STRIPS FOR MASONRY CONSTRUCTION (EXCEPT GIRDERS) MAY BE SUBSTITUTED WITH (1) SIMPSON MTS 17 TWIST STRIP WITH 3/8" x 3 1/4" TAP SCREWS TO BLOCK AND (2) LOW CONNECTION TO TRUSS TO 1000# UPLIFT LOADS
- MISSED ANCHOR BOLTS FOR BEARING WALLS MAY BE SUBSTITUTED WITH 1/2" DIA EPXY ANCHORS WITH 8" EMBEDMENT SIMILAR TO A MISSED BOLT
- MISSED DOWNRODS MAY BE SUBSTITUTED WITH AN REBAR DRILLED INTO FOOTING AND ATTACHED WITH EITHER ROCKING ANCHOR CEMENT UNITS (PROVIDE 300 PSI MIN. RIGIDITY OR SIMPSON "SET" EPXY FOLLOWING ALL MANUF. RECOMMENDATIONS. LAP ALL DOWNRODS 24" MIN. AT ALL SPICES

**STRUCTURAL NOTES:**

- ALL TRUSSES SHALL BE DESIGNED AND CERTIFIED BY REGISTERED ENGINEER IN THE STATE OF FLORIDA
- ALL TRUSSES, RAFTERS AND BEAMS TO BE CLIPPED DOWN LINE GOOD FRAMING PLAN
- LOAD BEARING HEADERS
  - 2 x 12 #2 STP NAILED (2) ROWS @ 16" OC 180 NAILS W/ 1/2" PLUMBED FLUTE BETWEEN
  - W/ 1/2" HICK STUDS WITH SET 2x4
  - STRAPS BEAM TO STUDS AND 1/2" DIA STUDS TO FTG
  - EACH END OF HEADER
- FRAME WALLS STUDS
  - 2 x 4 5/8" 16" OC (HINDER NON-BEARING)
  - BEARING WALLS AS INDICATED ON PLANS
  - 2 x 4 #2 STP 16" OC (10" TALL BRG) (PROVIDE END @ 3rd POINTS)
  - 2 x 4 #2 STP 12" OC (12" TALL BRG)
- FRAME WALL BASE PLATES, #2 STP #1
- TOP PLATES #2 SPRUCE NON BRG 2x4 @ 2 STP BEARING
- RAFTERS AND COLLAR TIES 1x4 @ 24" OC #2 STP



**TYPICAL TRUSS ANCHOR**  
NO SCALE



**WINDOW FRAMING SECTION**  
SCALE: 3/4" = 1'-0"

This construction documents shall be designed and constructed to comply with all the requirements set forth in the Florida Building Code, residential section: R301 design criteria and 2004, edition.

**UPLIFT CONNECTORS**

- UPLIFT CONNECTORS SUCH AS HURRICANE CLIPS, TRUSS ANCHORS AND ANCHOR BOLTS ARE ONLY REQUIRED ON MEMBER IN WALLS THAT ARE EXPOSED TO UPLIFT WINDS. OTHER LOAD BEARING WALLS ARE NOT ALWAYS EXPOSED TO UPLIFT FORCES. THE MEMBER WALLS WOULD NOT NEED TO HAVE CONNECTIONS APPLIED TO APPLYING THE EPXY ALONG THE EPXY TO CURLE TO MANUFACTURER'S SPECIFICATIONS. THEN FILL THE CELL IN THE NORMAL WAY DURING BOND POUR.

**FIELD REPAIR NOTES**

- MISSED 1/2" BOLT FOR WOOD BEARING WALLS MAY BE SUBSTITUTED W/ 1/2" DIA EPXY ANCHORS WITH 8" EMBEDMENT. SIMPSON "SET" EPXY ANCHORS FOLLOWING ALL MANUFACTURER'S RECOMMENDATIONS. SEE PLAN FOR EMBEDMENT DEPTH AT FLOOR SLABS
- FOR MISSED VERT DOWNELS DRILL A 3/4" DIAMETER HOLE 8" DEEP AT THE LOCATION OF THE OMITTED REBAR AND INSTALL A 32" LONG #4 BARR INTO THE OPEN FULLED HOLE USE A TWO PART EMBEDMENT EPXY (SIMPSON "SET" EPXY) MIXED PER MANUFACTURER'S INSTRUCTIONS. ASSURE THAT ALL DIRT AND DEBRIS FROM DRILLING ARE REMOVED FROM THE HOLE BY BRUSHING AND USING COMPRESSED AIR PRIOR TO APPLYING THE EPXY. ALLOW THE EPXY TO CURE TO MANUFACTURER'S SPECIFICATIONS. THEN FILL THE CELL IN THE NORMAL WAY DURING BOND POUR.
- FOR MORTAR JOINTS LESS THAN 1/4" PROVIDE (1) #5 REBAR IN CONC FULLED CELL EACH SIDE OF THE JOINT (BARR DOES NOT HAVE TO BE CONC. TO FULLED)
- MISSED Lintel STRIPS FOR MASONRY CONSTRUCTION MAY BE SUBSTITUTED WITH (1) SIMPSON MTS16B TWIST STRIP W/ (4) #4 x 2W TIEBTS TO MASONRY AND (2) 100 NAILS TO TRUSS FOR UPLIFT LESS THAN 1000# AND (3) 100 NAILS TO TRUSS FOR UPLIFT LESS THAN 1200# IN A ROW. IF GREATER TRUSS CONNECTIONS ARE MISSED CONTACT ENGINEER OR BEARING FOR SUBSTITUTION.

**PREFABRICATED WOOD TRUSSES**

- ALL PREFABRICATED WOOD TRUSSES SHALL BE SECURELY FASTENED TO THEIR SUPPORTING WALLS OR BEAMS WITH HURRICANE CLIPS OR ANCHORS
- PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR STRESS GRADE LUMBER AND ITS FASTENERS AS RECOMMENDED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION
- TRUSS MEMBERS AND CONNECTIONS SHALL BE PROPORTIONED WITH A MAXIMUM ALLOWABLE STRESS INCREASE FOR LOAD DURATION OF 2.0X TO WITHSTAND THE LIVE LOADS GIVEN IN THE NOTES AND TOTAL DEAD LOAD
- BRACING FOR PRE-ENGINEERED TRUSSES SHALL BE AS REQUIRED BY THE TRUSS MANUFACTURER UNLESS NOTED ON THE PLANS
- TRUSS ELEVATIONS AND SECTIONS ARE FOR GENERAL CONFIGURATION OF TRUSSES ONLY. WEB MEMBERS ARE NOT SHOWN, BUT SHALL BE DESIGNED BY THE TRUSS MANUFACTURER IN ACCORDANCE WITH THE FOLLOWING DESIGN LOADS
- DESIGN SPECIFICATIONS FOR LIGHT WEIGHT METAL PLATE CONNECTED WOOD TRUSSES PER THE TRUSS PLATE INSTITUTE (M LATEST EDITION)
- PRE-ENGINEERED WOOD TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH SPECIFIED LOADS AND COVERING CODES. SUBMITTALS SHALL INCLUDE TRUSS FRAMING PLANS AND DETAILS SHOWING MEMBER SIZES, BRACING, ANCHORAGE CONNECTIONS, TRUSS LOCATIONS, AND PERMANENT BRACING AND/OR BRACING AS REQUIRED FOR ERECTION AND FOR THE PERMANENT STRUCTURE. EACH SUBMITTAL SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED STRUCTURAL ENGINEER. SUBMIT 3 COPIES FOR REVIEW AND APPROVAL PRIOR TO FABRICATION
- THE TRUSS MANUFACTURER SHALL DETERMINE ALL SPANS WORKING POINTS, BEARING POINTS, AND SIMILAR CONDITIONS. TRUSS SHOP DRAWINGS SHALL SHOW ALL TRUSSES, ALL BRACING MEMBERS AND ALL PAIRS TO TRUSS HANDERS

REVISIONS	BY

PARADISE DESIGN & CONSTRUCTION  
4121 DHON DRIVE  
ORLANDO, FLORIDA, 32808  
PH: 407-739-7891  
FAX: 407-674-1337

ROSE HILL BAPTIST CHURCH  
1161 MOTON AVENUE  
LAKE MONROE, FLORIDA 32747  
(PARCEL: 10-15-36-01-0000-090)

Drawn: VEH  
Checked: H  
Date: 4/20/06  
Scale: AS SHOWN  
Job No: 2006-17  
Sheet: 11  
A-5

**MASONRY WALL CONST.**

1. HOLLOW LOAD BEARING UNITS SHALL BE NORMAL WEIGHT GRADE N TYPE 2, CONFORMING TO ASTM C90 WITH A MINIMUM NET COMPRESSIVE STRENGTH OF 1800 PSI (1m = 1500 PSI)
2. MORTAR SHALL BE TYPE "M", CONFORMING TO ASTM C270.
3. COARSE GROUT SHALL CONFORM TO ASTM C418 WITH A MAXIMUM AGGREGATE SIZE OF 3/8" AND A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI SLUMP #7 TO 21"
4. VERTICAL REINFORCEMENT SHALL BE AS NOTED ON THE DRAWINGS WITH THE CELLS FILLED WITH COARSE GROUT.
5. VERTICAL REINFORCEMENT SHALL BE HELD IN POSITION AT THE TOP AND BOTTOM AND AT A MAXIMUM SPACING OF 362 BAR DIAMETERS. REINFORCEMENT SHALL BE PLACED IN THE CENTER OF THE MASONRY CELL UNLESS OTHERWISE NOTED.
6. REINFORCING STEEL SHALL BE LAPPED A MINIMUM OF 40 BAR DIAMETERS UNLESS OTHERWISE NOTED ON THE DRAWINGS.
7. METAL LATH STRIP OR DAVITY CAPS MAY BE USED TO PREVENT THE FLOW GROUT INTO CELLS BELOW. THE USE OF FELT PAPER AS A STOP IS PROHIBITED.

**FOUNDATION NOTES**

1. MINIMUM ALLOWABLE SOIL PRESSURE 2000 PSF
- 1) CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS: 2500 PSI (NORMAL WEIGHT)
- 2) REINFORCING BARS: ASTM A618 (GRADE 40)
- 3) WELDED WIRE FABRIC (W.W.F.): ASTM A653
- 4) DETAILS REINFORCEMENT IN ACCORDANCE WITH AC 308
- 4.5 CONCRETE COVERAGE OF REINFORCEMENT: FOOTINGS 3" BOTTOM AND SIDES
- 4.6 EARTH SUPPORTED SLABS (INCLUDING EXTERIOR WALK AND DRIVE SLABS 4" THICK MIN. REINFORCED WITH IDE. W/ 4 X 3 @ 4" MIN AT MID-DEPTH OF SLAB. FIBERESHIM MAY BE USED IN LIEU OF W.W.F. AT CONTRACTORS OPTION)
- 4.7 CONCRETING OPERATIONS SHALL COMPLY WITH AC 308 STANDARDS
- 4.8 LAP SPICES SHALL BE AS FOLLOWS: #5 BAR 25", #4 BAR 20", #3 BAR 15"
- 4.9 PROVIDE 2" x 4" x 2-4" CORNER BARS ONE FOR EACH HORIZONTAL REINFORCING BAR AT ALL CORNERS AND INTERSECTIONS. TYP. U N O

**CAST IN PLACE CONCRETE**

1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI & SLUMP OF 8" PLUS OR MINUS 1" AND HAVE 210 5% AIR ENTRAINMENT, AND A MAXIMUM WATER/CEMENT RATIO OF 0.43
2. ALL REINFORCING STEEL SHALL BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A618 GRADE 40
3. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A653. W.W.F. SHALL BE LAPPED AT LEAST 8" AND CONTAIN AT LEAST ONE CROSS WIRE WITHIN THE 8"
4. HOOKS SHALL BE PROVIDED AT DISCONTINUOUS ENDS OF ALL TOP BARS OF BEAMS
5. HORIZONTAL FOOTING BARS SHALL BE BENT 1" ON AND OUT CORNERS OR CORNER BARS WITH A 3" LAP PROVIDED
6. MINIMUM LAP SPICES ON ALL REINFORCING BAR SPICES SHALL BE 40 BAR DIAMETERS TYP.
7. CONCRETE COVER MIN. 3" WHEN EXPOSED TO EARTH OR 1 1/2" TO FORM

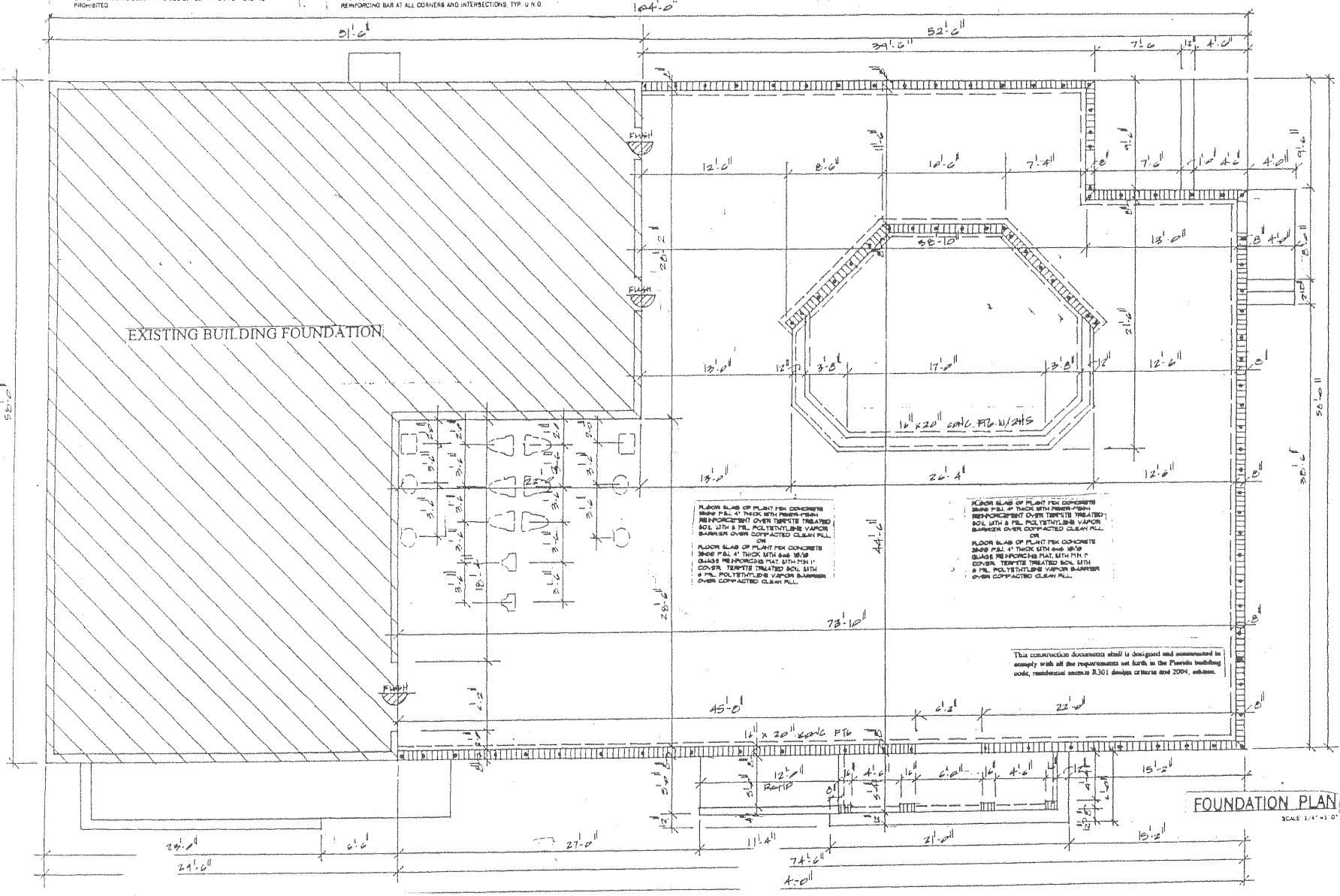
**REINFORCING STEEL**

ALL REINFORCING STEEL SHALL BE NEW DEFORMED BARS FREE FROM RUST, SCALE & OIL & SHALL MEET ASTM A618 REINFORCING FOR FOOTING SHALL BE SUPPORTED ON PRE-CAST CONCRETE PADS. TOP REINFORCING SHALL BE POSITIVELY SUPPORTED BY TEMPORARY STRINGERS DOWELS FOR COLUMNS & FILLED CELLS SHALL BE SECURED IN PLACE BY USING ADDITIONAL CROSS REINFORCING TIED TO FOOTING REINFORCING SPICES IN REINFORCING WHERE PERMITTED SHALL BE THE FOLLOWING MINIMUM, UNLESS OTHERWISE INDICATED ON THE DRAWINGS:  
 FLAG WALLS, COLUMNS, BEAM SLABS 36 DIA. OR 2" MIN  
 FLOOR SLABS 40 DIA. OR 2" MIN  
 20 DIA. OR 1" MIN  
 8" LAP  
 TEMPERATURE REINFORCING WELDED WIRE MESH

**TERMITES PROTECTION AGAINST TERMITES**

TERMITES PROTECTION SHALL BE PROVIDED BY REGISTERED TERMICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD OR OTHER APPROVED METHODS OF TERMITES PROTECTION LABELED FOR USE AS PREVENTIVE TREATMENT TO NEW CONSTRUCTION (SEE SECTION 202, REGISTERED TERMICIDES) UPON COMPLETION OF THE APPLICATION OF THE TERMITES PROTECTIVE TREATMENT. A CERTIFICATE OF COMPLIANCE SHALL BE OBTAINED FROM THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES"

REVISIONS	BY



**FOUNDATION PLAN**  
SCALE 1/4" = 1'-0"

PARADISE DESIGN & CONSTRUCTION  
 4121 DIJON DRIVE  
 ORLANDO, FLORIDA, 32808  
 PH: 407-759-7891  
 FAX: 407-814-1337

ROSE HILL BAPTIST CHURCH  
 1161 MOTON AVENUE  
 LAKE MONROE, FLORIDA 32747  
 (PROJECT ID: 20-15-16-01-0000-0000)

DRAWN: ✓  
 CHECKED: ✓  
 DATE: 4/20/06  
 SCALE: AS SHOWN  
 JOB NO: 2006-17  
 SHEET: A-1

**DRAWINGS GENERAL NOTES**

1. REFERENCE TO ANY DETAIL ON DRAWING B FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL ON DRAWING. ANY INFORMATION ON THESE DRAWINGS APPEARING TO BE IN CONFLICT OR AMBIGUOUS SHALL BE REFERENCED TO THE ARCHITECT FOR INTERPRETATION AND CLARIFICATION.
2. THE DRAWINGS AND SPECIFICATIONS SHALL COMPLY WITH THE APPLICABLE CODES OF THE GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT. ANY QUESTION OR AMBIGUOUS SPECIFICATION SHALL BE BROUGHT PROMPTLY TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE EXECUTION OF ANY OF THE WORK.
3. DO NOT SCALE DRAWINGS. CONTACT THE ARCHITECT RIGHT AWAY FOR CLARIFICATION IN CASE OF A DIMENSION QUESTION OR DISCREPANCY.
4. THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS SHALL VISIT THE SITE PRIOR TO THE SUBMISSION OF BIDS AND THOROUGHLY FAMILIARIZE THEMSELVES WITH THE WORK CONDITIONS AND THE EXACT NATURE AND EXTENT OF THE WORK WITH THE INTENT OF DELIVERING A COMPLETE STRIKE. THE GENERAL CONTRACTOR SHALL COORDINATE ALL TRADES BEFORE POURING CONCRETE AND BE RESPONSIBLE FOR THE SEQUENCE OF WORK.

5. ALL MATERIALS AND THE INSTALLATION OF SAME SHALL MEET THE BEST PRACTICE AND APPLICABLE SPECIFICATION OF THE INDIVIDUAL TRADES. SMOOTH WORK SHALL BE REQUESTED.

6. UPON COMPLETION OF THE WORK UNDER CONTRACT THE GENERAL CONTRACTOR SHALL REMOVE ALL SURPLUS MATERIAL, EQUIPMENT AND DEBRIS INCIDENTAL TO THE WORK, AND LEAVE THE PREMISES AND GENERAL SITE CLEAN AND ORDERLY.

7. PLANS ARE BASED ON SURVEY PREPARED BY A REGISTERED LAND SURVEYOR AND FUNDED BY THE OWNER. ACCURACY OF SURVEY DATA IS THE SURVEYOR'S RESPONSIBILITY.

8. DURING EACH WORKDAY THE CONTRACTOR SHALL MAINTAIN THE JOB SITE ORDERLY, CLEAN AND FREE OF ANY DEBRIS AND/OR BUILDING MATERIALS THAT MAY ENDANGER WORKER OR SAFETY THAT OF OTHER EMPLOYEES AND ANYBODY ELSE VISITING ON OR VISITING THE SITE. AT THE END OF THE WORK DAY, THE PROJECT SITE SHALL BE BUILT CLEAN AND TOOLS AND BUILDING MATERIALS PUT AWAY IN DESIGNATED PLACES SO AS NOT TO CLUTTER THE SITE OR IMPEDS CIRCULATION THROUGHOUT THE SITE.

9. THE CONTRACTOR SHALL PROVIDE SITE AND BUILDING ACCESS TO THE ARCHITECT, CITY FIELD INSPECTORS, AND ANY OTHER PERSON REQUIRED OR ENTITLED WITH INSPECTIONS OF THE PROJECT. A LADDER SHALL BE AVAILABLE AT ALL TIMES AT THE JOB SITE.

CONSTRUCTION LEGEND
(1) EXISTING WALL
(2) EXISTING WINDOW
(3) EXISTING DOOR
(4) EXISTING FLOOR
(5) EXISTING ROOF
(6) EXISTING CEILING
(7) EXISTING STAIR
(8) EXISTING ELEVATOR
(9) EXISTING MECHANICAL
(10) EXISTING ELECTRICAL
(11) EXISTING PLUMBING
(12) EXISTING HVAC
(13) EXISTING OTHER

**WOOD CONSTRUCTION**

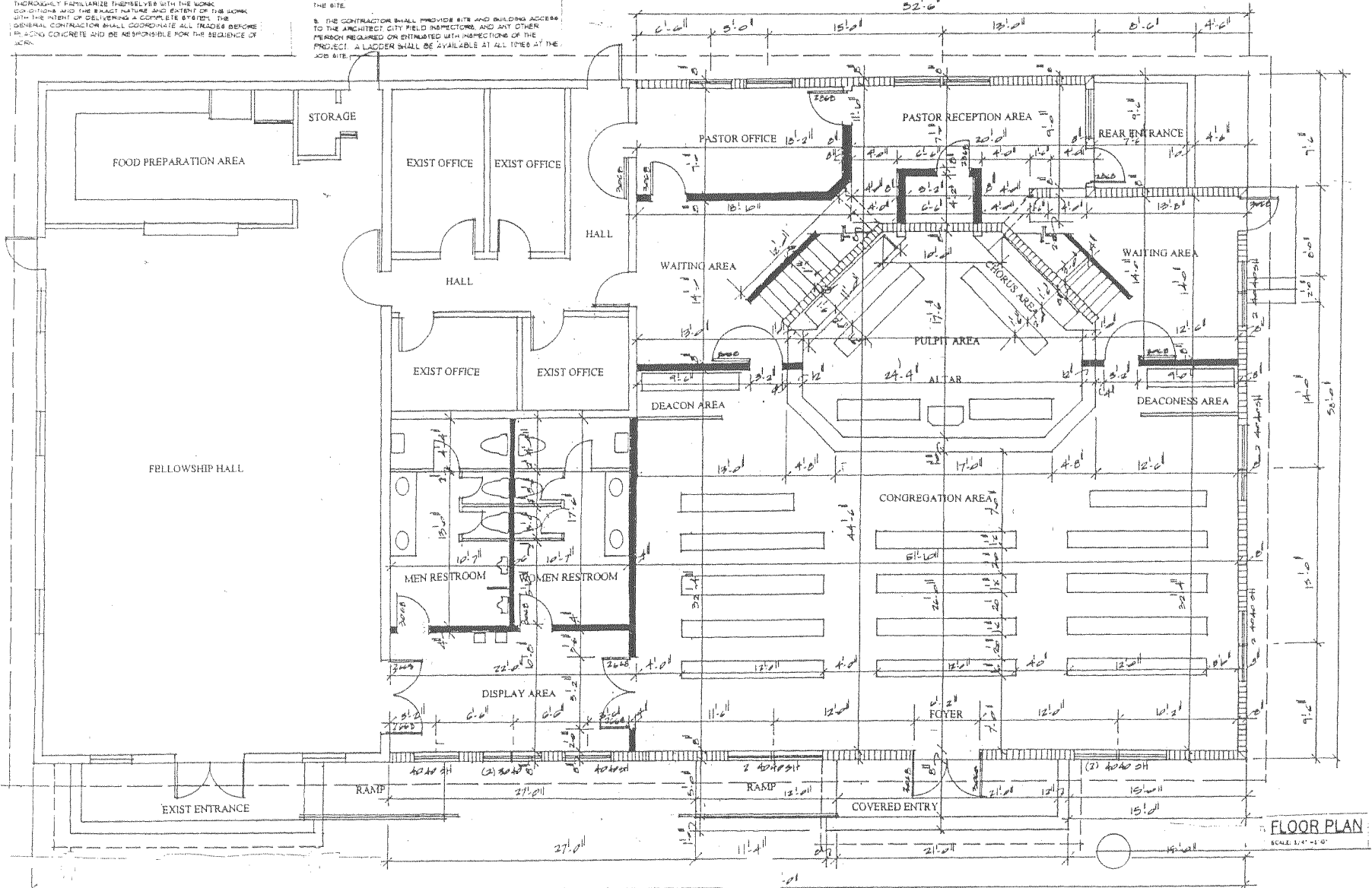
1. WOOD CONSTRUCTION SHALL CONFORM TO THE NDS NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, 2005 EDITION.
2. ALL EXTERIOR WOOD STUD WALLS, BEARING WALLS, SHEAR WALLS AND WISC STRUCTURAL WOOD FRAMING MEMBERS, I.E. BRACING OR GABLE END BRACING SHALL BE EITHER SOUTHERN PINE, OR S.P.F. NUMBER 2 GRADE OR BETTER SHALL BE USED REGARDLESS OF SPECIES.
3. ANY WOOD FRAMING WITHIN BEARING WALL STUDS THAT HAVE HOLES IN THE CENTER OF THE STUD UP TO 1" DIA. SHALL HAVE STUD PROTECTION SHEATHED FOR ALL HOLES OVER 1" DIA. FOR PLUMBING UNITS, ETC. SHALL BE REINFORCED WITH SIMON HEBBY STUD SHOES TYP. U.S.D.
4. FASTENERS FOR PRESSURE PRESERVATIVE AND FIRE RETARDANT TREATED WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SLOTTED BRONZE OR COPPER.

**NOTE:**

1. METHOD OF TREATMENT SHALL BE APPROVED BY THE GOVERNING JURISDICTION. LIQUID BORATE OR BORACON PRODUCT METHODS MUST BE OBTAINED AT PERMIT STAGE AND PRODUCT APPROVAL DATA MUST BE ON FILE WITH THE BUILDING DEPARTMENT.
2. PRESSURE TREATED LUMBER THAT HAS BEEN CUT OR DRILLED THAT EXPOSES UNTREATED PORTIONS OF WOOD ARE REQUIRED TO BE FIELD TREATED TO PREVENT INSECT INFESTATION.

OPTIONAL BORATE APPLIED TO ALL FRAME MEMBERS WITHIN 24" x 4"

This construction documents shall be designed and constructed to comply with all the requirements set forth in the Florida building code, residential code R301 design criteria and 2004, edition.



**FLOOR PLAN**  
SCALE 1/4" = 1'-0"

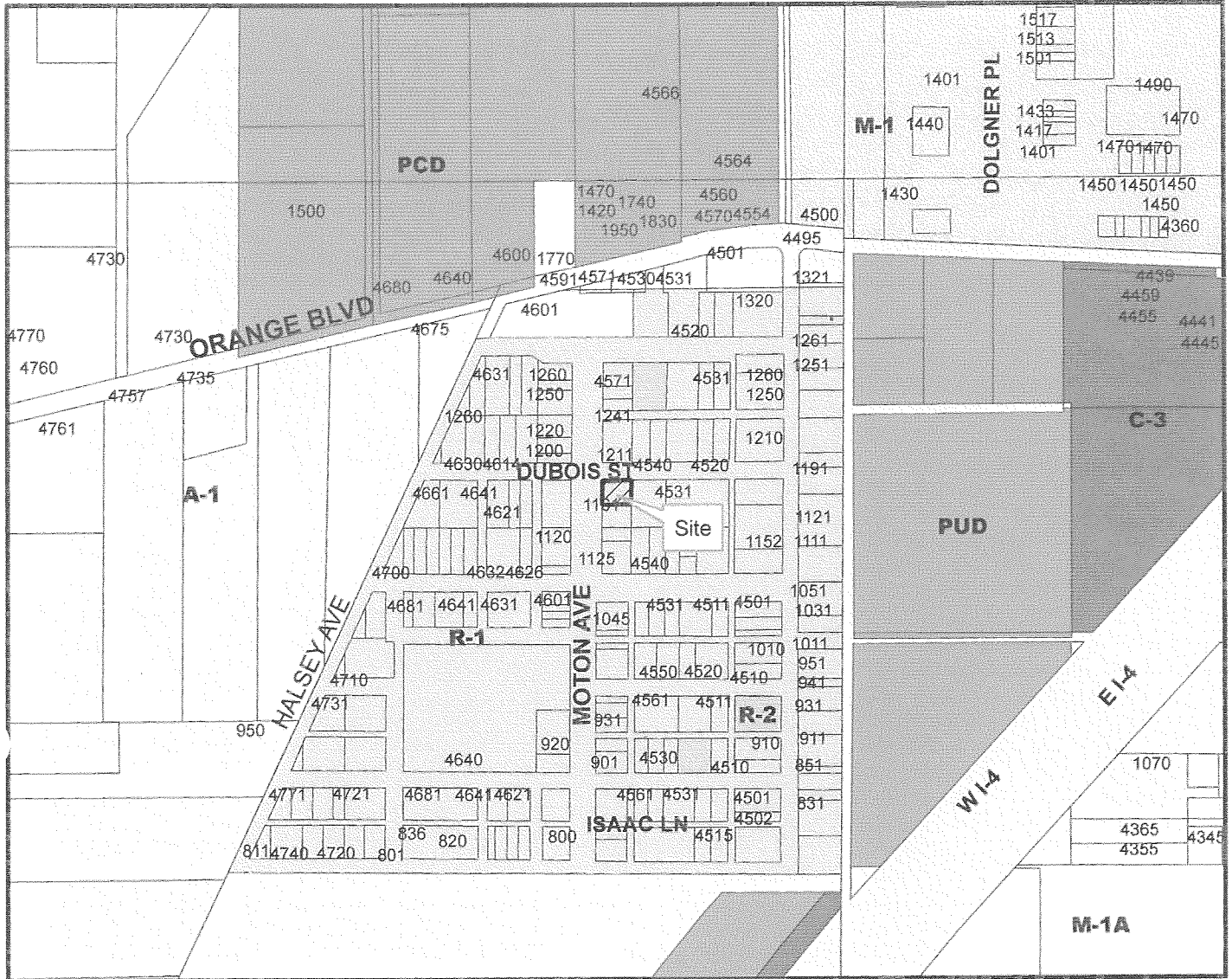
REVISIONS	BY

PARADISE DESIGN & CONSTRUCTION  
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ROSE HILL BAPTIST CHURCH  
1161 MOTON AVENUE  
LAKE MONROE, FLORIDA 32747  
(PARCEL ID: 28-75-35-56-0000-0000)











Drawn: VEH  
Checked: H  
Date: 4/20/06  
Project: A6 012441  
Job No: 2006-17  
Sheet: A-2

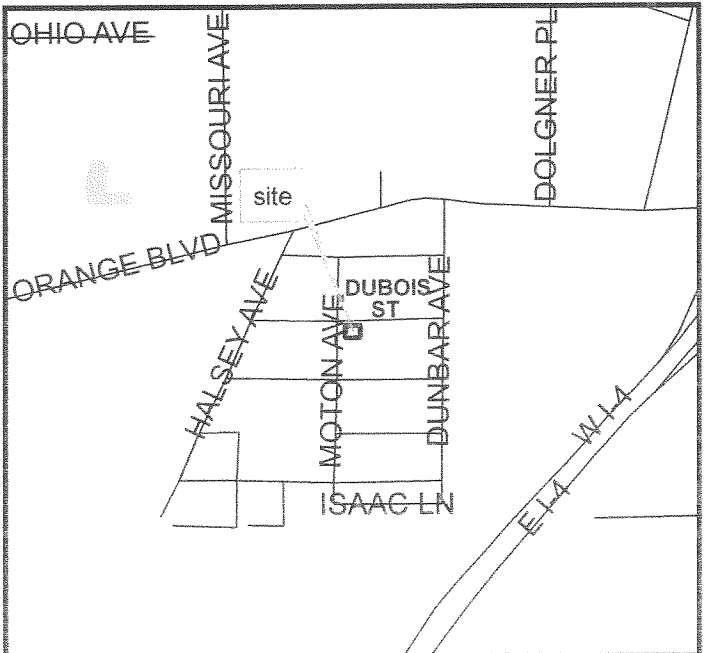
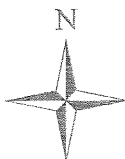
Vernon Thompson  
 1161 Moton Ave  
 Sanford, FL 32771



Seminole County Board of Adjustment  
 August 28, 2006  
 Case: BS2006-003  
 Parcel No: 20-19-30-501-0000-0990

**Zoning**

	BS2006-003		C-2		PUD
	A-1		C-3		PCD
	R-1		M-1A		
	R-2		M-1		



<p><b>PARCEL DETAIL</b></p> <p>DAVID JOHNSON, CFA, ASA</p> <p><b>PROPERTY APPRAISER</b></p> <p>SEMINOLE COUNTY FL</p> <p>1101 E. FIRST ST SANFORD, FL 32771-1468 407-665-7508</p>																																					
<p style="text-align: center;"><b>GENERAL</b></p> <p>Parcel Id: 20-19-30-501-0000-0990</p> <p>Owner: CHURCH ROSE HILL BAPTIST</p> <p>Mailing Address: PO BOX 470164</p> <p>City,State,ZipCode: LAKE MONROE FL 32747</p> <p>Property Address: 1161 MOTON AVE</p> <p>Facility Name:</p> <p>Tax District: 01-COUNTY-TX DIST 1</p> <p>Exemptions: 36-CHURCH/RELIGIOUS</p> <p>Dor: 71-CHURCHES</p>	<p style="text-align: center;"><b>2006 WORKING VALUE SUMMARY</b></p> <p>Value Method: Market</p> <p>Number of Buildings: 2</p> <p>Depreciated Bldg Value: \$64,869</p> <p>Depreciated EXFT Value: \$0</p> <p>Land Value (Market): \$8,550</p> <p>Land Value Ag: \$0</p> <p>Just/Market Value: \$73,419</p> <p>Assessed Value (SOH): \$73,419</p> <p>Exempt Value: \$73,419</p> <p>Taxable Value: \$0</p> <p>Tax Estimator</p>																																				
<p style="text-align: center;"><b>SALES</b></p> <p>Deed Date Book Page Amount Vac/Imp Qualified</p> <p>Find Sales within this DOR Code</p>	<p style="text-align: center;"><b>2005 VALUE SUMMARY</b></p> <p>2005 Tax Bill Amount: \$0</p> <p>2005 Taxable Value: \$0</p> <p>DOES NOT INCLUDE NON-AD VALOREM ASSESSMENTS</p>																																				
<p style="text-align: center;"><b>LAND</b></p> <table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>Land Assess Method</th> <th>Frontage</th> <th>Depth</th> <th>Land Units</th> <th>Unit Price</th> <th>Land Value</th> </tr> </thead> <tbody> <tr> <td>FRONT FOOT &amp; DEPTH</td> <td>75</td> <td>88</td> <td>.000</td> <td>150.00</td> <td>\$8,550</td> </tr> </tbody> </table>	Land Assess Method	Frontage	Depth	Land Units	Unit Price	Land Value	FRONT FOOT & DEPTH	75	88	.000	150.00	\$8,550	<p style="text-align: center;"><b>LEGAL DESCRIPTION</b></p> <p>PLATS: <input type="text" value="Pick..."/></p> <p>LEG LOTS 99 100 + 101 &amp; 1/2 VACD ALLEY ADJ ON E BOOKERTOWN PB 4 PG 98</p>																								
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**PARCEL DETAIL**

DAVID JOHNSON, CFA, ASA

**PROPERTY APPRAISER**

SEMINOLE COUNTY FL.

1101 E. FIRST ST  
SANFORD, FL 32771-1468  
407-665-7508

**GENERAL**

Parcel Id: 20-19-30-501-0000-0940  
 Owner: CHURCH ROSE HILL MISSIONARY  
 Own/Addr: BAPTIST  
 Mailing Address: PO BOX 470164  
 City,State,ZipCode: LAKE MONROE FL 32747  
 Property Address: 1140 MOTON AVE  
 Subdivision Name: BOOKERTOWN  
 Tax District: 01-COUNTY-TX DIST 1  
 Exemptions:  
 Dor: 00-VACANT RESIDENTIAL

**2006 WORKING VALUE SUMMARY**

Value Method: Market  
 Number of Buildings: 0  
 Depreciated Bldg Value: \$0  
 Depreciated EXFT Value: \$0  
 Land Value (Market): \$14,364  
 Land Value Ag: \$0  
 Just/Market Value: \$14,364  
 Assessed Value (SOH): \$14,364  
 Exempt Value: \$0  
 Taxable Value: \$14,364  
 Tax Estimator

**SALES**

Deed	Date	Book	Page	Amount	Vac/Imp	Qualified
QUIT CLAIM DEED	06/2003	04859	0052	\$100	Vacant	No
QUIT CLAIM DEED	01/1974	01007	1029	\$100	Improved	No

Find Comparable Sales within this Subdivision

**2005 VALUE SUMMARY**

2005 Tax Bill Amount: \$102  
 2005 Taxable Value: \$6,224  
 DOES NOT INCLUDE NON-AD VALOREM ASSESSMENTS

**LAND**

Land Assess Method	Frontage	Depth	Land Units	Unit Price	Land Value
FRONT FOOT & DEPTH	133	80	.000	150.00	\$14,364

**LEGAL DESCRIPTION**

PLATS:

LEG LOTS 94 95 96 97 + 98 & 1/2 OF VACD ALLEY ADJ ON S LOT 98 BOOKERTOWN  
 PB 4 PG 98

**NOTE:** Assessed values shown are NOT certified values and therefore are subject to change before being finalized for ad valorem tax purposes.  
 \*\*\* If you recently purchased a homesteaded property your next year's property tax will be based on Just/Market value.

June 2, 2006

To: Seminole county planning and zoning  
1101 East 1<sup>st</sup> street  
Sanford, Florida 32771

From: Rose Hill Baptist church  
1161 Moton Avenue  
Lake Monroe, Florida, 32747

Re: **special exception proposal**  
Church extension and special exception permit for a proposed parking lot directly across the street from the existing property.

Gentlemen,

By this letter we are requesting permission to construction and 3,124 square foot building addition to the existing church building location at 1161 Moton Avenue in lake Monroe, Florida. An addition to this building addition we were planning to convert the church owned property directly across the street to a new parking lot. This parking lot will accommodate about 36 cars. Parking on this proposed parking lot will be on grass with concrete wheel stop.

## SEMINOLE COUNTY APPROVAL DEVELOPMENT ORDER

On August 28, 2006 Seminole County issued this Development Order relating to and touching and concerning the following described property:

LEG LOTS 99 100 + 101 & ½ VACD ALLEY ADJ ON E BOOKERTOWN PB 4 PG 98  
LEG LOTS 94 95 96 97 + 98 & 1/2 OF VACD ALLEY ADJ ON S LOT 98  
BOOKERTOWN PB 4 PG 98

(The aforescribed legal description has been provided to Seminole County by the owner of the aforescribed property.)

### FINDINGS OF FACT

**Property Owner:** Rose Hill Baptist Church  
P.O. Box 470164  
Lake Monroe, FL 32747

**Project Name:** Rose Hill Baptist Church Expansion & Parking Lot

**Requested Development Approval:**

Request for a special exception for a proposed off street parking facility and an addition to an existing church in the R-1 (Single-Family Dwelling District).

The Development Approval sought is consistent with the Seminole County Comprehensive Plan and will be developed consistent with and in compliance to applicable land development regulations and all other applicable regulations and ordinances.

The owner of the property has expressly agreed to be bound by and subject to the development conditions and commitments stated below and has covenanted and agreed to have such conditions and commitments run with, follow and perpetually burden the aforescribed property.

Prepared by: Ian Sikonia, Planner  
1101 East First Street  
Sanford, Florida 32771



### Order

#### **NOW, THEREFORE, IT IS ORDERED AND AGREED THAT:**

- (1) The aforementioned application for development approval is **GRANTED**.
- (2) All development shall fully comply with all of the codes and ordinances in effect in Seminole County at the time of issuance of permits including all impact fee ordinances.
- (3) The conditions upon this development approval and the commitments made as to this development approval, all of which have been accepted by and agreed to by the owner of the property are as follows:
  1. Parking of vehicles within the road right-of-way shall be prohibited.
  2. Final Site plan shall meet all active/passive buffer requirements adjacent to parking lots set forth in the Land Development Code.
  3. If the parking facility shall be lighted it will be residential in design and it will follow the standards set forth in the Land Development Code.
- (4) This Development Order touches and concerns the aforescribed property and the conditions, commitments and provisions of this Development Order shall perpetually burden, run with and follow the said property and be a servitude upon and binding upon said property unless released in whole or part by action of Seminole County by virtue of a document of equal dignity herewith. The owner of the said property has expressly covenanted and agreed to this provision and all other terms and provisions of this Development Order.
- (5) The terms and provisions of this Order are not severable and in the event any portion of this Order shall be found to be invalid or illegal then the entire order shall be null and void.

Done and Ordered on the date first written above.

By: \_\_\_\_\_  
Tony Walter  
Planning Manager

STATE OF FLORIDA     )  
COUNTY OF SEMINOLE )

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared \_\_\_\_\_ who is personally known to me or who has produced \_\_\_\_\_ as identification and who executed the foregoing instrument.

WITNESS my hand and official seal in the County and State last aforesaid this \_\_\_\_\_ day of \_\_\_\_\_, 2006.

\_\_\_\_\_  
Notary Public, in and for the County and State  
Aforementioned

My Commission Expires: