

**SEMINOLE COUNTY GOVERNMENT  
BOARD OF ADJUSTMENT  
AGENDA MEMORANDUM**

**SUBJECT:** Request for special exception for the permanent placement of a replacement mobile home in the A-5 (Rural Zoning District) at 1121 Caruthers Woods Road; (Robby Caruthers, applicant).

**DEPARTMENT:** Planning & Development **DIVISION:** Planning

**AUTHORIZED BY:** Kathy Fall **CONTACT:** Kathy Fall **EXT.** 7444

**Agenda Date** 08-28-06 **Regular**  **Consent**  **Public Hearing – 6:00**

**MOTION/RECOMMENDATION:**

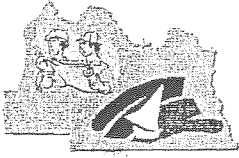
1. **APPROVE** the request for special exception for the permanent placement of a replacement mobile home in the A-5 (Rural Zoning District) at 1121 Caruthers Woods Road; (Robby Caruthers, applicant); or
2. **DENY** the request for special exception for the permanent placement of a replacement mobile home in the A-5 (Rural Zoning District) at 1121 Caruthers Woods Road; (Robby Caruthers, applicant); or
3. **CONTINUE** the request to a time and date certain.

<b>GENERAL INFORMATION</b>	Applicant:	Robby Caruthers														
	Location:	1121 Caruthers Woods Road														
	Zoning:	A-5 (Rural Zoning District)														
<b>BACKGROUND / REQUEST</b>	<ul style="list-style-type: none"> <li>• The applicant is requesting the permanent placement of a 2006 double wide mobile, where mobile homes are allowed only by special exception.</li> <li>• A special exception was granted in 1983 for the 5 year placement of a mobile home. Currently there is an existing 1982 single wide mobile home on the property.</li> </ul>															
<b>ZONING &amp; FLU</b>	<table border="1"> <thead> <tr> <th data-bbox="553 1707 764 1780"><b>Direction</b></th> <th data-bbox="764 1707 927 1780"><b>Existing Zoning</b></th> <th data-bbox="927 1707 1166 1780"><b>Existing FLU</b></th> <th data-bbox="1166 1707 1438 1780"><b>Use of Property</b></th> </tr> </thead> <tbody> <tr> <td data-bbox="553 1780 764 1854">Site</td> <td data-bbox="764 1780 927 1854">A-5</td> <td data-bbox="927 1780 1166 1854">Rural Zoning</td> <td data-bbox="1166 1780 1438 1854">Mobile Home (1982)</td> </tr> <tr> <td data-bbox="553 1854 764 1894">North</td> <td data-bbox="764 1854 927 1894">A-5</td> <td data-bbox="927 1854 1166 1894">Rural Zoning</td> <td data-bbox="1166 1854 1438 1894">Mobile Home</td> </tr> </tbody> </table>				<b>Direction</b>	<b>Existing Zoning</b>	<b>Existing FLU</b>	<b>Use of Property</b>	Site	A-5	Rural Zoning	Mobile Home (1982)	North	A-5	Rural Zoning	Mobile Home
<b>Direction</b>	<b>Existing Zoning</b>	<b>Existing FLU</b>	<b>Use of Property</b>													
Site	A-5	Rural Zoning	Mobile Home (1982)													
North	A-5	Rural Zoning	Mobile Home													

	South	A-5	Rural zoning	Mobile Home
	East	A-5	Rural zoning	Vacant
	West	A-5	Rural zoning	Vacant
<p><b>STANDARDS FOR GRANTING A SPECIAL EXCEPTION; LDC SECTION 30.43(b)(2)</b></p>	<p>The Board of Adjustment (BOA) shall have the power to hear and decide special exceptions it is specifically authorized to pass under the terms of the land development code upon determination the use requested:</p> <p><b><u>Is not detrimental to the character of the area or neighborhood or inconsistent with trends of development in the area:</u></b></p> <p>Available records indicate that the surrounding parcels in the immediate vicinity have mobile homes, vacant land or “conventional” single family homes. The mobile homes granted in this area are for temporary placement or permanent placement of new double wide mobile homes.</p> <p><b><u>Does not have an undue adverse effect on existing traffic patterns, movements and volumes:</u></b></p> <p>Since the proposed use is a single-family unit that would not be highly intensive in nature, staff does not believe it would adversely impact adjoining transportation facilities.</p> <p><b><u>Is consistent with the Seminole County Vision 2020 comprehensive plan:</u></b></p> <p>The request would be consistent with the trend of low-density single-family land use, established in this area.</p> <p><b><u>Meets any additional requirements specified in the code section authorizing the use in a particular zoning district or classification:</u></b></p> <p>The subject property is A-5 acre parcel does meet the minimum requirements of the zoning classification.</p> <p><b><u>Will not adversely affect the public interest:</u></b></p> <p>The surrounding area has historically consisted of mobile homes, conventional home and vacant land. The requested mobile home will replace an existing 1982 single wide mobile home with a 2006 double wide mobile home.</p>			

<p><b>STANDARDS FOR GRANTING A SPECIAL EXCEPTION IN THE A-5 (AGRICULTURE DISTRICT); LDC SECTION 30.104(a)</b></p>	<p>The BOA may permit any use allowed by special exception in the A-5 (Rural Zoning Classification) upon making findings of fact, in addition to those required by section 30.43(b)(2) of the land development code, that the use:</p> <p><b><u>Is consistent with the general zoning plan of the A-5 (Agriculture classification district):</u></b></p> <p>The proposed use is allowed only by special exception in the A-5 district. The proposed mobile home would be required to comply with the siting standards enumerated in section 30.1401 of the land development code, which are intended to minimize potential incompatibility with nearby conventional single-family homes as follows:</p> <ul style="list-style-type: none"> <li>○ The mobile home shall have safe and convenient vehicular access.</li> <li>○ The mobile home shall be required to conform to applicable codes, which include standards for installation, anchoring, utility accessibility, and skirting.</li> </ul> <p><b><u>Is not highly intensive in nature:</u></b></p> <p>The request is not highly intensive in nature, as the proposed mobile home would only be permitted for single-family occupancy.</p> <p><b><u>Has access to an adequate level of urban services such as sewer, water, police, schools and related services:</u></b></p> <p>The subject property is served by on-site septic and well systems. other county services, including schools and emergency services, are also available to the site.</p>
<p><b>MOBILE HOME AS A SPECIAL EXCEPTION IN THE A-5; LDC SECTION 30.103</b></p>	<p>A mobile home may be permitted as a special exception on a lot or parcel of record in the A-5 (Rural Zoning classification), subject to the previously referenced mobile home siting standards in section 30.1401 of the land development code.</p>
<p><b>STAFF RECOMMENDATION:</b></p>	<p>Based on the stated findings, staff recommends the permanent placement of the proposed mobile home based upon the following conditions that are consistent with the recent mobile home approvals in the immediate area:</p> <ul style="list-style-type: none"> <li>• Only one (1) single-family mobile home unit shall occupy the site, as shown on the proposed site plan;</li> </ul>

	<ul style="list-style-type: none"><li>• The mobile home shall be a 2006 or newer double wide mobile home;</li><li>• Shingled roof, vinyl siding, skirting and other “conventional home” design conditional deemed appropriate by the Board of Adjustment;</li><li>• The existing mobile home shall otherwise conform to applicable building codes, including standards for anchoring, utility accessibility and skirting.</li></ul>
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SEMINOLE COUNTY PLANNING & DEVELOPMENT DEPARTMENT  
 PLANNING DIVISION  
 1101 EAST FIRST STREET  
 SANFORD, FL 32771  
 (407) 665-7444 PHONE (407) 665-7385 FAX

**COPY** APPLICATION NO. BM 2006-020

**APPLICATION TO THE SEMINOLE COUNTY BOARD OF ADJUSTMENT**

Applications to the Seminole County Board of Adjustment shall include all applicable items listed in the Board of Adjustment Process Checklist. No application will be scheduled for Board of Adjustment consideration until a complete application (including all information requested below) has been received by the Planning & Development Department, Planning Division. Applications for SPECIAL EXCEPTION shall only be received for processing following pre-application conference.

RECEIVED JUL 06 2006

**APPLICATION TYPE:**

- VARIANCE**
- SPECIAL EXCEPTION** Request for A special Exception for the permanent placement of a replacement 2006 mobile Home
- LIMITED USE**
- SF DWELLING UNDER CONSTRUCTION
- NIGHT WATCHMAN
- YEAR OF MOBILE HOME / RV (EXISTING 1982) (PROPOSED 2006)
- SIZE OF MOBILE HOME / RV 2280 SF
- PLAN TO BUILD  YES  NO IF SO, WHEN
- APPEAL FROM DECISION OF THE PLANNING MANAGER**

RECEIVED JUL 06 2006

PROPERTY OWNER		AUTHORIZED AGENT *
NAME	<u>Robby B. Caruthers</u>	
ADDRESS	<u>1121 Caruthers Woods Rd Geneva</u>	
PHONE 1	<u>407-247-5000</u>	
PHONE 2	<u>407-808-3610</u>	
E-MAIL	<u>Debbobnick@aol.com</u>	

PROJECT NAME: \_\_\_\_\_

SITE ADDRESS: 1121 Caruthers Woods Rd.

CURRENT USE OF PROPERTY: Resident

LEGAL DESCRIPTION: Leg Sec 16 Twp 20S RGE 32E E 585.5 Ft of NW 1/4 of NW 1/4 (Less 3834.84 ft of E 417.42 ft for RD)

SIZE OF PROPERTY: 9.47 acre(s) PARCEL I.D. 16-20-32-300-016B-0000

UTILITIES:  WATER  WELL  SEWER  SEPTIC TANK  OTHER \_\_\_\_\_

KNOWN CODE ENFORCEMENT VIOLATIONS \_\_\_\_\_

IS PROPERTY ACCESSIBLE FOR INSPECTION  YES  NO

This request will be considered at the Board of Adjustment regular meeting on 8/28/06 (mo/day/yr), in the Board Chambers (Room 1028) at 6:00 p.m. on the first floor of the Seminole County Services Building, located at 1101 East First Street in downtown Sanford, FL.

I hereby affirm that all statements, proposals, and/or plans submitted with or contained within this application are true and correct to the best of my knowledge.

Robby B. Caruthers

7-5-06

SIGNATURE OF OWNER OR AGENT\* \_\_\_\_\_ DATE \_\_\_\_\_

\* Proof of owner's authorization is required with submittal if signed by agent.

**ADDITIONAL VARIANCES**

VARIANCE 2:

VARIANCE 3:

VARIANCE 4:

VARIANCE 5:

VARIANCE 6:

VARIANCE 7:

**APPEAL FROM BOA DECISION TO BCC**

**APPELLANT INFORMATION**

NAME

ADDRESS

PHONE 1

PHONE 2

E-MAIL

NATURE OF THE APPEAL

APPELLANT SIGNATURE

**FOR OFFICE USE ONLY**

PROCESSING:

FEE(S): 195.00 COMMISSION DISTRICT \_\_\_\_\_ FLU / ZONING A-5 / R-5

BCC HEARING DATE \_\_\_\_\_ (FOR APPEAL)

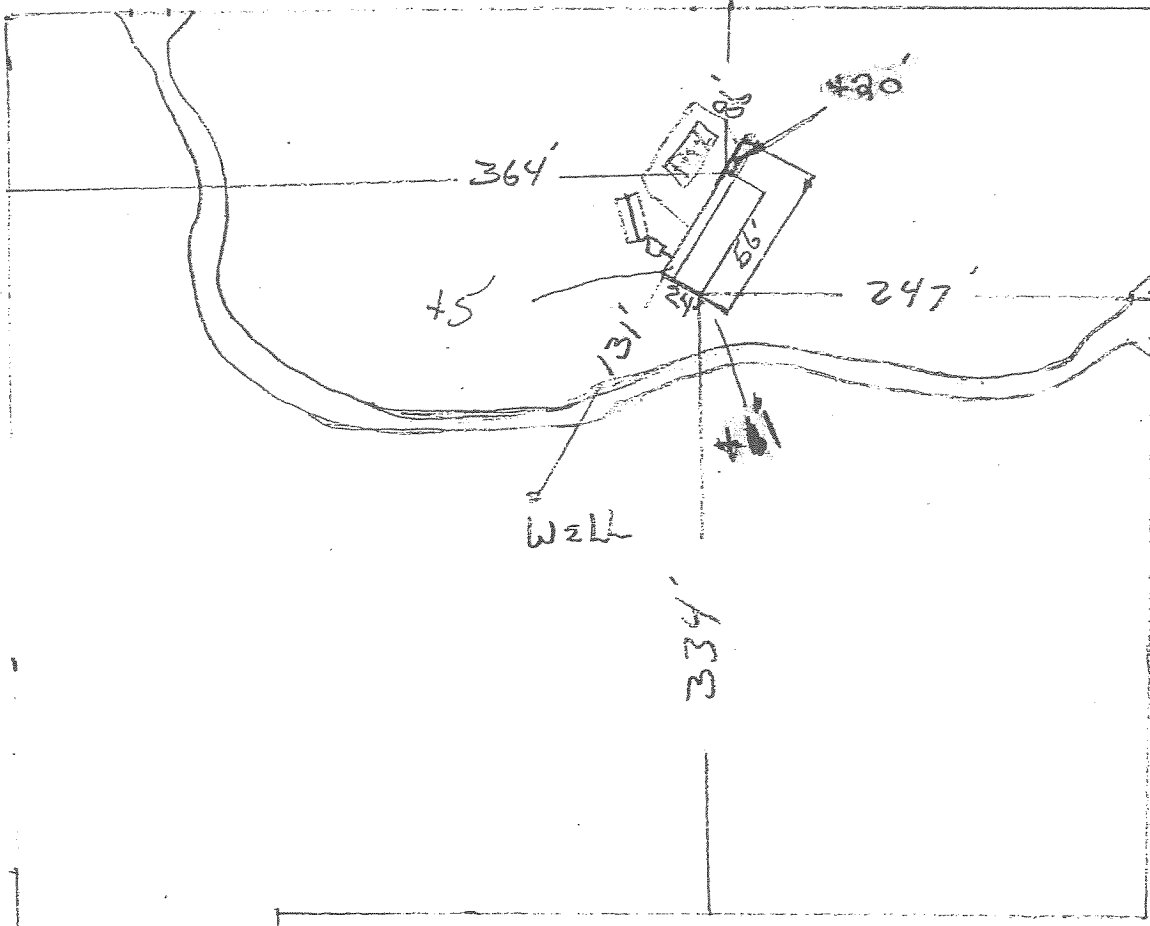
LOCATION FURTHER DESCRIBED AS \_\_\_\_\_

PLANNING ADVISOR \_\_\_\_\_ DATE \_\_\_\_\_

SUFFICIENCY COMMENTS \_\_\_\_\_

LAKUIHEAD WOODS NW.  
585.5

LITTLE POND NO. 2



485.16

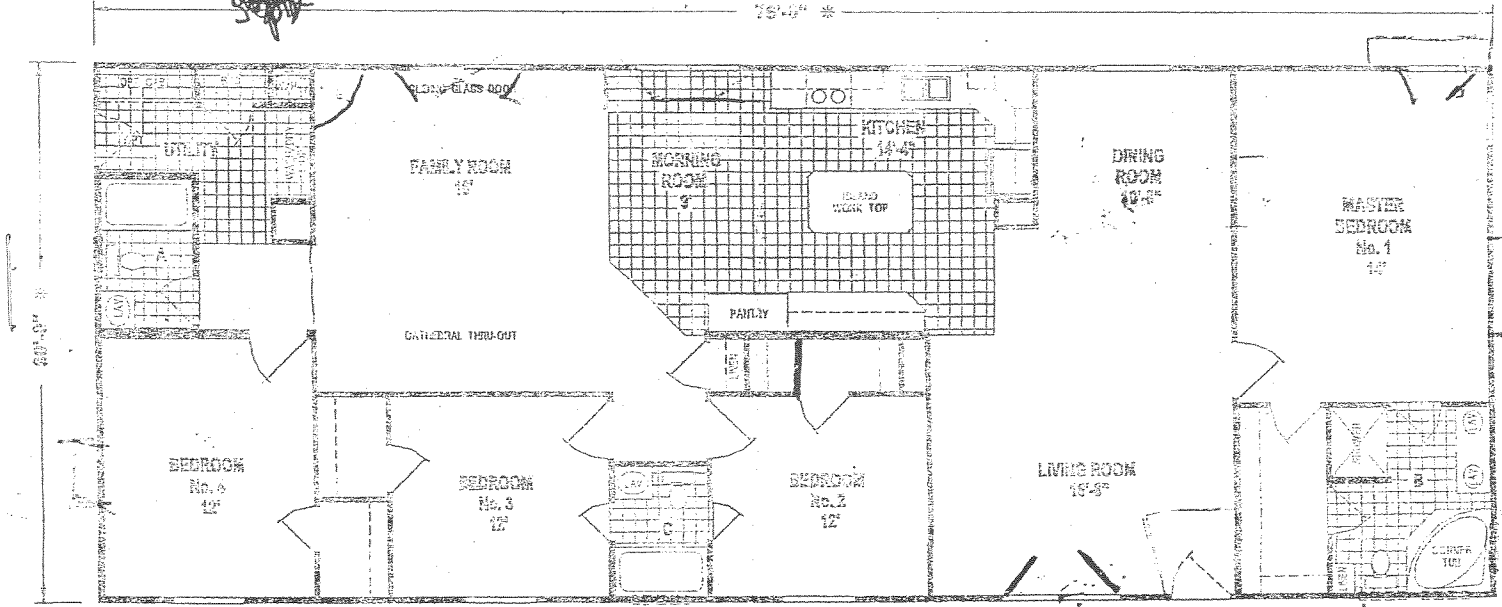
NEW

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128'.08

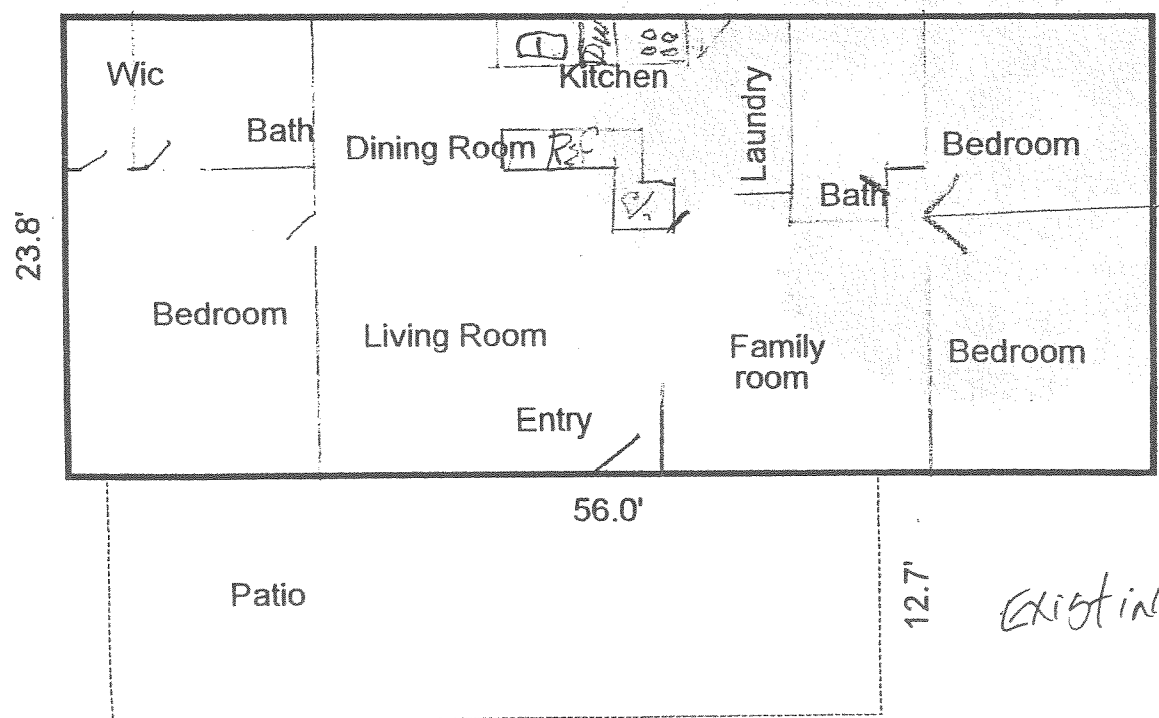
Proposed

OPTION SITTING AREA



9304CT/7632 (2,280 SQ. FT.) 4BEDROOM - 3BATHS - CATHEDRAL THRU-OUT

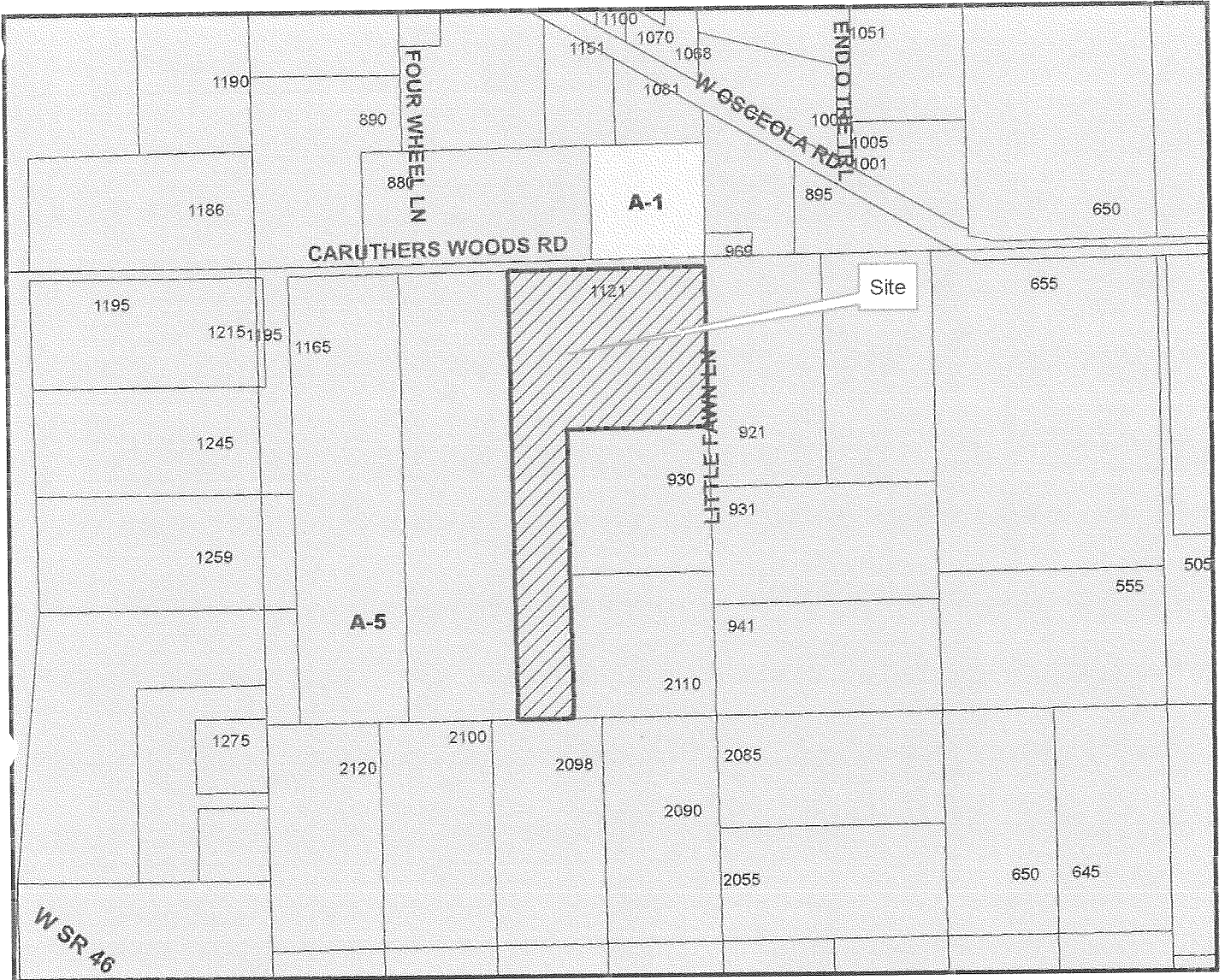
IMPROVEMENTS SKETCH



Existing






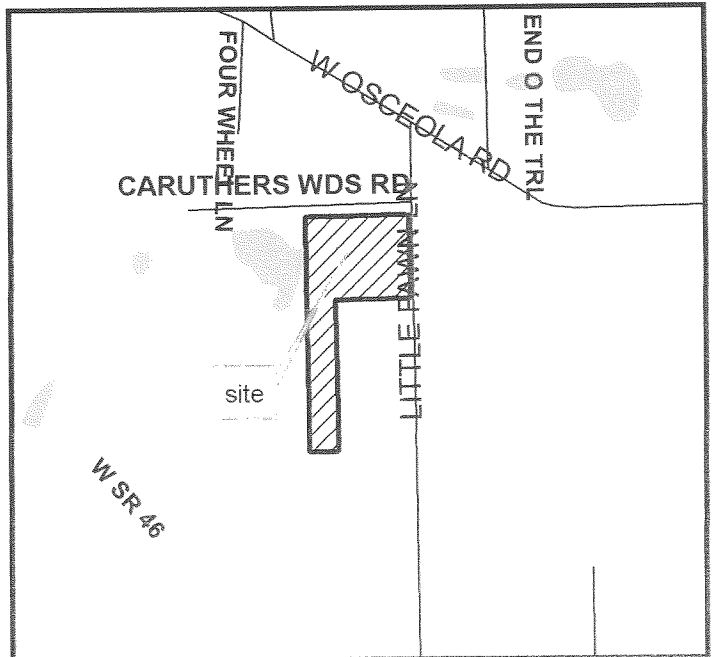
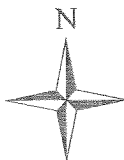
Deborah & Robby Caruthers  
1121 Caruthers Wood Rd  
Geneva, FL 32732



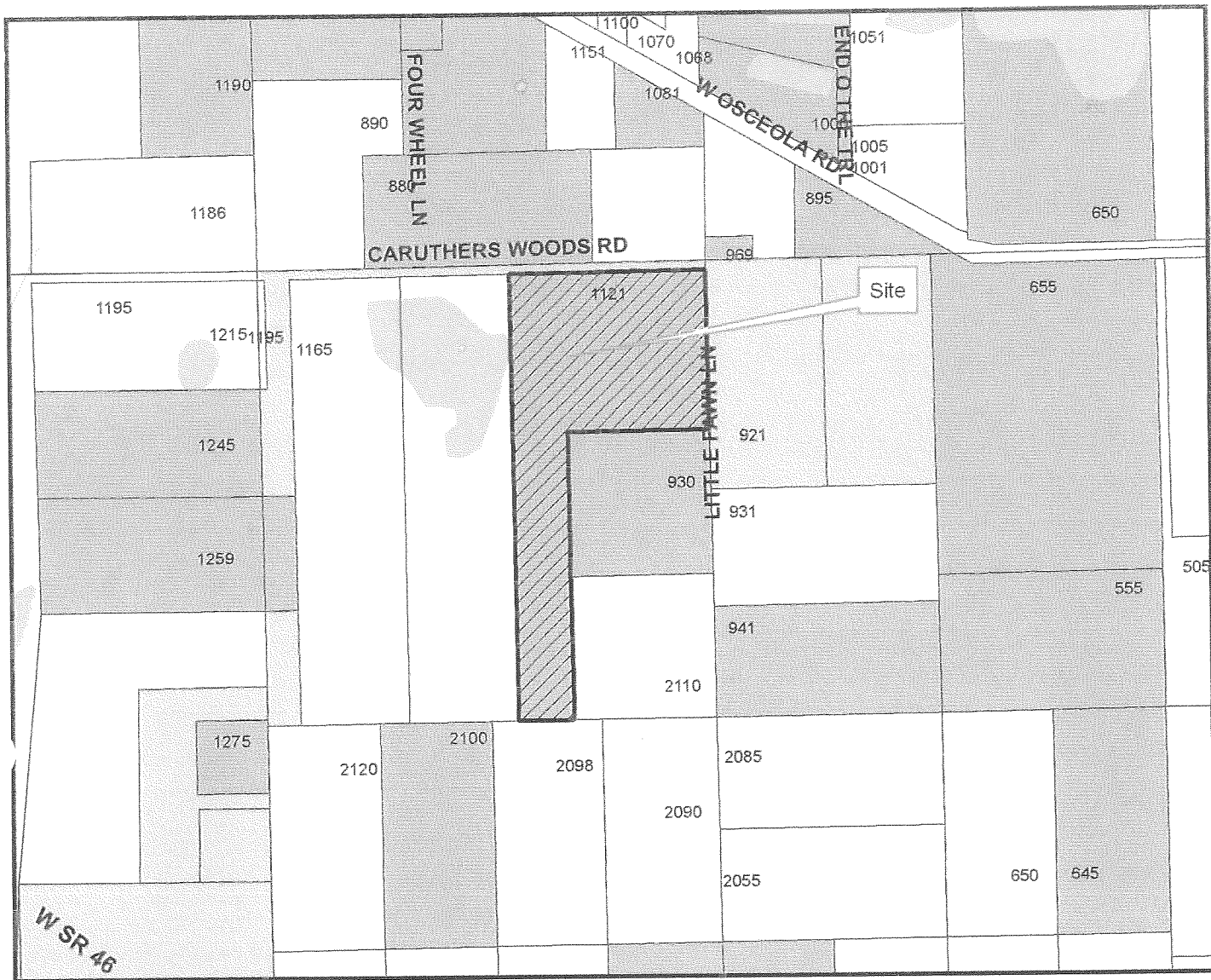
Seminole County Board of Adjustment  
August 28, 2006  
Case: BM2006-020  
Parcel No: 16-20-32-300-016B-0000

**Zoning**

-  BM2006-020
-  A-1
-  A-5








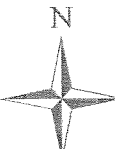
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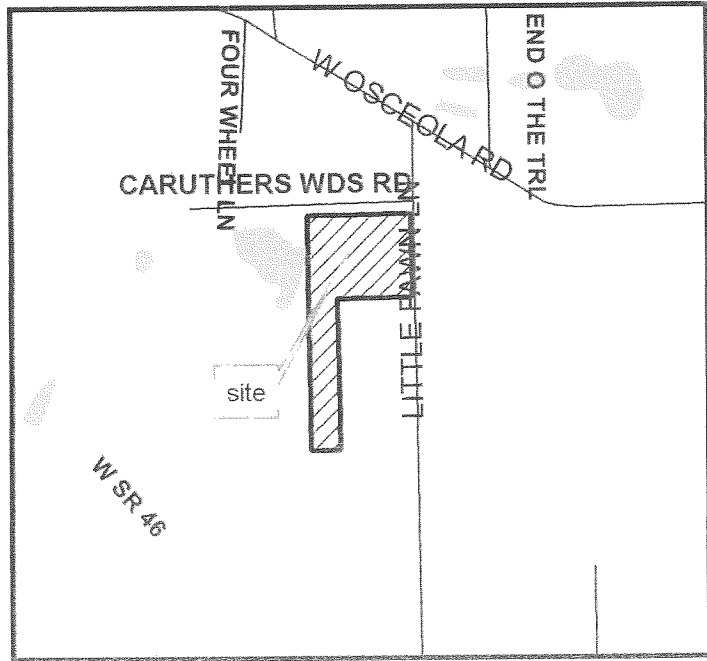


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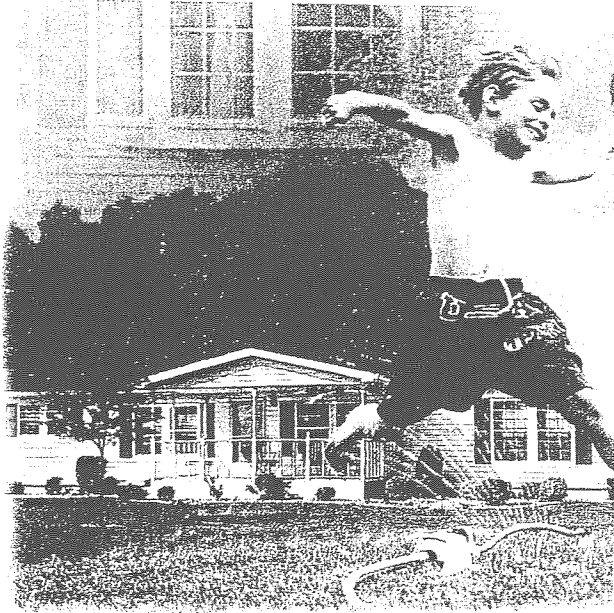
**Zoning**

 BM2006-020	 Single Family Residential
 All Other Values	 Mobile Home
 Vacant Residential	

N  




<b>PARCEL DETAIL</b> DAVID JOHNSON, CFA, ASA <b>PROPERTY APPRAISER</b> SEMINOLE COUNTY FL. 1101 E. FIRST ST SANFORD, FL 32771-1468 407-665-7506																																			
<b>GENERAL</b> Parcel Id: 16-20-32-300-016B-0000 Owner: CARUTHERS ROBBY & DEBORAH S & Own/Addr: CARUTHERS BOBBY G & JACQUELINE Mailing Address: 1121 CARUTHERS WOOD RD City,State,ZipCode: GENEVA FL 32732 Property Address: 1121 CARUTHERS WOOD RD GENEVA 32732 Subdivision Name: Tax District: 01-COUNTY-TX DIST 1 Exemptions: 00-HOMESTEAD Dor: 02-MOBILE/MANUFACTURED			<b>2006 WORKING VALUE SUMMARY</b> Value Method: Market Number of Buildings: 0 Depreciated Bldg Value: \$0 Depreciated EXFT Value: \$52,141 Land Value (Market): \$170,460 Land Value Ag: \$0 Just/Market Value: \$222,601 Assessed Value (SOH): \$186,888 Exempt Value: \$25,000 Taxable Value: \$161,888 Tax Estimator																																
<b>SALES</b> <table border="1"> <thead> <tr> <th>Deed</th> <th>Date</th> <th>Book</th> <th>Page</th> <th>Amount</th> <th>Vac/Imp</th> <th>Qualified</th> </tr> </thead> <tbody> <tr> <td>WARRANTY DEED</td> <td>10/1982</td> <td>01418</td> <td>1464</td> <td>\$30,000</td> <td>Vacant</td> <td>No</td> </tr> </tbody> </table> Find Comparable Sales within this Subdivision			Deed	Date	Book	Page	Amount	Vac/Imp	Qualified	WARRANTY DEED	10/1982	01418	1464	\$30,000	Vacant	No	<b>2005 VALUE SUMMARY</b> Tax Value(without SOH): \$2,008 2005 Tax Bill Amount: \$1,995 Save Our Homes (SOH) Savings: \$13 2005 Taxable Value: \$121,773 DOES NOT INCLUDE NON-AD VALOREM ASSESSMENTS																		
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NOTE: Assessed values shown are NOT certified values and therefore are subject to change before being finalized for ad valorem tax purposes. *** If you recently purchased a homesteaded property your next year's property tax will be based on Just/Market value.																																			



**SKYLi**  
BRINGING AMERICA HOME. BRI

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CARD #4

SEC 16-20-32

MARTIN, JAMES: BA(7-20-81)-80TE; Old Geneva Dr; Apvd 2 Yrs.

BROWN, DONALD E: BA(9-21-81)118V; Size frm 43,560 to 31,000 sq ft on Lot 13,  
Geneva Heights; Geneva Heights Rd; Approved.

VOSS, KELLY M: BA(4-18-83)-35TE; RENEWAL: Pioneer Trail; Apvd 2 Yrs.

CARUTHERS, ROBBY: BA(5-16-83)-65TE; Jackson Rd; Apvd 5 Yrs.

ELAM, RODGER G: BA(7-18-83)-92TE; Old Osceola Rd; Apvd 10 Yrs.

McLEOD, SCOTT: BA(5-21-84)-75V; Size frm 43,560 to 21,632 sq ft; Front frm 50  
to 40 ft; Tax Parcel A/28; as shown on Assessor's Map No. 201;  
off Ridge Rd; Cont'd til 6/18/84; Apvd subject to plan submitted

HON, EDWARD J: BA(5-21-84)-72TE; Medical Hardship; Pioneer Way; Apvd 6 Months.  
Six Months Extension approved 11/19/84.

VOSS, KELLY M: BA(6-17-85)-85TE; RENEWAL; Pioneer Trail; Cont'd til 7/15/85;  
Approved for two years.

JENKINS, JAMES - BA86-4-44TE; SR 46; Approved 5 yrs.

MOYE, VIRGINIA - BA86-4-43TE; SR 46; Approved 5 yrs.

DYKEMAN, HENRY - BA86-11-115TE; Lot 6, Phill Orr; Osceola Rd; Denied.