

Item # BS2005-017

SEMINOLE COUNTY GOVERNMENT
BOARD OF ADJUSTMENT
AGENDA MEMORANDUM

SUBJECT: Request for Special Exception to establish a 155 foot tall monopole Communication Tower in the C-2 (Retail Commercial District); (Criag and Associates, applicant).

DEPARTMENT: Planning and Development **DIVISION:** Planning

AUTHORIZED BY: Kathy Fall **CONTACT:** Kathy Fall **EXT:** 7389

AGENDA DATE 11-28-05 REGULAR CONSENT PUBLIC HEARING

MOTION/RECOMMENDATION:

1. **APPROVE** Request for Special Exception to establish a 155 foot tall monopole Communication Tower in the C-2 (Retail Commercial District); (Criag and Associates, applicant); or
2. **DENY** Request for Special Exception to establish a 155 foot tall monopole Communication Tower in the C-2 (Retail Commercial District); (Criag and Associates, applicant); or
3. **CONTINUE** THE request to a time and date certain.

GENERAL INFORMATION	Applicant: Craig and Associates, applicant 845 State Road 15A Sanford, FL. 32771	Special Exception 30.43(2) criteria
BACKGROUND / REQUEST	<p>The subject property is owned by Lake Monroe Development and is currently vacant with an existing billboard. The applicant proposes to lease a portion of the subject property in order to construct a 150 foot monopole with an antenna that makes the total height 155 feet and its associated facilities.</p> <ul style="list-style-type: none"> • <u>Request for special exception</u> The existing site is located in the C-2 district, where monopole communication towers are permitted by special exception. • <u>Request for variances</u> There are no existing homes and/or properties that have a residential landuse/zoning within the separation radius of 465 feet. therefore no variances are needed for this request. 	

<p>ZONING & FLU</p>	<table border="1"> <thead> <tr> <th data-bbox="581 289 768 359">direction</th> <th data-bbox="768 289 927 359">existing zoning</th> <th data-bbox="927 289 1143 359">existing flu</th> <th data-bbox="1143 289 1446 359">use of property</th> </tr> </thead> <tbody> <tr> <td data-bbox="581 359 768 394">Site</td> <td data-bbox="768 359 927 394">C-2</td> <td data-bbox="927 359 1143 394">Commercial</td> <td data-bbox="1143 359 1446 394">vacant/billboard</td> </tr> <tr> <td data-bbox="581 394 768 430">North</td> <td data-bbox="768 394 927 430">A-5</td> <td data-bbox="927 394 1143 430">Commercial</td> <td data-bbox="1143 394 1446 430">vacant</td> </tr> <tr> <td data-bbox="581 430 768 466">South</td> <td data-bbox="768 430 927 466">PCD</td> <td data-bbox="927 430 1143 466">HIP-TI</td> <td data-bbox="1143 430 1446 466">tire service</td> </tr> <tr> <td data-bbox="581 466 768 535">West</td> <td colspan="3" data-bbox="768 466 1446 535">C-15a, interstate 4 on ramp and associated retention pond.</td> </tr> <tr> <td data-bbox="581 535 768 604">East</td> <td data-bbox="768 535 927 604">A-1</td> <td data-bbox="927 535 1143 604">Suburban Estates</td> <td data-bbox="1143 535 1446 604">vacant</td> </tr> </tbody> </table>	direction	existing zoning	existing flu	use of property	Site	C-2	Commercial	vacant/billboard	North	A-5	Commercial	vacant	South	PCD	HIP-TI	tire service	West	C-15a, interstate 4 on ramp and associated retention pond.			East	A-1	Suburban Estates	vacant
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<p>STANDARDS FOR GRANTING A SPECIAL EXCEPTION</p>	<p>The Board of Adjustment (BOA) shall have the power to hear and decide special exceptions and variances it is specifically authorized to pass under the terms of the land development code upon determination the use requested:</p> <p><u>Is not detrimental to the character of the area or neighborhood or inconsistent with trends of development in the area:</u></p> <p>The trend of development in the area has included a combination of industrial/warehouse businesses, Interstate 4 and vacant conservation land. The proposed tower is a standard 155 foot tall monopole structure that is not designed to assimilate into surrounding development.</p> <p>Because the proposed tower, at the height proposed, would not blend into existing surroundings like a camouflage installation, staff believes the recommended design conditions should be applied if the board decides to approve the request.</p> <p><u>Does not have an undue adverse effect on existing traffic patterns, movements and volumes:</u></p> <p>The proposed tower would not have an adverse impact on existing traffic volumes, since the facility would be unmanned and require approximately one site visit per month (2 vehicle trips) for routine service and maintenance.</p> <p><u>Is consistent with the Seminole County Vision 2020 Comprehensive Plan:</u></p> <p>The Seminole County Vision 2020 comprehensive plan describes the Commercial Future Land Use (FLU) as a category established for community shopping centers, convenience stores, retail sales, and highway oriented commercial uses.</p> <p>The comprehensive plan further describes Commercial FLU as appropriate for special exception uses like utility structures. With the imposition of staff's recommended conditions, the proposed communication tower would be consistent with the Commercial</p>																								

	<p>FLU designation.</p> <p><u>Meets any additional requirements specified in the code section authorizing the use in a particular zoning district or classification:</u></p> <p>Based on the submitted site plan, the proposed communication tower meets the 465 ft minimum separation distance from single family uses or land use/zoning classifications.</p> <p>Based on the submitted maps, reports and supporting documentation, the applicants have demonstrated a need to expand Nextel's wireless service area by establishing a communication tower in the general vicinity of the subject property. The applicants have further indicated that all collocation opportunities have been explored and deemed unacceptable for meeting Nextel's capacity goals and the provision of homogeneous service across its network. The monopole communication will have the capacity to have four carriers to co-locate.</p> <p>Staff has further determined that the proposed tower height is consistent with Nextel's desire to provide capacity and coverage in the areas identified on the attached reports and maps. In general, the community growth and increased service has created a deficiency in the capacity and coverage to accommodate the wireless communication customer's needs in this area. The existing towers limitations can not handle the high call volume in this area including the 1-4 corridor.</p> <p><u>Will not adversely affect the public interest:</u></p> <p>Within the C-2 district, communication towers are conditional uses. The commercial character of the surrounding area appears to support this type of facility with minimal potential impacts to the aesthetics of the community.</p> <p>The incorporation of design elements, as stated in the staff conditions would reduce visual impact to surrounding development.</p>
<p>STAFF RECOMMENDATION</p>	<p>Based on the stated findings, staff recommends the board of adjustment approve the request for special exception to establish a 155 foot tall monopole communication tower in the C-2 (agriculture district). staff's recommendation of approval is conditioned upon the following:</p> <ol style="list-style-type: none"> 1. The proposed tower shall not exceed 155 feet, as verified by a rf (radio frequency) engineer to be the minimum height needed to further Nextel's immediate wireless communication goals in the area. 2. Any improvements and/or additions to the proposed tower shall be submitted for approval to the County. 3. No commercial signage or advertising shall be permitted

	<p>on the proposed tower unless otherwise required by law.</p> <ol style="list-style-type: none">4. The proposed tower shall not be artificially lighted except to assure human safety or as required by the federal aviation administration.5. The monopole tower shall have the capacity to accommodate four (4) carriers.6. A listed species survey shall be provided prior to final engineering approval.7. Prior to the final development order / approval, an application for full concurrency management shall be provided.
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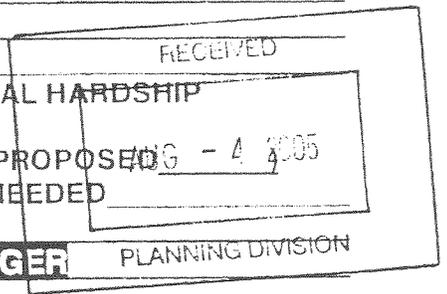
SEMINOLE COUNTY PLANNING & DEVELOPMENT DEPARTMENT
 PLANNING DIVISION
 1101 EAST FIRST STREET
 SANFORD, FL 32771
 (407) 665-7444 PHONE (407) 665-7385 FAX APPL. NO. RS 2005 - 017

APPLICATION TO THE SEMINOLE COUNTY BOARD OF ADJUSTMENT

Applications to the Seminole County Board of Adjustment shall include all applicable items listed in the Board of Adjustment Process Checklist. No application will be scheduled for Board of Adjustment consideration until a complete application (including all information requested below) has been received by the Planning & Development Department, Planning Division. Applications for SPECIAL EXCEPTION shall only be received for processing following pre-application conference.

APPLICATION TYPE:

- VARIANCE**
- SPECIAL EXCEPTION** Wireless Communications Facility
- LIMITED USE**
 - SF DWELLING UNDER CONSTRUCTION
 - NIGHT WATCHMAN
 - YEAR OF MOBILE HOME / RV (EXISTING _____) (PROPOSED _____)
 - SIZE OF MOBILE HOME / RV _____
 - PLAN TO BUILD YES NO IF SO, WHEN _____
 - MEDICAL HARDSHIP
 - FAMILY HARDSHIP
 - TIME NEEDED _____
- APPEAL FROM DECISION OF THE PLANNING MANAGER**



PROPERTY OWNER AUTHORIZED AGENT *

NAME	ADDRESS	PHONE 1	PHONE 2	E-MAIL
Lake Monroe Development LLC	204 N. Park Ave. Ste 100, Sanford, FL 32771	407-321-2007	407-314-5162	sidvihlenjunior@aol.com
Nextel, Franco Lugo of Craig & Associates	4431 Ironstone Cr., Orlando FL 32812	787-403-3398	407-322-1211	franco.lugo@candallc.com

PROJECT NAME: North Sanford

SITE ADDRESS: 845 State Road 15A, Sanford, FL 32711

CURRENT USE OF PROPERTY: Bill Board

LEGAL DESCRIPTION: Deed Book 184, Page 382 see attached

SIZE OF PROPERTY: Parent Tract ±3.44 acre(s) PARCEL I.D. 16-19-30-5AC-0000-013A

UTILITIES: WATER WELL SEWER SEPTIC TANK OTHER NA

KNOWN CODE ENFORCEMENT VIOLATIONS NONE

IS PROPERTY ACCESSIBLE FOR INSPECTION YES NO

This request will be considered at the Board of Adjustment regular meeting on 8/4/05 (Monday/Fri), in the Board Chambers (Room 1028) at 6:00 p.m. on the first floor of the Seminole County Services Building, located at 1101 East First Street in downtown Sanford, FL.

I hereby affirm that all statements, proposals, and information submitted with or contained within this application are true and correct to the best of my knowledge.

SIGNATURE OF OWNER OR AGENT [Signature]

DATE 8/4/05

ADDITIONAL VARIANCES

VARIANCE 2:

VARIANCE 3:

VARIANCE 4:

VARIANCE 5:

VARIANCE 6:

VARIANCE 7:

APPEAL FROM BOA DECISION TO BCC

APPELLANT INFORMATION

NAME	
ADDRESS	
PHONE 1	
PHONE 2	
E-MAIL	

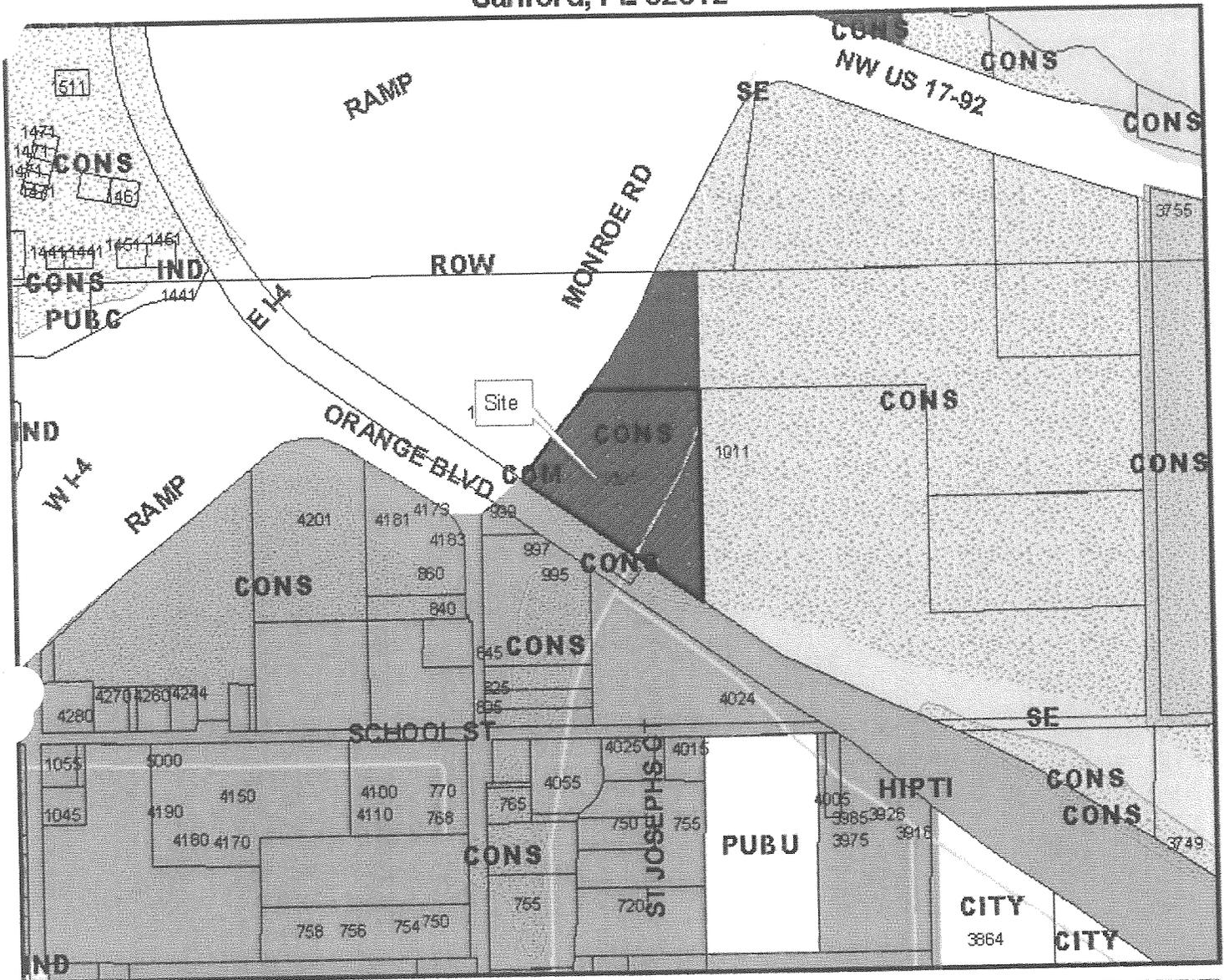
NATURE OF THE APPEAL _____

_____ APPELLANT SIGNATURE _____

FOR OFFICE USE ONLY

PROCESSING:
 FEE(S): 370.00 COMMISSION DISTRICT 5 FLU / ZONING C-2/COM
 BCC HEARING DATE _____ (FOR APPEAL)
 LOCATION FURTHER DESCRIBED AS _____
 PLANNING ADVISOR Kathy Fall DATE _____
 SUFFICIENCY COMMENTS _____

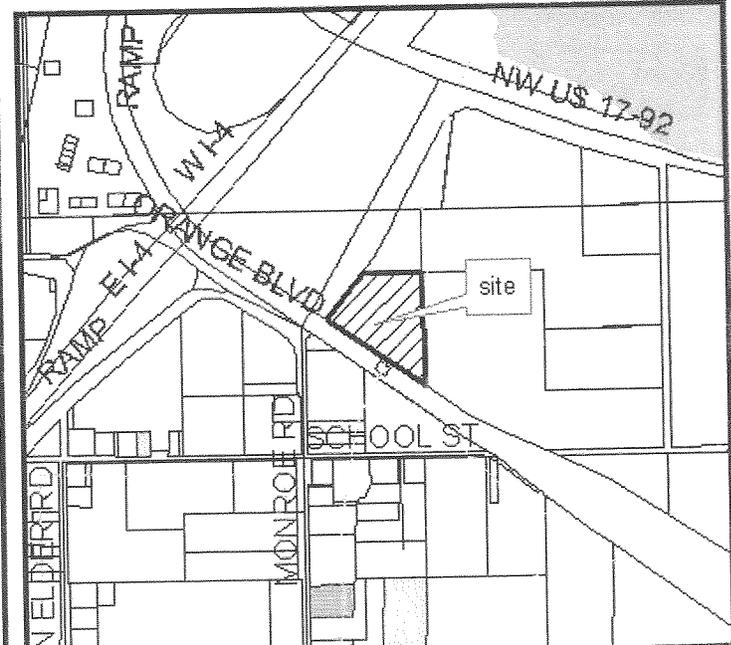
Nextel/Franco Lugo of Craig & Associates
 845 S.R. 15A
 Sanford, FL 32812



Seminole County Board of Adjustment
 September 26, 2005
 Case: BS2005-017
 Parcel No: 16-19-30-5AC-0000-013A
 Future Land Use

	CONS, REC		PUBU, NONE
	CONS, PUBC		SE, NONE
	CONS, SE		COM, NONE
	CONS, COM		IND, NONE
	CONS, IND		HIPTI, NONE
	CONS, HIPTI		BS2005-017
	REC, NONE		All Other Values
	PUBC, NONE		Vacant Residential
			Single Family Residential
			Mobile Home

0 85 170 340 510 680 Feet



Purpose and Intent

Construction of New Communication Tower – Nextel FL3121 N. Sanford

Nextel Communications, Inc. is a provider of wireless communications services in the United States. It provides a suite of advanced wireless services that include digital wireless mobile telephone service, Nextel Nationwide Direct Connect Walkie-Talkie service, and a number of wireless data applications, including e-mail, mobile messaging and Nextel Online services which provide wireless access to the Internet, and organization's internal database as well as other applications.

Nextel is constantly seeking to improve its level of service to consumers by increasing the coverage footprint, improving the quality of signal and reducing blocking and drop calls caused by insufficient system capacity. In order to achieve these stated objectives, Nextel needs to add new antenna sites in your community. The proposed wireless communication tower facility would improve the quality of service at the Orange Boulevard and I-4 interchange specifically in vehicle coverage on I-4 East toward Deltona and provide future capacity to handle increased call volume in the area.

A communication tower facility has primarily the following three purposes:

Expansion/Coverage Site – The objective is to locate in areas without signal. These sites would introduce service to new communities and new travel routes. These sites are designed taller and with antenna setups that broadcast the signal a longer distance. Signal strength and frequency management is not a primary concern.

Quality Site – These sites are located in areas with coverage, however, due to community growth and changing business patterns the existing coverage does not meet the current expectations of the client. These sites are specifically designed to fulfill a deficiency. The deficiency may range from peak capacity levels to signal strength to provide better in-building and in vehicle coverage. The RF design varies and it's customized to the particular need.

Capacity Site – These sites are located in areas with high call volumes. These sites are found in the midst of other communication facilities and perhaps in close proximity to a neighboring site. These sites are designed to overcome frequency, equipment and technological limitations. The site location and development requirements of a Capacity Site are very stringent since the site's have a singular function of adding more phone call volume in an already serviced area. The signal strength and frequency range have to be within tightly tolerable parameters so as not to interfere with surrounding sites as well as be able to efficiently hand off calls in a very tight coverage zone.

The proposed Nextel FL3121 N. Sanford communication facility would serve both as a Quality Site and future use as a Capacity Site. The site will improve coverage in the immediate area near the Orange Boulevard and I-4 interchange and will improve in vehicle coverage along I-4 East toward Deltona where dropped calls now occur on a frequent basis.



Nextel South Corp,
6575 The Corners Parkway
Norcross, GA 30041
Office: (678) 405-8245 Fax: (678) 405-8858

Jason Paulley
RF Engineer
Central Florida

October 27, 2005

Planning and Development Department
Planning Division
Room 2202
1101 East First Street
Sanford, FL 32771

RE: Statement of Justification
Proposed Communications Site
Nextel South Corp. Site FL3121 North Sanford

Dear Members of the Planning Department:

In accordance with the provisions of the Land Development Code for Seminole County, this letter along with the attached Search Ring and Coverage Maps will explain the need and purpose of the proposed communications site located at 845 South State Road 15A, Sanford, Florida.

1) To accommodate the growing need for communication towers:

It is the intent and preference of Nextel South Corp. to co-locate whenever possible on existing towers, water tanks, rooftops, or structures of sufficient height to meet RF design requirements. Collocation is preferred for several reasons including the cost of construction, less property management, and to limit the number of towers constructed in the community. As a service provider, Nextel South Corp. is aware of and sensitive to the community concerns regarding the location of towers. With reference to the coverage objectives for this site, there is no co-locatable structure for the site. The approval of the site will accommodate the growing need for communication towers to provide wireless services in the area.

2) To encourage and direct the location of communication towers in the County to the most appropriate locations considering sound planning and land use practices, to insure compatibility between communication towers and abutting land uses, to provide for adequate separation requirements between communication towers, to provide for the needs of the communication industry, to provide for the needs of the public, to provide for the protection of private property rights, to provide for developments in technology impacts and to provide for the requirements of federal, state and local laws:

We encourage our site acquisition consultants to located tower sites appropriately while considering our customers and sound planning. We are sensitive to the fact that our tower sites are located among customers in the community. The proposed site is being located on a 3.44 acre parcel that is zoned Commercial C-2 and being used for a billboard. The site parcel is adjacent to properties zoned for commercial or agricultural use. We feel the site is

located on property compatible with surrounding land uses. This tower site exceeds the tower separation requirements of the ordinance and will provide co-location opportunities for other carriers reducing the need for additional towers in the area. Currently, Sprint Nextel's coverage in this area does not meet our expectations for service to our customers. Therefore, the "needs of the public" can be improved and met in this area with the approval of this site. Based on the commercial use of this property and the use of the surrounding property, it is our opinion that the site in no way inhibits the protection of private property rights.

3) To protect the residential areas and land uses from the potential adverse impacts of communication towers when placed at inappropriate locations or permitted without adequate controls and regulations consistent with the provisions of law:

The proposed site is located on a parcel zoned Commercial C-2. A billboard is currently located on the property. The adjoining properties are zoned Commercial C-1 and Agricultural. The CSX Railroad runs along the southeast boundary of the property. Based on the current designation of uses for the site property and adjoining parcels, the proposed site will have no adverse impact on the adjoining properties.

4) To minimize the adverse visual impacts resulting from communication towers through sound and practical design, siting, landscape screening, and innovative camouflaging techniques all in accordance with generally acceptable engineering and planning principles and the public health, safety and welfare.

The proposed tower will be a 150 foot monopole tower which is generally perceived to be the least visually intrusive tower when compared to guyed or lattice type towers.

5) To avoid potential damage to adjacent properties through sound engineering and planning and the prudent and careful approval of communication tower sites and structures:

This tower site is being designed and will be constructed to the standards set forth by Federal, State, and local laws that are designed to protect the public health, safety, and welfare of the public.

6) To promote and encourage shared use of existing and new communication tower sites and towers as a primary option rather than construction of additional single-use towers.

This tower is being designed to accommodate three (3) carriers in addition to Nextel South Corp.

7) To evaluate current trends and projected areas of advancement relative to communication towers, the telecommunications industry and related matters on an ongoing basis:

The recent merger of Sprint and Nextel exemplify the current trends of providing customers with an increasing variety of wireless products. The industry is rapidly developing products that offer better wireless telephone coverage, e-mail service, data transmission and video conferencing. Towers are a necessary component in providing the wireless services that make today's more efficient.

8) To provide the County with the information pertaining to enhanced and new uses of communication towers and the systems to which they relate.

Nextel South Corp. meets with local communities and county officials throughout Florida to assist in keeping local governments abreast of developing technologies. Nextel South Corp. works with a number of cities and counties to provide wireless communication service for local emergency services. We have participated in information sessions with Seminole County in the past sharing ideas on site planning and new technologies and are committed to do so in the future.

Attached is a copy of the search ring for the proposed site. The area of the search outlined in red is limited due to the design criteria for the site. This site is designed and needed for two (2) purposes:

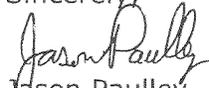
- **To provide additional in vehicle coverage in particular the I-4 bridge over Lake Monroe to the NE toward Deltona.**
- **To provide future capacity for call volume recognizing the continued growth in the area and increased usage of wireless service associated with the growth.**

As noted on the attached plats showing current coverage without the site and improved coverage with the site, the site will provide quality of call improvement along I-4. The site will solidify in vehicle coverage in an area where dropped calls are experience on a regular basis. Further this site will reduce the call traffic for surrounding sites improving service in the area.

Should you need any additional information on the proposed site and the design requirements, please let me know and I will be glad to answer any questions you may have.

Thank you for your consideration of this site.

Sincerely,



Jason Paulley
RF Engineer

NEXTEL Done.

Search Ring Release Form

Issue Date:

08/03/2004

State Code	FL	Latitude	28-49-48	N
Site Number		Longitude	81-19-26	W
Ring Name	North Sanford	NAD	83	
RF Engineer	Brian G. Alter	Ground Elevation	10	
Market ID	3310	Design Rad Center	150	
County	Seminole	Design Rad Center Min	140	
Township	Sanford	Design Rad Center Max	120	
District	Central Florida	Antenna Type	Sector	
Zip	32771	Phase	Capacity	
Project Group ID		Build Type	Comm Site	
Budget Category		Product Code		

Ring Objectives: The objective of this ring is to provide quality of service and future capacity in the area.

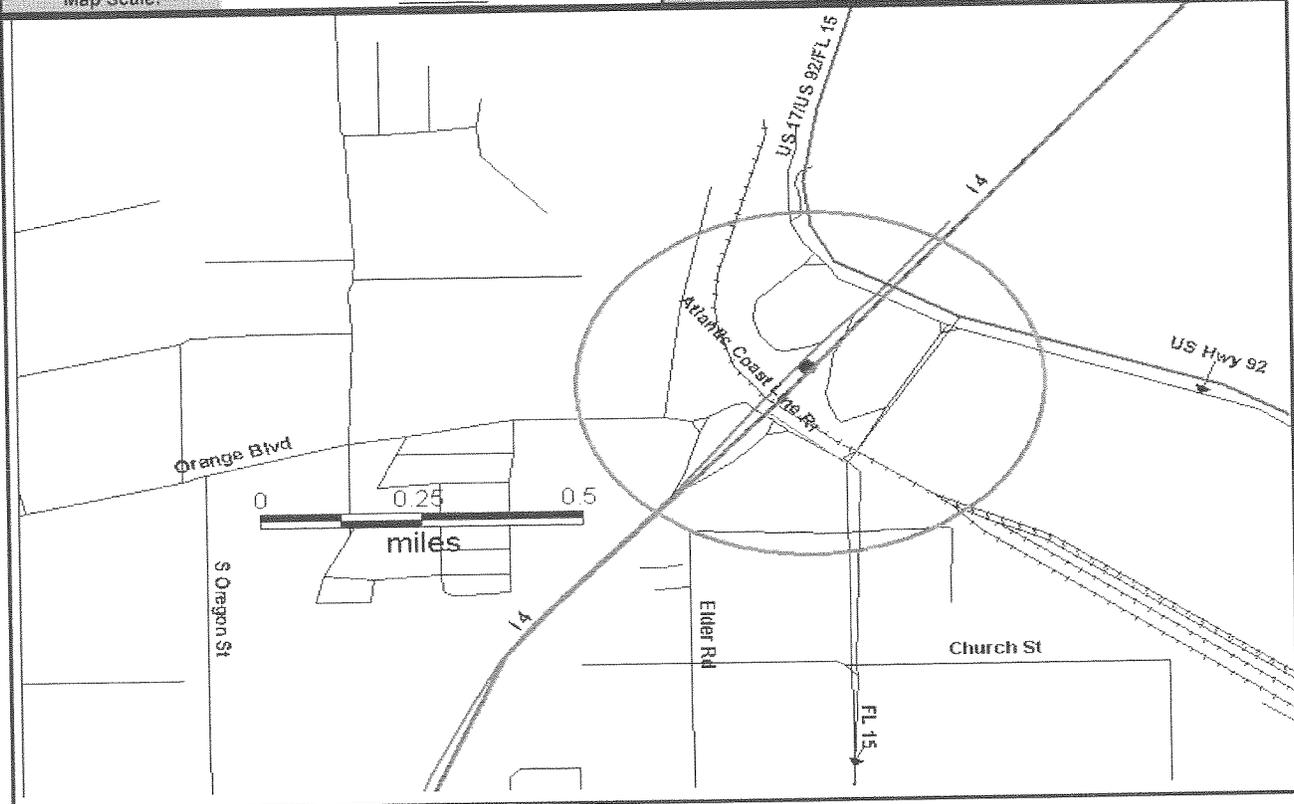
Commercial Tower Information

1) Tower Owner	Coordinates	Structure Height / Type
2) Tower Owner	Coordinates	Structure Height / Type

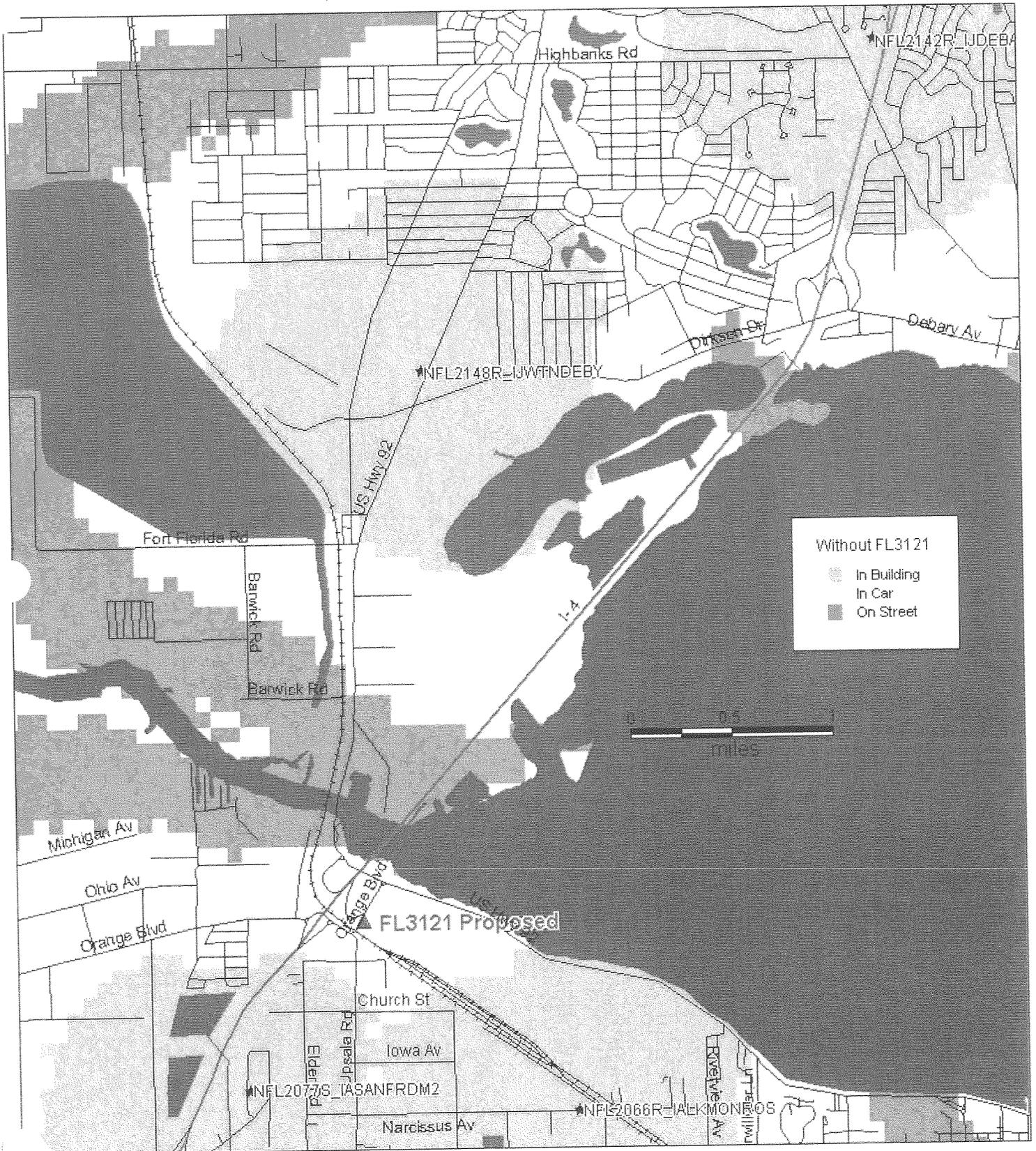
AM Study Analysis	<input type="checkbox"/> Detuning Study Needed	AM Protection Compliance Attached	FAA Study Analysis	Distance to Nearest Airport (in miles)
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Spectrum Engineer:	<input type="checkbox"/> Spectrum Engineer Approval
Traffic Engineer:	<input type="checkbox"/> Traffic Engineer Approval

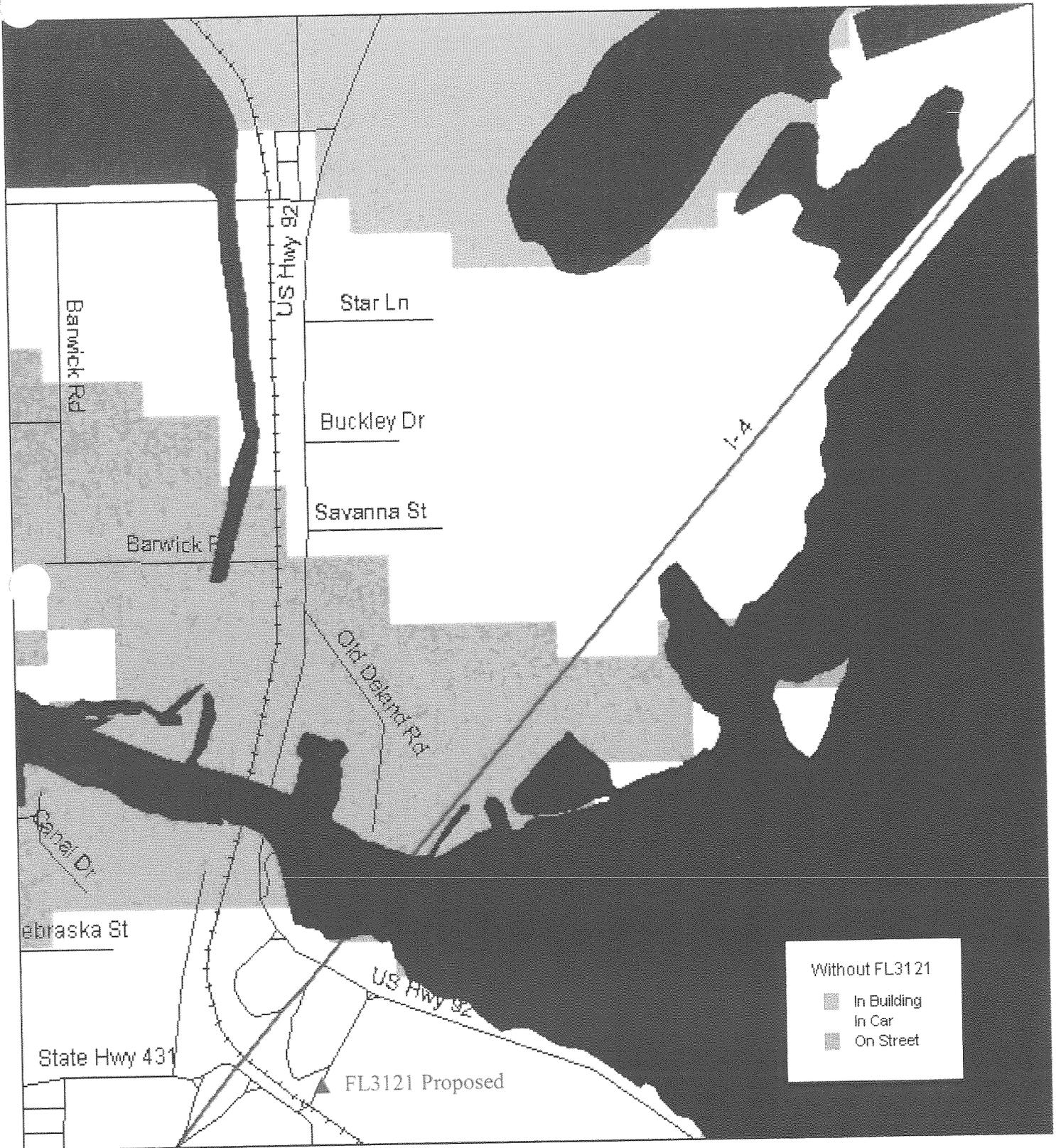
Map Scale: 1" = .25 mi Search Ring Radius: .38 mi.



Proposed Sprint Nextel site FL3121 North Sanford

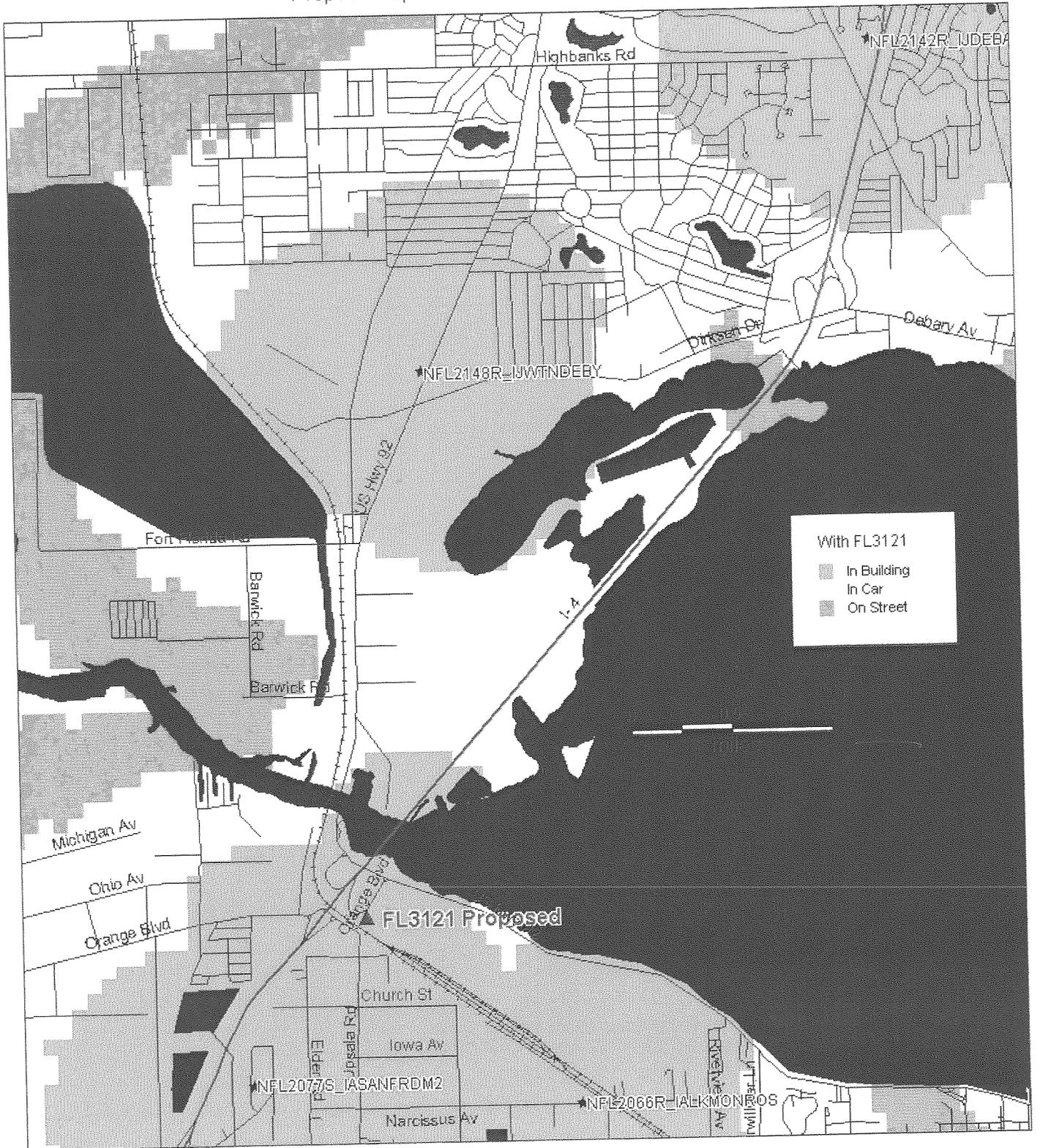


Proposed Sprint Nextel site FL3121 North Sanford

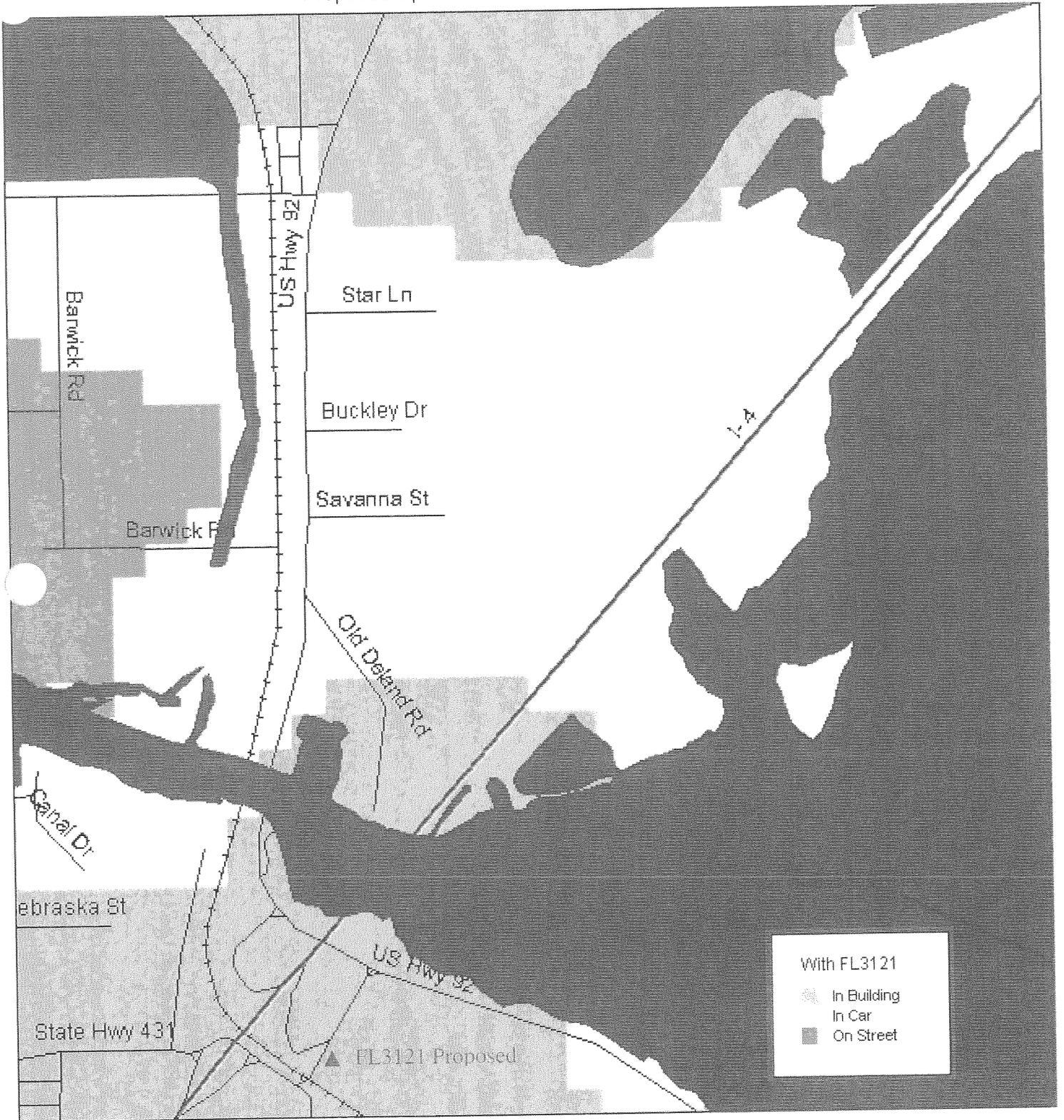


Area without FL3121

Proposed Sprint Nextel site FL3121 North Sanford

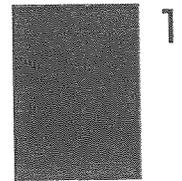


Proposed Sprint Nextel site FL3121 North Sanford



With FL3121

New Communication Tower General Information



Property Ownership

Land Owner: LAKE MONROE DEV LLC

Address: 204 N PARK AVE # 100
Sanford, FL 32771

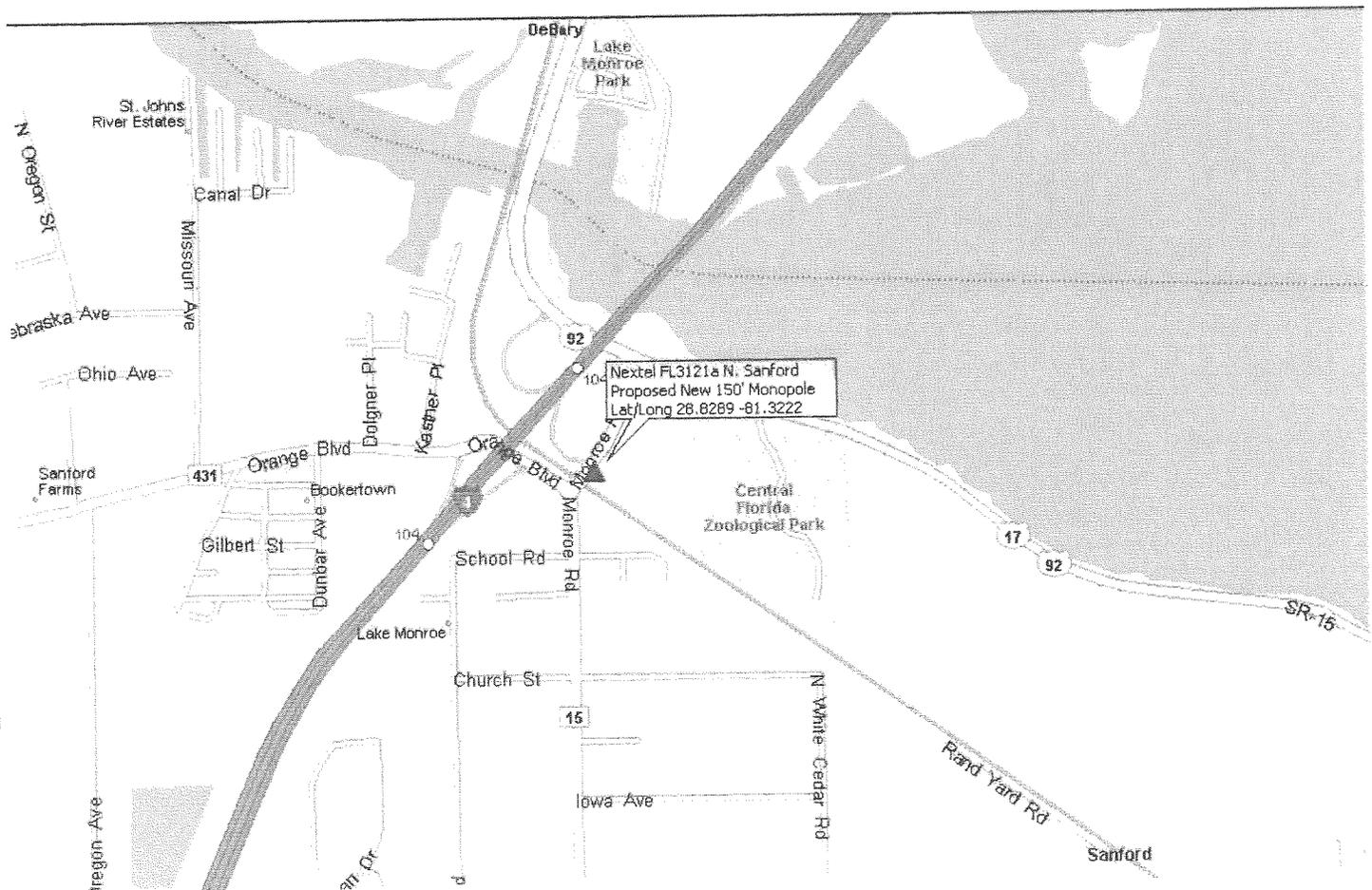
Warranty Deed: ST JOSEPHS PB 1 PG 114

Location

Street Address: Monroe Road
Sanford, FL

Parcel#: 16-19-20-5AC-0000-13A

Zoning District: C-2 Retail Commercial



New Communication Tower Property Information

2

Legal Description

NEXTEL COMMUNICATIONS
INGRESS / EGRESS AND UTILITY EASEMENT
NORTH SANFORD FL-3121

A PORTION OF THE SOUTH 1/2 OF LOT 13, LYING NORTH OF ATLANTIC COAST LINE RAILROAD RIGHT OF WAY, OF FLORIDA LAND AND COLONIZATION COMPANY LIMITED, W. BEARDALL'S MAP OF ST. JOSEPH'S ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 114, OF THE PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA, LYING IN SECTION 21, TOWNSHIP 19 SOUTH, RANGE 30 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE EASTERLY RIGHT OF WAY LINE OF INTERSTATE 4 AND THE NORTHERLY RIGHT OF WAY LINE OF THE CSX (FORMERLY ACL RAILROAD) RIGHT OF WAY LINE; THENCE NORTH 35°26'25" EAST, ALONG SAID EASTERLY RIGHT OF WAY LINE, A DISTANCE OF 37.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 35°26'25" EAST, ALONG SAID EASTERLY RIGHT OF WAY LINE, A DISTANCE OF 30.00 FEET; THENCE DEPARTING SAID EASTERLY RIGHT OF WAY LINE, SOUTH 54°47'42" EAST, A DISTANCE OF 67.70 FEET; THENCE SOUTH 35°26'25" WEST, A DISTANCE OF 30.00 FEET; THENCE NORTH 54°47'42" WEST, A DISTANCE OF 67.70 FEET TO THE POINT OF BEGINNING.

CONTAINING 0.0466 ACRES OR 2031 SQUARE FEET, MORE OR LESS.

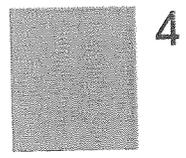
NEXTEL COMMUNICATIONS
LEASE PARCEL
NORTH SANFORD FL-3121

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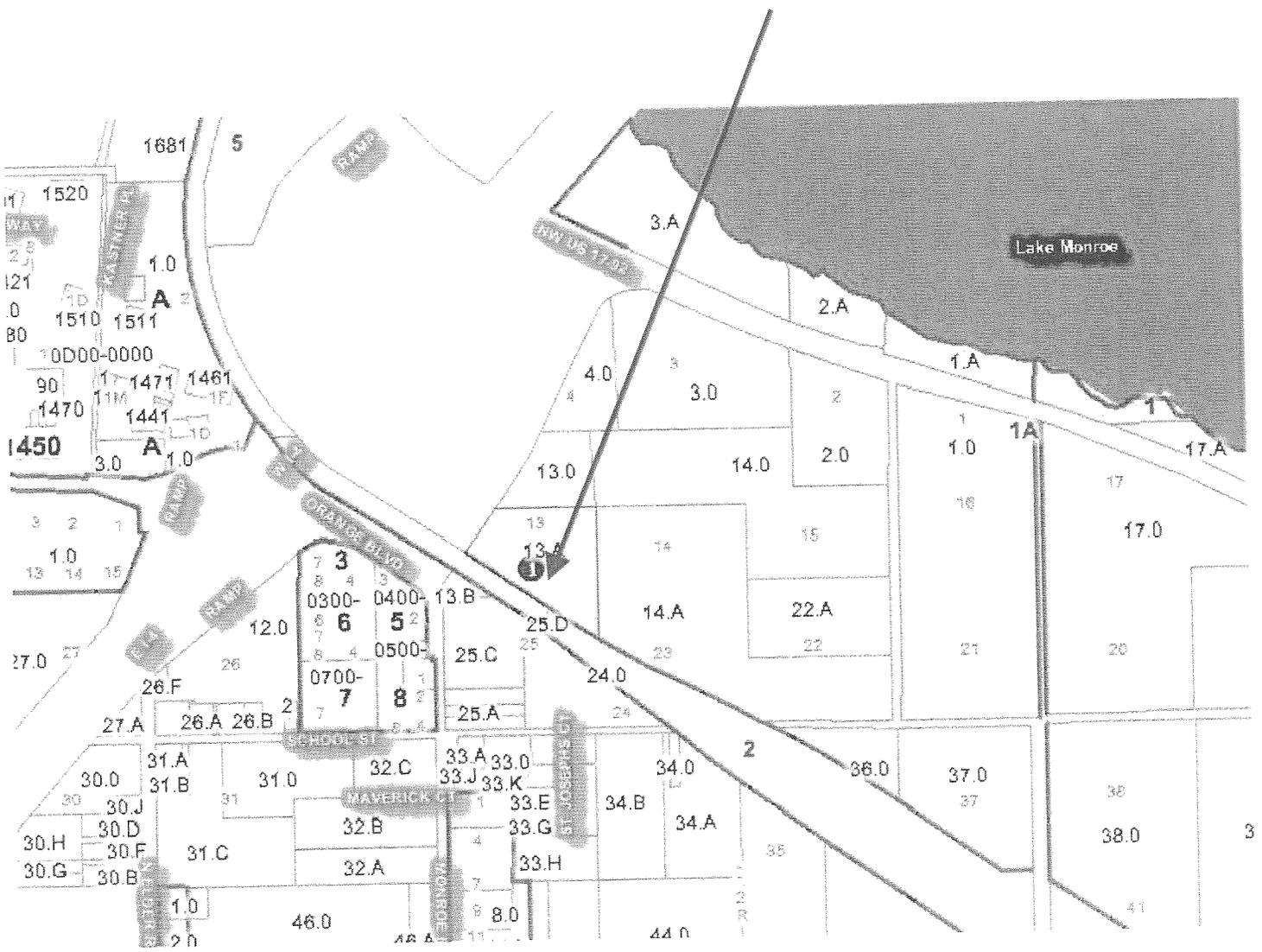
CONTAINING 0.0824 ACRES OR 3592 SQUARE FEET, MORE OR LESS.

New Communication Tower Property Information



Tax Map

Subject Property



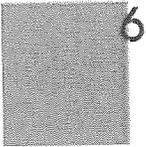
New Communication Tower Property Information



Aerial Photo- Year 2003



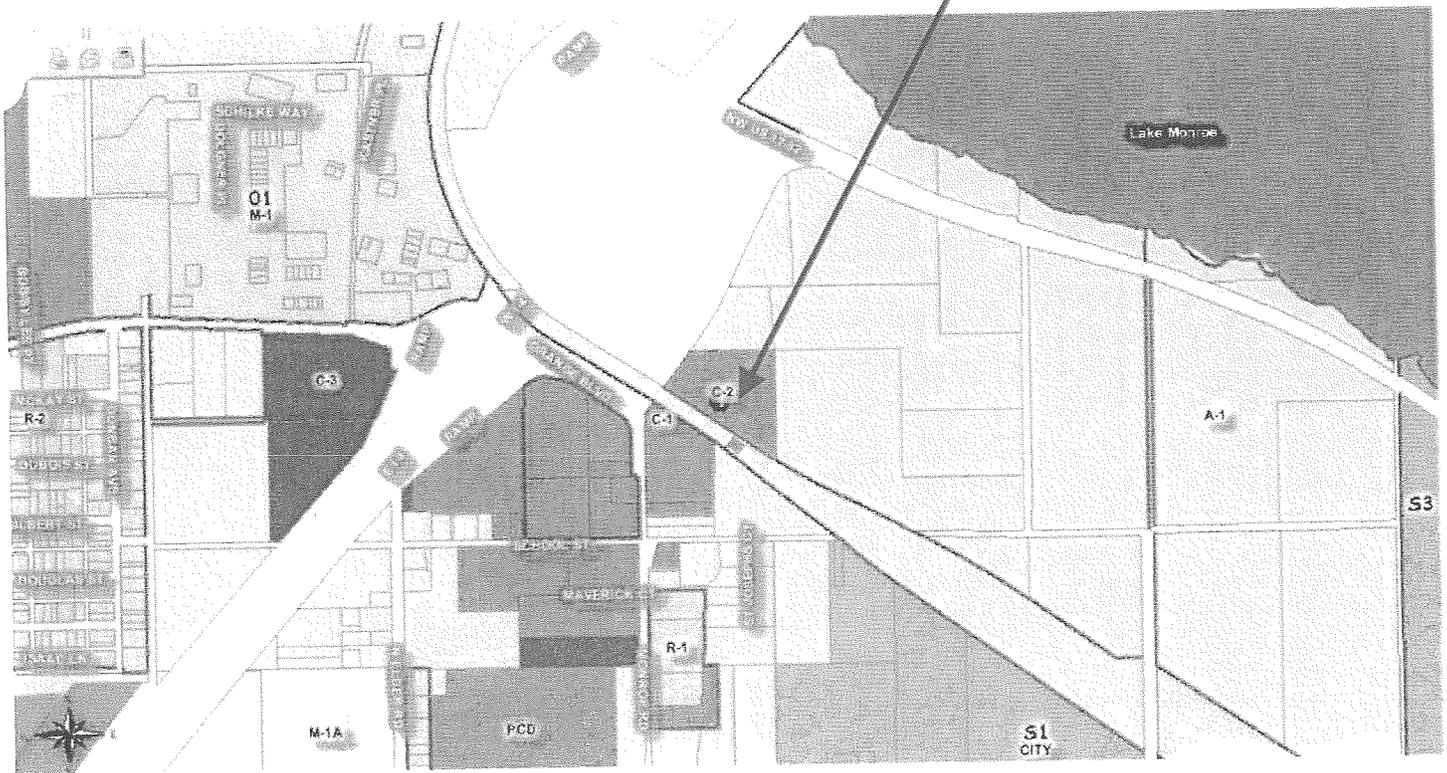
New Communication Tower Property Information



Zoning Map

Subject property is zoned C-2 Retail Commercial

Subject Property

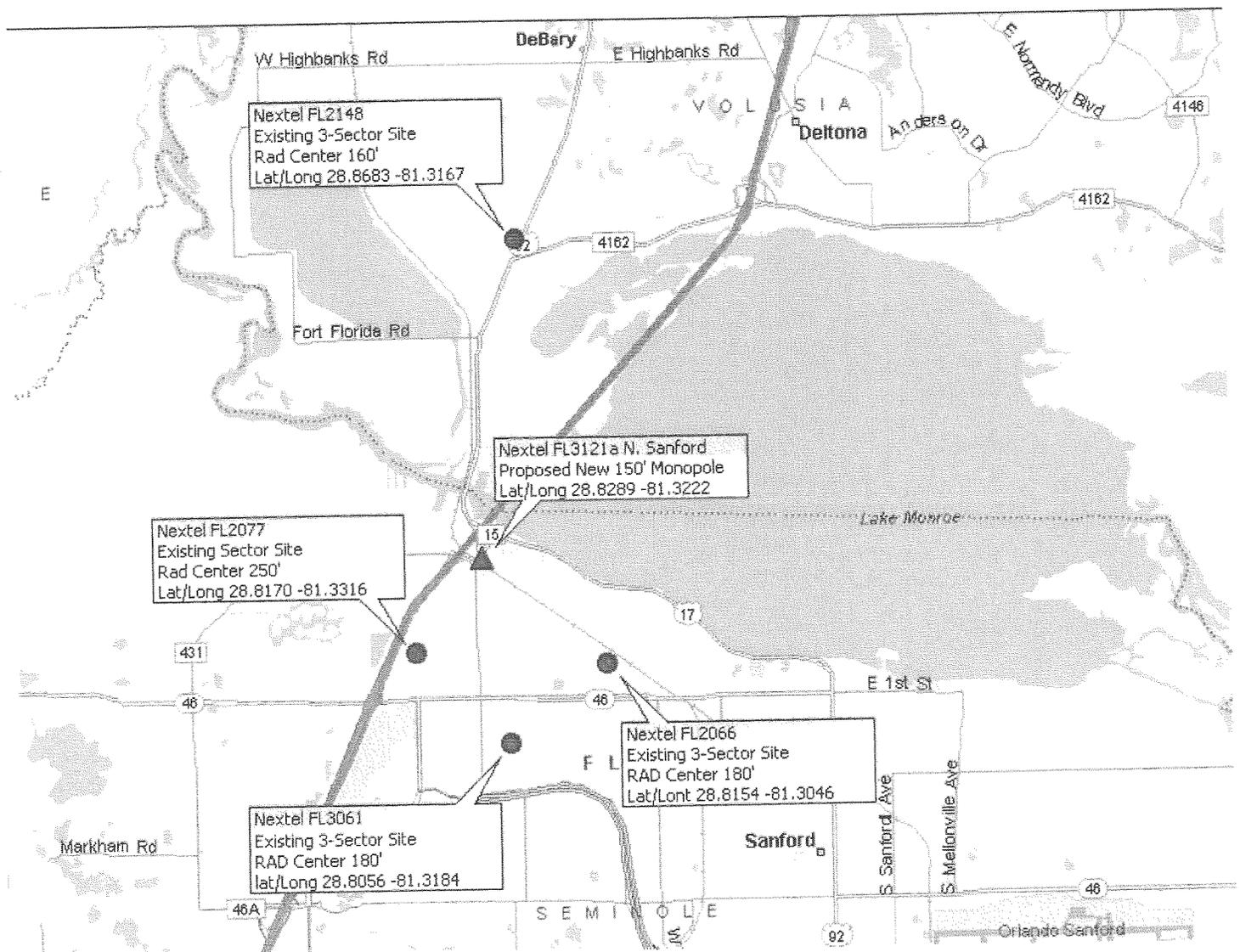


New Communication Tower Network Information



Nextel Neighbor Sites to Proposed New Site

Map shows Nextel On-Air sites.
August 17, 2005

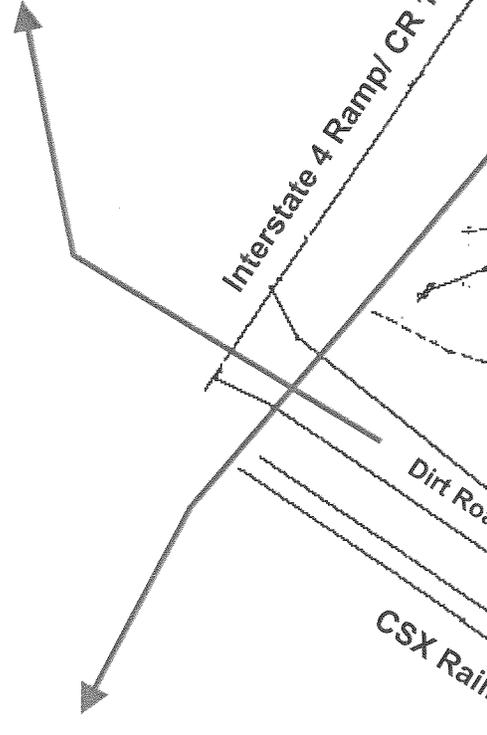
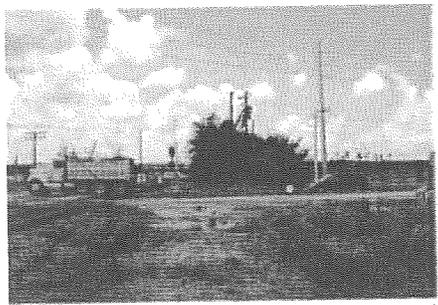
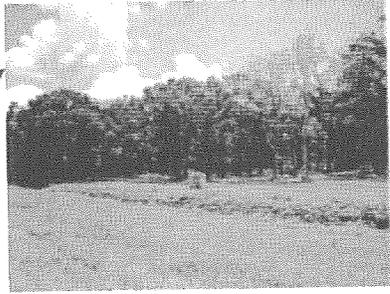
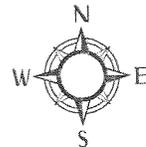


New Communication Tower Development Information

Site Views



8



Interstate 4 Ramp/ CR 15 / SR 400

Dirt Road

CSX Railroad Line

Existing Billboard

Nextel Leased Area



New Communication Tower Development Information

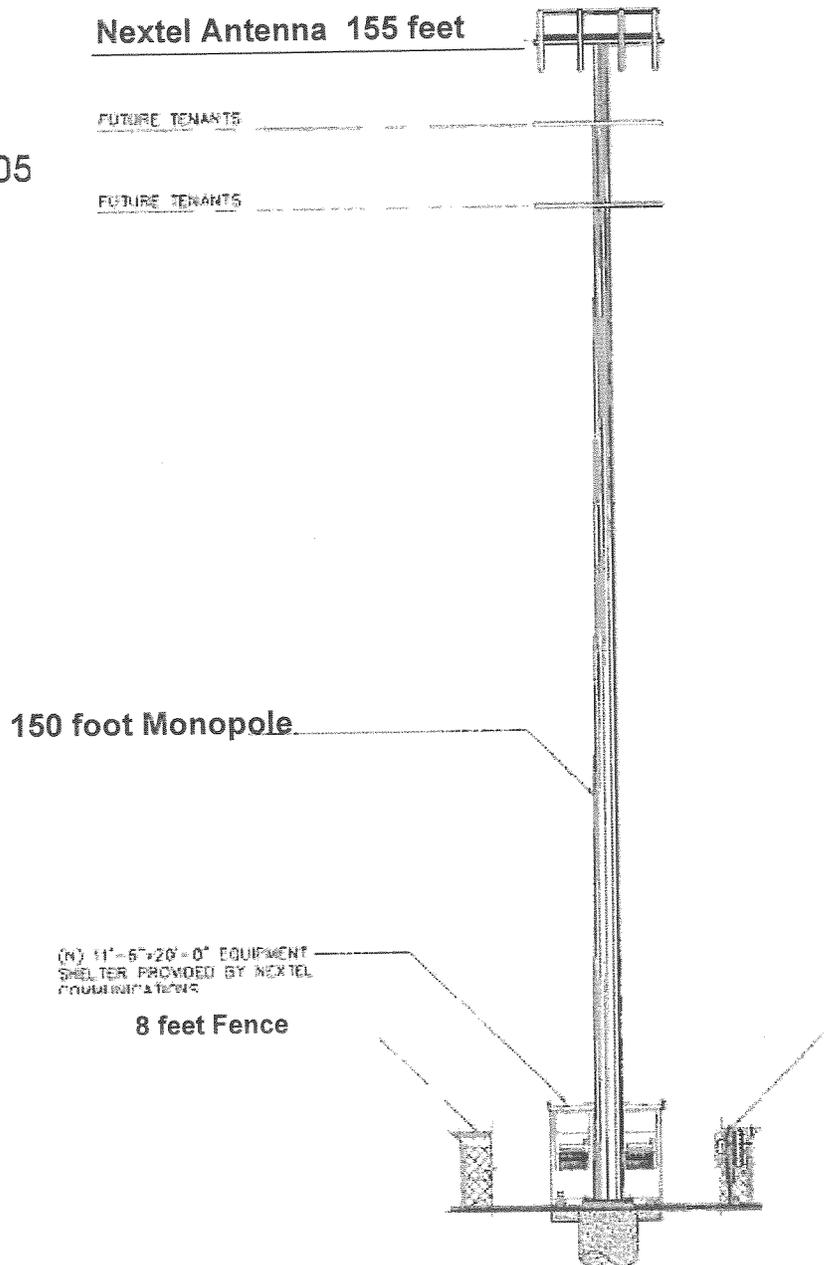
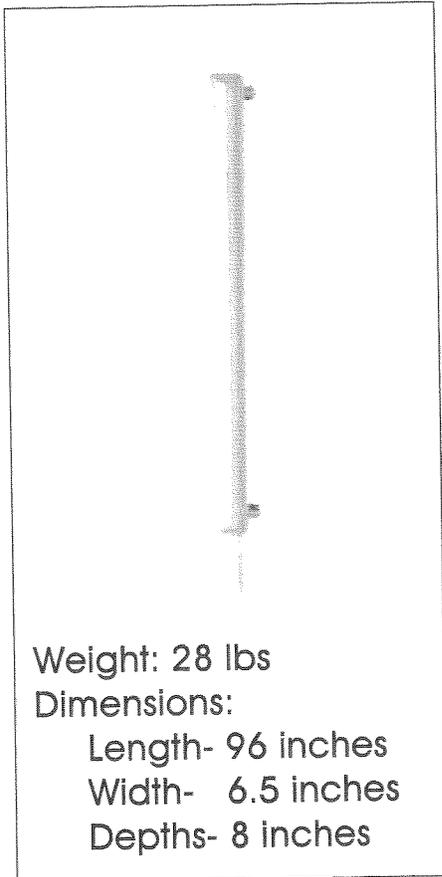


Tower

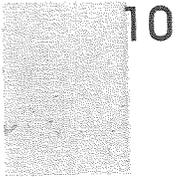
A 150 foot Monopole Tower with loading capacity for 3 antenna arrays similar to Nextel's proposed antenna configuration.

Antenna Installation

RAD Center: 155 Feet AGL
Quantity of Antennas: 12
Antenna Make: Decibel
Antenna Model: DB848H105



New Communication Tower Development Information



Site Plan

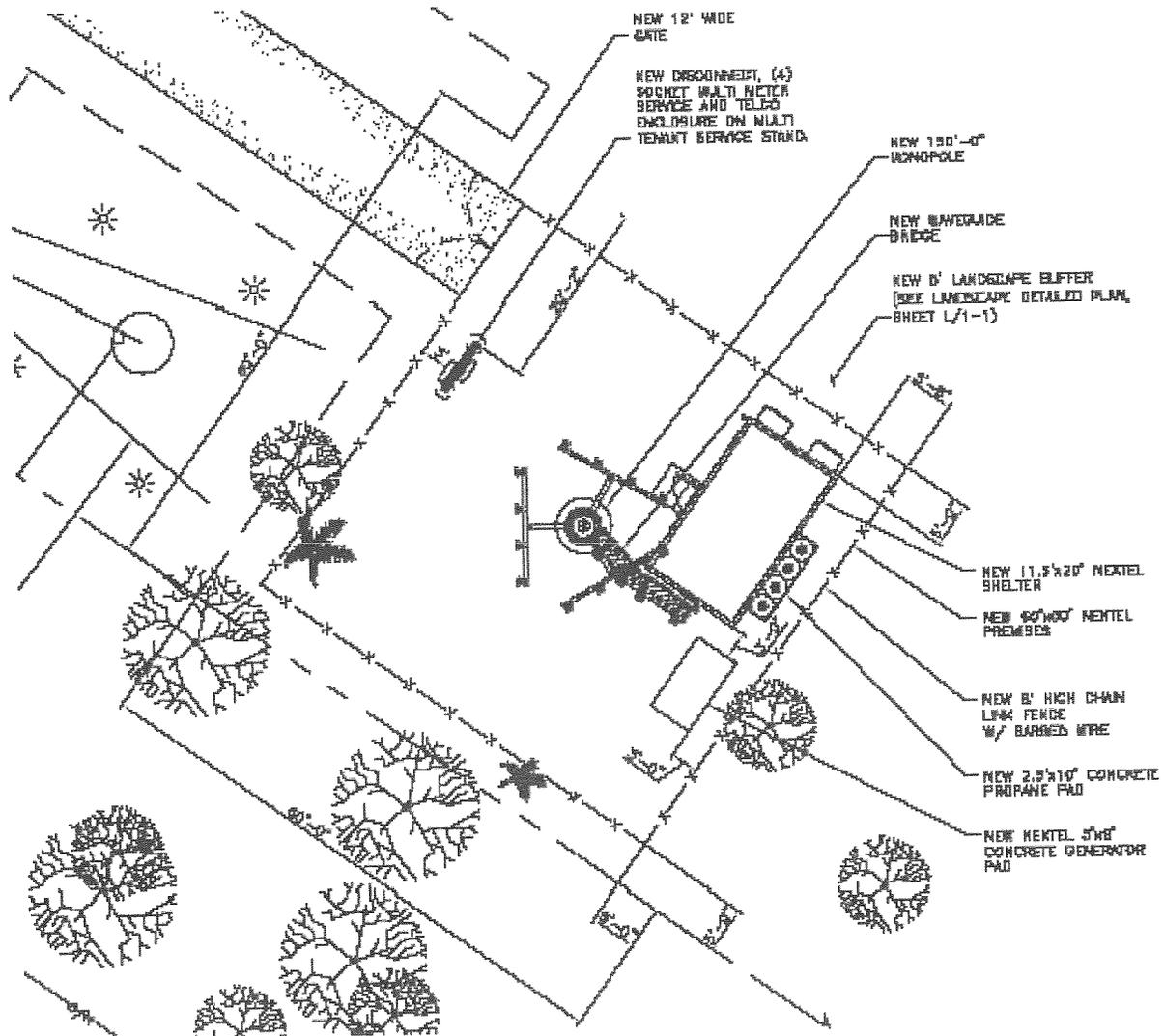
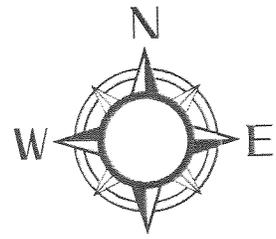
Leased Area of 60ft. X 60ft.

Fenced Area of 50 ft. x 50 ft. Height: 8ft. Type: Chain Link

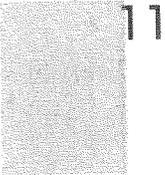
Landscape Buffer – 5 ft.

Tower Location – Approximately in the Center of the Compound/Leased Area

Equipment Shelter- 11.5ft. X 20ft Modular Building



New Communication Tower Development Information



Fencing

Installation of fence per 2224 FBC. The fence would be a minimum of 72 inches with 3 strands of double stranded barbed wire. Please see details below.

FENCE NOTES:

INSTALL FENCING PER 2224 FBC)

GATE POST, CORNER, TERMINAL OR PULL POST SHALL BE 2 7/8" SCHEDULE 40 FOR GATE WIDTHS UP THROUGH 6 FEET OR 12 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.

LINE POST: 2-3/8" SCHEDULE 40 PIPE PER ASTM-F1083.

GATE FRAME: 1 1/2" SCHEDULE 40 PIPE PER ASTM-F1083, & ASTM F900.

TOP RAIL & BRACE RAIL: 1 3/8" SCHEDULE 40 PIPE PER ASTM-F1083.

FABRIC: 2" MESH No. 9 GAGE GALVANIZED WIRE SECURELY FASTENED TO TENSION WIRE, LINEPOST, BARS CONFORMING TO ASTM-A392, & AASHTO M 181.

TIE WIRE: MINIMUM 11 GA GALVANIZED STEEL INSTALL A SINGLE WRAP TIE WIRE AT POSTS AND RAILS AT MAX. 12" INTERVALS VERT & 20" HORIZ. INSTALL HOG RINGS ON TENSION WIRE AT 20" INTERVALS.

TENSION WIRE: 7 GA. GALVANIZED STEEL.

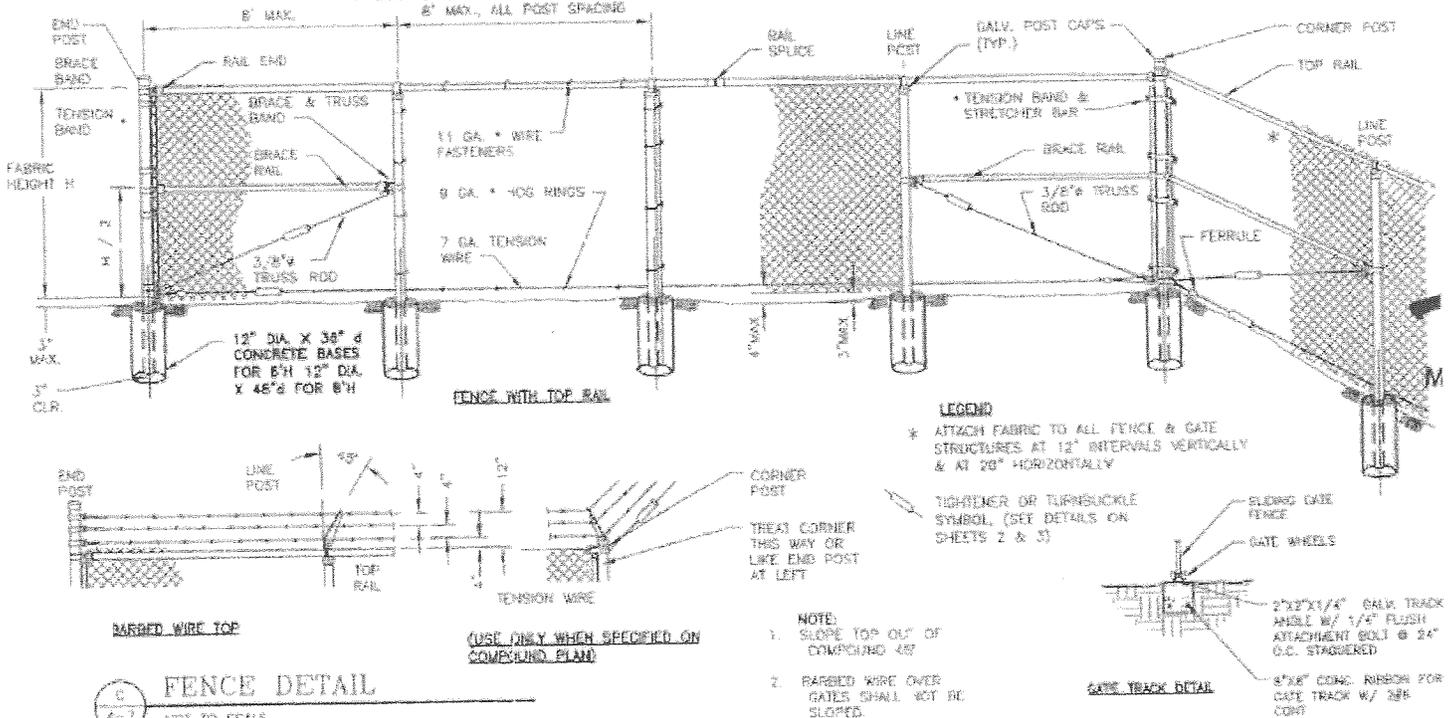
BARBED WIRE: 3 STRANDS OF DOUBLE STRANDED 12-1/2 GAUGE TWISTED WIRE, 4 FT. BARBS SPACED ON APPROXIMATELY 5" CENTERS CONFORMING TO AASHTO M 280.

GATE LATCH: SEE DETAIL A/A-7

LOCAL ORDINANCE FOR BARBED WIRE PERMIT SHALL GOVERN INSTALLATION.

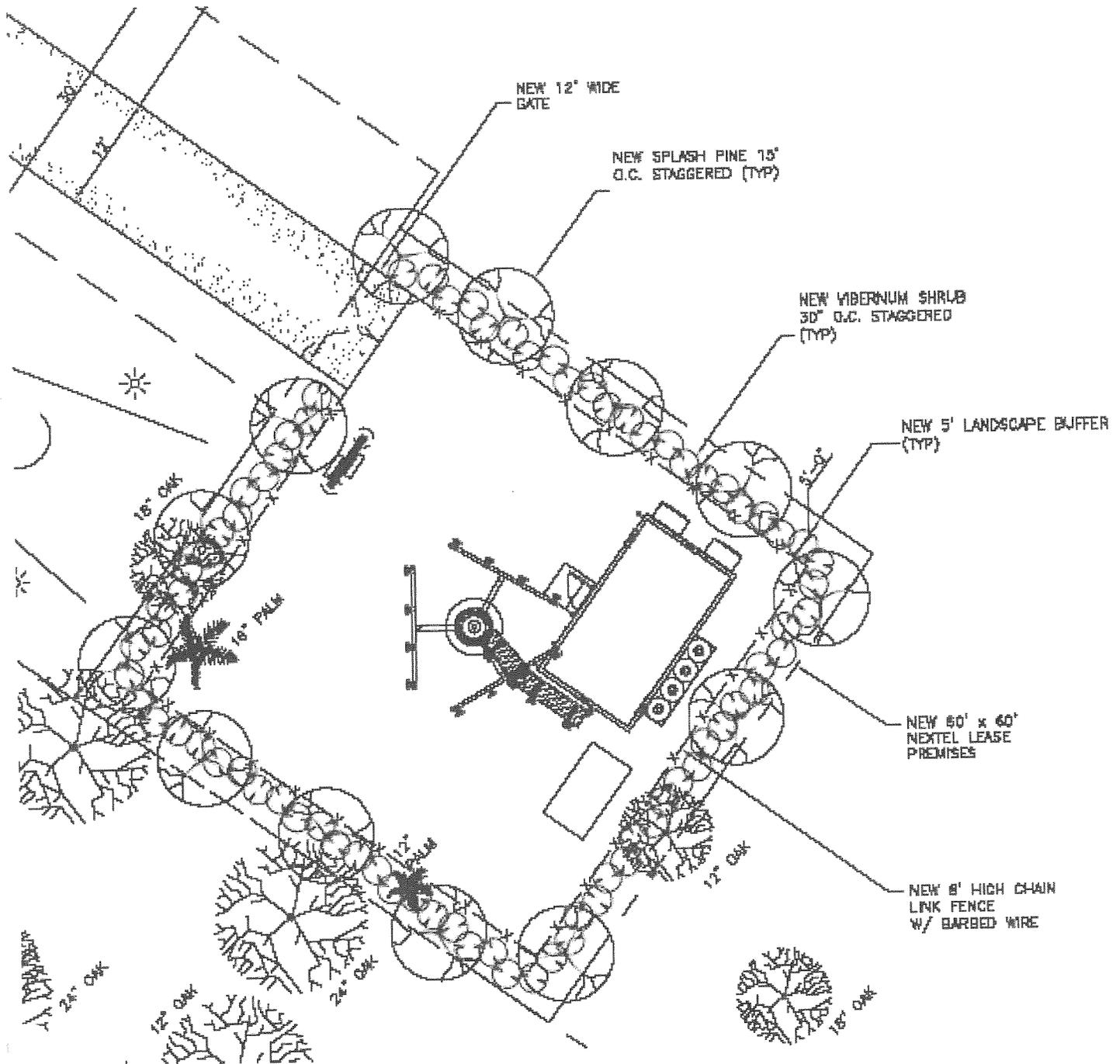
(HEIGHT OF FABRIC) SHALL BE AS SHOWN ON THE COMPOUND PLANS. 72"

MIN - 0.0" MAX - 8" MAX. ALL POST SPACING



New Communication Tower Development Information

Landscaping



New Communication Tower Development Information

13

Latitude and Longitude Coordinates

ADVANCED LAND SURVEYING AND MAPPING, INC.

GPS And Conventional Survey Services

FAA 1A CERTIFICATION
Project No: 164-0043

Date: January 04, 2005

RE: Nextel Communications North Sanford FL-3121
Located at : 845 15A Road
Sanford, Florida 32771

I certify that the Latitude of $28^{\circ}49'43.679''$ North and Longitude of $81^{\circ}19'19.775''$ West are accurate to within $\pm 3'$ or $(0.914m)$ horizontally and that the site elevation of $10.14'$ or $(3.09m)$ AMSL is accurate to within $\pm 3'$ or $(0.914m)$ vertically. the horizontal Datum (coordinates) are in terms of the North American Datum of 1983 (NAD-83) and expressed as degrees, minutes and seconds, to the nearest tenth or hundredth of a second. The vertical Datum (heights) are in terms of the National Geodetic Vertical Datum of 1929, and are determined to the nearest foot.


Kirk B. Mitchell P.S.M.

Florida Professional Land Surveyor No. 5682

Certificate of Authorization No. L.B. 6885

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED
SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

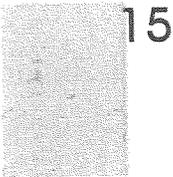
New Communication Tower Development Information

Photo Simulation

14



New Communication Tower Development Information



Environmental – NEPA

NEPA Compliance Checklist

April 1, 2005

Site Name: North Sanford
Site Number: FL3121
Site Address: 845 SR 15A, Sanford, FL 32771

- Yes No Pending Is the proposed facility located in an officially designated wilderness area?
- Yes No Pending Is the proposed facility located in an officially designated wildlife preserve?
- Yes No Pending Will the proposed facility likely affect threatened or endangered species or designated critical habitats?
- Yes No Pending Will the proposed facility likely jeopardize the continued existence of any proposed endangered or threatened species?
- Yes No Pending Will the proposed facility likely result in the destruction or adverse modification of critical habitats (as determined by the Endangered Species Act of 1973)?
- Yes No Pending Will the facility affect Native American religious sites?
- Yes No Pending Is the facility located in a flood plain?
- Yes No Pending Will construction of the proposed facility involve significant change in surface features (e.g., wetland fill, deforestation or water diversion)?
- Yes No Pending Will the facility be located in a residential area and require high intensity white lights by the FCC?

- Yes No Pending Will the facility affect districts, sites, buildings, structures or objects, significant in American History, architecture, archaeology, engineering or culture that are listed (or eligible for listing) in the National Register of Historic Places per Section 106 and subject to the State Historic Preservation Office?

If any of the above questions results in a "YES" answer, an Environmental Assessment must be prepared and filed with the FCC. Construction may not start on any of these sites prior to the receipt of a finding of no significant impact with the FCC.

New Communication Tower Development Information

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Environmental – Phase I Summary

Damiano Long Engineering & Planning LLC

EXECUTIVE SUMMARY

Damiano Long Engineering & Planning, LLC has conducted this Phase I Environmental Site Assessment (ESA) at the request of Eric Pogoda of Nextel Communications. The assessment was performed on the following property, hereafter referred to as "the site", or "the subject property":

Site Name: North Sanford
Site Number: FL 3121
Site Address: 845 SR 15A, Sanford, FL 32771
Prospective Lessor: Rand Yard Railway Dev., Inc

The inspection was performed by Jason M. Turner, Environmental Scientist on December 16, 2004. In conducting this ESA, Damiano Long has adhered to the standards set forth in ASTM E-1527-00, The Standard Practice for Environmental Site Assessments.

The purpose of the assessment was to identify any recognized environmental conditions on the subject property. The term recognized environmental conditions means the presence or likely presence of any hazardous substances or petroleum products on a property under conditions that indicate an existing release, a past release, or a material threat of a release of any hazardous substances or petroleum products into structures on the property or into the ground, groundwater, or surface water of the property. The term includes hazardous substances or petroleum products even under conditions in compliance with laws.

The subject of this Phase I assessment is a property identified as 845 SR 15A, Sanford, Florida. The site is located northeast of the intersection of Monroe Road and Orange Boulevard north of the railroad tracks. Access to the site is achieved via parking on the dirt drive off of Monroe Road. A swale is located 60 feet to the west of the site. A sparsely wooded grassy area was observed to the north and east. Railroad tracks are directly to the south running in an east west direction. The greater surrounding vicinity can best be described as commercial and residential properties and vacant land. Conclusions of this Phase I Site Assessment can be found in Section 9.0 of this report.

9.0 CONCLUSIONS

We have performed a Phase I Environmental Site Assessment of FL3121, North Sanford, 845 SR 15A, Sanford, Seminole County, Florida, 32771 in conformance with the scope and limitations of the Agreement between Nextel and Damiano Long Engineering & Planning, LLC and ASTM Standard E-1527-00. Any exceptions to, or deletions from, this practice are described in Section 1 of this report. This assessment has revealed no evidence of recognized environmental conditions in connection with the subject property.

New Communication Tower RF Site Criteria

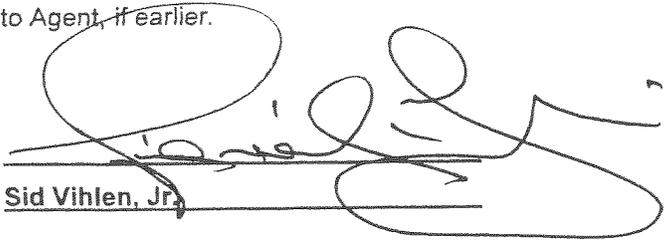
17

Statement of No Collocation Opportunity

1. Collocation Opportunity: After a query of tower databases and several drive-by surveys, the Nextel team could not identify any tower structure within a tolerable range from the designed Search Ring.
2. Roof-top/Tall Structure: A site drive of the area shows no tall buildings.
3. Property for New Tower: This is the only viable option for Nextel to enhance and improve the capacity of its network. The property selected is near the original search ring. The land owner is contracted to lease the property. The surrounding property uses and zoning are industrial and commercial. There are no nearby residential zoning districts.

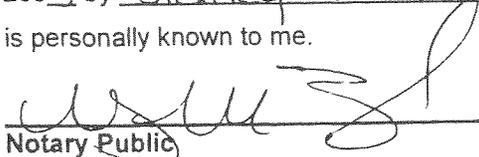
Letter of Limited Agency

I, Sid Vihlen Jr., hereby grant and authorize to **Franco Lugo and Chad Caudill**, of Charlie Craig and Associates, LLC ("Agent"), the authority to represent Nextel Communications, as agent for Nextel Communications in connection with filing for zoning / building / electrical / historical / landscape, and any / all other required permits and/ or jurisdictional approvals, required by The City of Sanford, County of Seminole, Florida in connection with the construction of telecommunications facilities at the following location [845 State Road 15A, Sanford, FL 32771]. The agency and authority granted hereby shall expire on August 30th 2006, or upon written notice to Agent, if earlier.



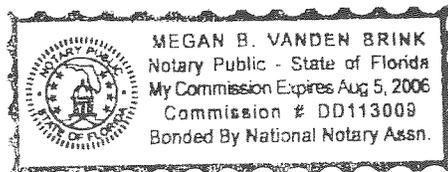
Sid Vihlen, Jr.

The foregoing instrument was acknowledged before me this 4 day of August, 2005 by Sidney L Vihlen, for and on behalf of Nextel South Corp., who is personally known to me.



Notary Public

SEAL



July 19th, 2005

Carolyn V. Wilkinson
T-Mobile
3111 West Dr. Martin Luther King Blvd.
Suite 400
Tampa, FL 33607
813-348-2505

Re: Nextel Communications new telecommunications site

Ms. Wilkinson:

Please be advised that Nextel Communications, Inc. is proposing to build a new tower located at N28° 49' 43.879" / W81° 19' 19.775", 845 S.R. 15A, Sanford, FL 32771, Seminole County, Florida.

The telecommunications facility will consist of a 150' Monopole tower with Nextel Communications occupying the 150' RCL, it will support up to 3 additional carriers, and the compound area is approximately 60' x 60' (3600 square feet).

Please contact Marie Tirrell with Nextel Communications at (307) 433-8537 or marie.tirrell@nextel.com for collocation information.

Thanks,

Nextel Communications

July 19th, 2005

Jan Lapolito
Verizon Wireless
100 Tampa Oaks Blvd.
Temple Terrace, FL 33637

Re: Nextel Communications new telecommunications site

Ms. Lapolito:

Please be advised that Nextel Communications, Inc. is proposing to build a new tower located at N28° 49' 43.879" / W81° 19' 19.775", 845 S.R. 15A, Sanford, FL 32771, Seminole County, Florida.

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Please contact Marie Tirrell with Nextel Communications at (307) 433-8537 or marie.tirrell@nextel.com for collocation information.

Thanks,

Nextel Communications

July 19th, 2005

Cingular
Michael S. Brown
15814 Muirfield Drive
Odessa, FL 33556-2857
813-376-3591

Re: Nextel Communications new telecommunications site

Mr. Brown:

Please be advised that Nextel Communications, Inc. is proposing to build a new tower located at N28° 49' 43.879" / W81° 19' 19.775", 845 S.R. 15A, Sanford, FL 32771, Seminole County, Florida.

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Please contact Marie Tirrell with Nextel Communications at (307) 433-8537 or marie.tirrell@nextel.com for collocation information.

Thanks,

Nextel Communications

July 19th, 2005

Sprint
Michael A. Curry
6120 Powers Ferry Road NW
Suite 200
Atlanta, GA 30339
404-948-3164

Re: Nextel Communications new telecommunications site

Mr. Curry:

Please be advised that Nextel Communications, Inc. is proposing to build a new tower located at N28° 49' 43.879" / W81° 19' 19.775", 845 S.R. 15A, Sanford, FL 32771, Seminole County, Florida.

The telecommunications facility will consist of a 150' Monopole tower with Nextel Communications occupying the 150' RCL, it will support up to 3 additional carriers, and the compound area is approximately 60' x 60' (3600 square feet).

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Thanks,

Nextel Communications

NEXTEL®

**NORTH SANFORD
SITE ID#: FL3121A
845 S.R. 15A
SANFORD, FL 32771
SEMINOLE COUNTY**

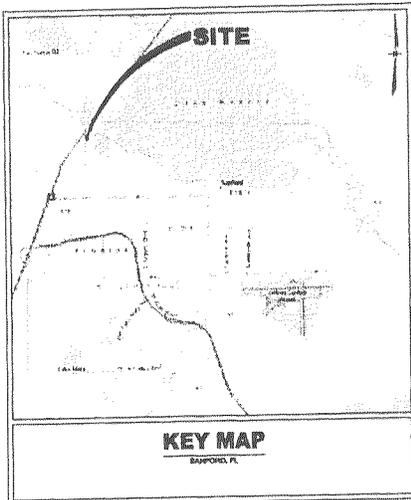
DL DANIEL, JANE & IV
3025 HENDERSON BL.
JACKSONVILLE, FL 32206
TEL (904) 397-2099 FAX (904) 397-0890

NEXTEL®
NEXTEL COMMUNICATIONS
851 TRAFALGAR CIRCLE SUITE 2000
RAITLAND, FL 32781-7425
OFFICE (407) 528-5288
FAX (407) 528-5400

SAC :
CONST :
RF :
A&E :

SCHEDULE OF SERVICES

7	
8	
9	
10	
11	
12	
1	TYPING ISSUES FOR REVISION
2	TYPING ISSUES FOR CONSTRUCTION
3	REV. DAYS DESCRIPTION OF CHANGES
4	SCALE AS NOTED
5	CHECKED BY: SAC
6	JOB NO. 000-00000700
7	PRINT ISSUE: TYPING
8	PRINT DATE: TYPING

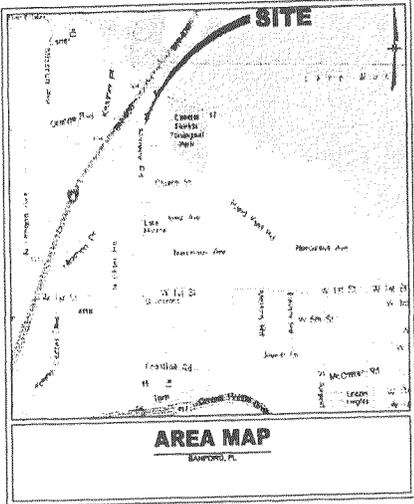


SITE LOCATION INFORMATION

SITE I.D.:	FL3121A
SITE NAME:	NORTH SANFORD
SITE ADDRESS:	BOX 8.6, 10A SANFORD, FL 32771
LEGAL EJECTA:	800 HOLE DRIVE
CONVEYOR INSTR. NO.:	BOOK A-1 AND C-8
SITE COORDINATES:	S 26° 42' 48.13" W 81° 10' 10.71" MAG 03
PROPERTY OWNER:	GAINES TRAIL RAILROAD DEVELOPMENT, INC. 204 S. FAIRWAY AVE. SUITE 100 SANFORD, FL 32771
APPLICANT:	NEXTEL COMMUNICATIONS 851 TRAFALGAR CIRCLE RAITLAND, FL 32781-7425
CONTACT:	DR. VANCE WILSON (407) 528-5288
POWER COMPANY:	FL SEVING BLISS (888) 578-0404
TELECOM COMPANY:	BELL SOUTH DANIEL, JANE & IV (407) 528-5288

SHEET INDEX

SHEET NO.	SHEET DESCRIPTION	ISSUE
T-1	TITLE SHEET	1
---	SURVEY	---
C-1	SITE PLAN	1
C-1.1	SITE PLAN	1
C-2	DETAILED PLAN & ELEVATION	1
C-3	CONSTRUCTION DETAILS AND NOTES	1
C-4	CONSTRUCTION DETAILS AND NOTES	1
C-5	CONSTRUCTION DETAILS AND NOTES	1
C-6	CONSTRUCTION DETAILS AND NOTES	1
A-1	ANTENNA PLAN DETAILS & NOTES	1
E-1	ELECTRICAL NOTES	1
G-3	ELECTRICAL PLAN & DETAILS	1
G-1	GROUNDING NOTES	1
G-2	GROUNDING PLAN & DETAILS	1
L-1	LANDSCAPE DETAILS & NOTES	1
L-2	LANDSCAPE DETAILS & NOTES	1



DIRECTIONS:
FROM ORLANDO: TAKE I-4 EAST 21 MILES TO EXIT 104 GOING EAST ON S.R. 431/ ORANGE BLVD. TAKE A LEFT ONTO S.R. 15 GOING OVER RAILROAD TRACKS. IMMEDIATELY TURN RIGHT ONTO ACCESS ROAD ALONG R.R. TRACKS. SITE LOCATED ON THE LEFT, EAST OF THE BILLBOARD.

APPROVALS

SAC: _____
SAC: _____
OPER: _____
CR: _____
RF: _____
CONST: _____
A&E: _____

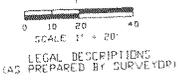
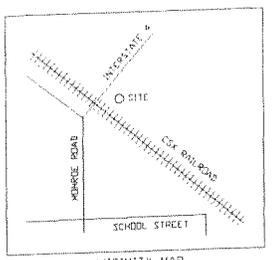
**NORTH SANFORD
SITE ID#: FL3121A
845 S.R. 15A
SANFORD, FL 32771
SEMINOLE COUNTY**

TITLE SHEET

T-1

SHEET NO. 1 OF 18

[Handwritten Signature]
DATE: 8/3/05



LEGAL DESCRIPTIONS (AS PREPARED BY SURVEYOR)

NEXTEL COMMUNICATIONS INFRESCO/EGRESS AND UTILITY EASEMENT NORTH SANFORD FL-3121
 A PORTION OF THE SOUTH 1/2 OF LOT 13, LYING NORTH OF ATLANTIC COAST LINE RAILROAD RIGHT OF WAY, OF FLORIDA LAND AND COLONIZATION COMPANY LIMITED, AS SHOWN IN BEARWELL'S MAP OF 27 JACOBS' ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 114, OF THE PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA, LYING IN SECTION 23, TOWNSHIP 19 SOUTH, RANGE 30 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCE AT THE INTERSECTION OF THE EASTERN RIGHT OF WAY LINE OF INTERSTATE 4 AND THE NORTHERLY RIGHT OF WAY LINE OF THE CSX (FORMERLY AEC) RAILROAD RIGHT OF WAY LINE, THENCE NORTH 35°26'25" EAST, ALONG SAID EASTERN RIGHT OF WAY LINE, A DISTANCE OF 3100 FEET, TO THE POINT OF BEGINNING; THENCE SOUTHWEST, CORNER LINE, A DISTANCE OF 3100 FEET, TO THE POINT OF BEGINNING; THENCE NORTH 35°26'25" EAST, ALONG SAID EASTERN RIGHT OF WAY LINE, A DISTANCE OF 2000 FEET; THENCE DEPARTING SAID EASTERN RIGHT OF WAY LINE, SOUTH 54°47'42" EAST, A DISTANCE OF 6770 FEET; THENCE SOUTH 35°26'25" WEST, A DISTANCE OF 3000 FEET; THENCE NORTH 54°47'42" WEST, A DISTANCE OF 6770 FEET TO THE POINT OF BEGINNING.
 CONTAINING 23446 ACRES OR 2031 SQUARE FEET, MORE OR LESS.

NEXTEL COMMUNICATIONS LEASE PARCEL NORTH SANFORD FL-3121
 A PORTION OF THE SOUTH 1/2 OF LOT 13, LYING NORTH OF ATLANTIC COAST LINE RAILROAD RIGHT OF WAY, OF FLORIDA LAND AND COLONIZATION COMPANY LIMITED, AS SHOWN IN BEARWELL'S MAP OF 27 JACOBS' ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 114, OF THE PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA, LYING IN SECTION 23, TOWNSHIP 19 SOUTH, RANGE 30 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCE AT THE INTERSECTION OF THE EASTERN RIGHT OF WAY LINE OF INTERSTATE 4 AND THE NORTHERLY RIGHT OF WAY LINE OF THE CSX (FORMERLY AEC) RAILROAD RIGHT OF WAY LINE, THENCE NORTH 35°26'25" EAST, ALONG SAID EASTERN RIGHT OF WAY LINE, A DISTANCE OF 6700 FEET; THENCE DEPARTING SAID EASTERN RIGHT OF WAY LINE, SOUTH 54°47'42" EAST, A DISTANCE OF 6770 FEET; THENCE SOUTH 35°26'25" WEST, A DISTANCE OF 700 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 54°47'42" WEST, A DISTANCE OF 6000 FEET; THENCE SOUTH 35°26'25" WEST, A DISTANCE OF 6000 FEET; THENCE NORTH 54°47'42" WEST, A DISTANCE OF 6000 FEET; THENCE NORTH 35°26'25" EAST, A DISTANCE OF 6000 FEET TO THE POINT OF BEGINNING.
 CONTAINING 65824 ACRES OR 3590 SQUARE FEET, MORE OR LESS.

SURVEYOR'S NOTES

- THIS IS A BOUNDARY SURVEY OF THE NEXTEL COMMUNICATIONS LEASE PARCEL. THE PARENT TRACT INFORMATION CHOWN HEREIN IS BASED ON A BOUNDARY SURVEY PREPARED BY WALTER J. HUGHES, JR., DATED NOVEMBER 20, 2000.
- FOR INFORMATIONAL PURPOSES ONLY, THE NEXTEL COMMUNICATIONS LEASE PARCEL DESCRIBED HEREIN LIES ENTIRELY WITHIN THE DESCRIBED PARENT TRACT.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH.
- BEARINGS CHOWN HEREIN ARE ASSUMED AND BASED ON THE NORTHERLY RIGHT OF WAY LINE OF CSX RAILROAD BEING SOUTH 54°47'42" EAST PER ABOVE REFERENCED SURVEY (SEE NOTE 1).
- UNDERGROUND UTILITIES AND IMPROVEMENTS HAVE NOT BEEN LOCATED.
- INTERIOR IMPROVEMENTS HAVE NOT BEEN LOCATED.
- AFTER REVIEW OF FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 1213C, DATED APRIL 17, 1995, THE NEXTEL COMMUNICATIONS LEASE PARCEL DESCRIBED HEREIN LIES PARTIALLY IN ZONE "X" AREAS OF 200-YEAR FLOOD AREAS OF LESS THAN 1 FOOT DEPTH OR WITH DRAINAGE EQUIPMENT FLEED WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOODS AND PARTIALLY IN ZONE "X" SPECIAL FLOOD HAZARD AREAS INHABITED BY 100-YEAR FLOOD, BASE FLOOD ELEVATION UNDETERMINED.
- CEX BEARINGS CALCULATED; (P) BEARINGS FIELD MEASURED; (M) BEARINGS PLAT; (G) BEARINGS CALCULATED.
- GEODETIC AND VERTICAL INFORMATION CHOWN HEREIN IS BASED ON GPS OBSERVATIONS PERFORMED USING A GPS STATION IDENTIFICATION 14 71 413, DATED 1995, ELEVATION=5525 FEET (NGVD83), CITE BEARWELL'S MAP OF 27 JACOBS' ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 114, OF THE PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA. ALL ELEVATIONS CHOWN HEREIN ARE ABOVE MEAN SEA LEVEL (MSL).
- ALL GEODETIC AND VERTICAL DATA DERIVED HEREIN IS WITHIN THE 1" ACCURACY TOLERANCE AS SET FORTH BY THE F.A.A.
- THE DISTANCE TO THE NEAREST ADJACENT RESIDENCE IS GREATER THAN 100 FEET.

SURVEYOR'S CERTIFICATION
 I, HEREBY CERTIFY THAT THIS BOUNDARY SURVEY PERFORMED ON JANUARY 04, 2006, IS IN ACCORDANCE WITH THE TECHNICAL STANDARDS AS REQUIRED BY CHAPTER 68G17-6, FLORIDA ADMINISTRATIVE CODE.

WALTER J. HUGHES, JR., P.E., L.S. NO. 5682
 CERTIFICATE OF AUTHORIZATION NO. L.S. 6880
 NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RANDED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

LINE TABLE

COURSE	BEARING	DISTANCE
11	N 35°26'25"E	3000
12	S 54°47'42"W	6770
13	S 35°26'25"W	3000
14	N 54°47'42"W	6770
15	S 35°26'25"W	700
16	S 54°47'42"W	6000
17	S 35°26'25"W	6000
18	N 54°47'42"W	6000
19	N 35°26'25"E	6000

LEGAL DESCRIPTION (AS PROVIDED BY CLIENT)

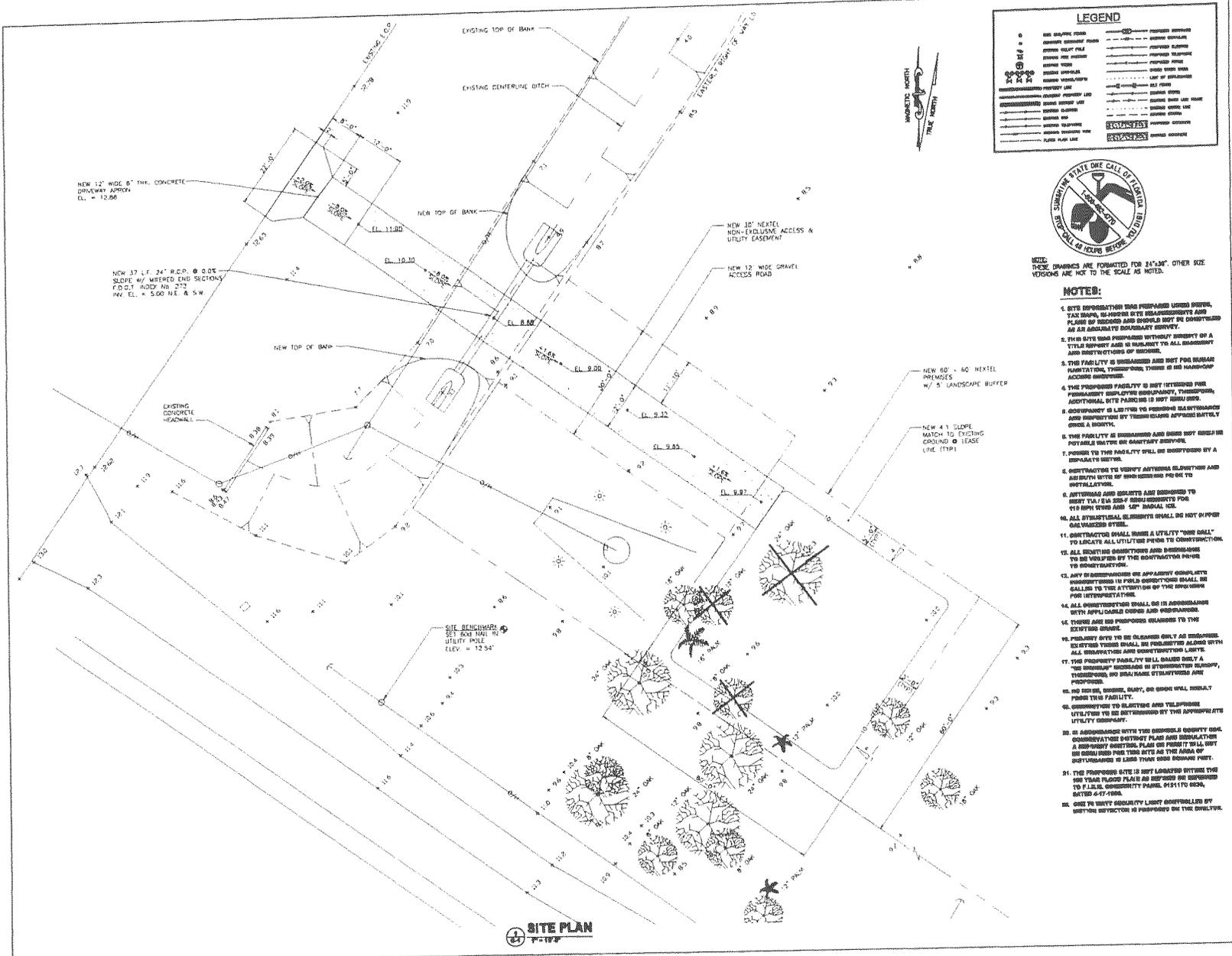
PARENT TRACT
 ALL OF THE SOUTH HALF OF LOT 13, AND LOT 25, LYING NORTH OF ATLANTIC COAST LINE RAILROAD RIGHT OF WAY, OF FLORIDA LAND AND COLONIZATION COMPANY LIMITED, AS SHOWN IN BEARWELL'S MAP OF 27 JACOBS' ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 114, OF THE PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA, LESS THE LAND DESCRIBED IN DEED FROM PARTIES OF THE FIRST PART TO STATE ROAD 20, DEPARTMENT OF THE STATE OF FLORIDA, DATED AUGUST 20, 1928, RECORDED IN OFFICIAL RECORDS BOOK 184, PAGE 388, OF THE PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA.

REVISIONS			
DATE	BY	DESCRIPTION	DATE

ADVANCED LAND SURVEYING & MAPPING
 700 EAST MICHIGAN STREET
 ORLANDO, FLORIDA 32804
 PHONE (407) 562-2705
 FAX (407) 340-0199

BOUNDARY SURVEY PREPARED FOR NEXTEL COMMUNICATIONS
 NORTH SANFORD FL-3121
 A PORTION OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 30 EAST, SEMINOLE COUNTY, FLORIDA

DATE	JANUARY 04, 2006
BY	WALTER J. HUGHES, JR.
PROJECT NO.	14A-0604
DATE	JANUARY 04, 2006



LEGEND

0	SEE GRAPHIC SCALE	---	EXISTING DRAINAGE
1	EXISTING CENTERLINE	---	PROPOSED DRAINAGE
2	EXISTING PROPERTY LINE	---	PROPOSED PROPERTY LINE
3	EXISTING TOP OF BANK	---	PROPOSED TOP OF BANK
4	EXISTING CENTERLINE DITCH	---	PROPOSED CENTERLINE DITCH
5	EXISTING CONCRETE HEADWALL	---	PROPOSED CONCRETE HEADWALL
6	EXISTING DRIVEWAY APPROX	---	PROPOSED DRIVEWAY APPROX
7	EXISTING GRAVEL ACCESS ROAD	---	PROPOSED GRAVEL ACCESS ROAD
8	EXISTING UTILITY POLE	---	PROPOSED UTILITY POLE
9	EXISTING TREE	---	PROPOSED TREE
10	EXISTING FENCE	---	PROPOSED FENCE
11	EXISTING SIGN	---	PROPOSED SIGN
12	EXISTING LIGHT	---	PROPOSED LIGHT
13	EXISTING WALL	---	PROPOSED WALL
14	EXISTING CURB	---	PROPOSED CURB
15	EXISTING DRIVEWAY	---	PROPOSED DRIVEWAY
16	EXISTING SIDEWALK	---	PROPOSED SIDEWALK
17	EXISTING PAVEMENT	---	PROPOSED PAVEMENT
18	EXISTING ASPHALT	---	PROPOSED ASPHALT
19	EXISTING GRAVEL	---	PROPOSED GRAVEL
20	EXISTING SAND	---	PROPOSED SAND
21	EXISTING SOIL	---	PROPOSED SOIL
22	EXISTING ROCK	---	PROPOSED ROCK
23	EXISTING VEGETATION	---	PROPOSED VEGETATION
24	EXISTING OBSTRUCTION	---	PROPOSED OBSTRUCTION
25	EXISTING ELEVATION	---	PROPOSED ELEVATION
26	EXISTING DISTANCE	---	PROPOSED DISTANCE
27	EXISTING AREA	---	PROPOSED AREA
28	EXISTING PERCENT	---	PROPOSED PERCENT
29	EXISTING RATIO	---	PROPOSED RATIO
30	EXISTING ANGLE	---	PROPOSED ANGLE
31	EXISTING BEARING	---	PROPOSED BEARING
32	EXISTING CURVATURE	---	PROPOSED CURVATURE
33	EXISTING CHORD	---	PROPOSED CHORD
34	EXISTING ARC	---	PROPOSED ARC
35	EXISTING SEGMENT	---	PROPOSED SEGMENT
36	EXISTING POINT	---	PROPOSED POINT
37	EXISTING LINE	---	PROPOSED LINE
38	EXISTING SURFACE	---	PROPOSED SURFACE
39	EXISTING VOLUME	---	PROPOSED VOLUME
40	EXISTING WEIGHT	---	PROPOSED WEIGHT
41	EXISTING FORCE	---	PROPOSED FORCE
42	EXISTING ENERGY	---	PROPOSED ENERGY
43	EXISTING POWER	---	PROPOSED POWER
44	EXISTING CAPACITY	---	PROPOSED CAPACITY
45	EXISTING EFFICIENCY	---	PROPOSED EFFICIENCY
46	EXISTING PRODUCTIVITY	---	PROPOSED PRODUCTIVITY
47	EXISTING QUALITY	---	PROPOSED QUALITY
48	EXISTING QUANTITY	---	PROPOSED QUANTITY
49	EXISTING RISK	---	PROPOSED RISK
50	EXISTING IMPACT	---	PROPOSED IMPACT
51	EXISTING INFLUENCE	---	PROPOSED INFLUENCE
52	EXISTING INTERACTION	---	PROPOSED INTERACTION
53	EXISTING RELATIONSHIP	---	PROPOSED RELATIONSHIP
54	EXISTING CONNECTION	---	PROPOSED CONNECTION
55	EXISTING LINKAGE	---	PROPOSED LINKAGE
56	EXISTING NETWORK	---	PROPOSED NETWORK
57	EXISTING SYSTEM	---	PROPOSED SYSTEM
58	EXISTING FRAMEWORK	---	PROPOSED FRAMEWORK
59	EXISTING STRUCTURE	---	PROPOSED STRUCTURE
60	EXISTING INFRASTRUCTURE	---	PROPOSED INFRASTRUCTURE
61	EXISTING FACILITY	---	PROPOSED FACILITY
62	EXISTING INSTALLATION	---	PROPOSED INSTALLATION
63	EXISTING OPERATION	---	PROPOSED OPERATION
64	EXISTING MAINTENANCE	---	PROPOSED MAINTENANCE
65	EXISTING REPLACEMENT	---	PROPOSED REPLACEMENT
66	EXISTING REPAIR	---	PROPOSED REPAIR
67	EXISTING RESTORATION	---	PROPOSED RESTORATION
68	EXISTING PRESERVATION	---	PROPOSED PRESERVATION
69	EXISTING PROTECTION	---	PROPOSED PROTECTION
70	EXISTING DEFENSE	---	PROPOSED DEFENSE
71	EXISTING SECURITY	---	PROPOSED SECURITY
72	EXISTING SAFETY	---	PROPOSED SAFETY
73	EXISTING HEALTH	---	PROPOSED HEALTH
74	EXISTING WELLNESS	---	PROPOSED WELLNESS
75	EXISTING FITNESS	---	PROPOSED FITNESS
76	EXISTING VITALITY	---	PROPOSED VITALITY
77	EXISTING STRENGTH	---	PROPOSED STRENGTH
78	EXISTING ENDURANCE	---	PROPOSED ENDURANCE
79	EXISTING RESILIENCE	---	PROPOSED RESILIENCE
80	EXISTING ADAPTABILITY	---	PROPOSED ADAPTABILITY
81	EXISTING FLEXIBILITY	---	PROPOSED FLEXIBILITY
82	EXISTING AGILITY	---	PROPOSED AGILITY
83	EXISTING SWIFTNESS	---	PROPOSED SWIFTNESS
84	EXISTING ALACRITY	---	PROPOSED ALACRITY
85	EXISTING VELOCITY	---	PROPOSED VELOCITY
86	EXISTING RAPIDITY	---	PROPOSED RAPIDITY
87	EXISTING Celerity	---	PROPOSED CELERITY
88	EXISTING Promptness	---	PROPOSED PROMPTNESS
89	EXISTING Dispatch	---	PROPOSED DISPATCH
90	EXISTING Expedition	---	PROPOSED EXPEDITION
91	EXISTING Despatch	---	PROPOSED DESPATCH
92	EXISTING Velocity	---	PROPOSED VELOCITY
93	EXISTING Rapidity	---	PROPOSED RAPIDITY
94	EXISTING Alacrity	---	PROPOSED ALACRITY
95	EXISTING Swiftness	---	PROPOSED SWIFTNES
96	EXISTING Agility	---	PROPOSED AGILITY
97	EXISTING Swiftly	---	PROPOSED SWIFTLY
98	EXISTING Alacritly	---	PROPOSED ALACRITLY
99	EXISTING Velocitly	---	PROPOSED VELOCITLY
100	EXISTING Rapiditly	---	PROPOSED RAPIDITLY



NOTE: THESE DIMENSIONS ARE FORMATED FOR 24"X36" OTHER SIZE VEHICLES ARE NOT TO THE SCALE AS NOTED.

NOTED:

1. SITE REPRESENTATIVE SHALL PROVIDE LATEST PAVED, TAX MAPS, RECORDS OF TITLE ENCUMBRANCES AND PLANS OF RECORDS AND SHOULD NOT BE CONSIDERED AS AN INDEPENDENT BOUNDARY SURVEY.
2. THIS SITE WAS PROVIDED WITHOUT WARRANTY OF A TITLE SURVEY AND IS SUBJECT TO ALL ENCUMBRANCES AND RESTRICTIONS OF RECORDS.
3. THE FACILITY IS UNLICENSED AND NOT FOR HUMAN HABITATION. THEREFORE, THERE IS NO HAZARDOUS WASTE HANDLING.
4. THE PROPOSED FACILITY IS NOT INTENDED FOR PERMANENT INSTALLATION. THEREFORE, THE PROPOSED FACILITY SHALL BE REMOVED BY THE CONTRACTOR AT THE END OF THE PROJECT.
5. ACCORDANCE IS TO BE MAINTAINED WITH ALL APPLICABLE REGULATIONS AND ORDINANCES OF THE JURISDICTION OF THE PROJECT.
6. THE FACILITY IS UNLICENSED AND SHALL NOT BE USED FOR ANY OTHER PURPOSES OR ACTIVITIES.
7. CONSTRUCTION OF THE FACILITY SHALL BE SUPERVISED BY A LICENSED ENGINEER.
8. CONTRACTOR TO VERIFY ANYTHING ELONGATION AND ADJUSTIVE BY THE CONTRACTOR PRIOR TO INSTALLATION.
9. UTILITIES AND RECORDS ARE TO BE MAINTAINED TO BE MAINTAINED AND TO BE MAINTAINED FOR THE PROJECT.
10. ALL STRUCTURAL ELEMENTS SHALL BE MAINTAINED TO BE MAINTAINED AND TO BE MAINTAINED FOR THE PROJECT.
11. CONTRACTOR SHALL MAINTAIN A UTILITY "ONE CALL" TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
12. ALL UTILITIES CONTRACTORS AND ENGINEERS TO BE MAINTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
13. ALL UTILITIES CONTRACTORS SHALL BE MAINTAINED TO BE MAINTAINED AND TO BE MAINTAINED FOR THE PROJECT.
14. ALL UTILITIES CONTRACTORS SHALL BE MAINTAINED TO BE MAINTAINED AND TO BE MAINTAINED FOR THE PROJECT.
15. THERE ARE NO PROPOSED CHANGES TO THE EXISTING GRASS.
16. PUBLICITY AND TO BE MAINTAINED ONLY AS MAINTAINED BY THE CONTRACTOR AND TO BE MAINTAINED FOR THE PROJECT.
17. THE PROPOSED FACILITY SHALL BE MAINTAINED TO BE MAINTAINED AND TO BE MAINTAINED FOR THE PROJECT.
18. CONSTRUCTION SHALL BE MAINTAINED TO BE MAINTAINED AND TO BE MAINTAINED FOR THE PROJECT.
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LANE LANE
 2828 HENDERSON ST.
 JACKSONVILLE, FL 32216
 TEL: (904) 887-0888 FAX: (904) 887-0888

NEXTEL
 NEXTEL COMMUNICATIONS
 881 TRAPALGAR CIRCLE SUITE 3000
 BAYLAND, FL 32714-7000
 OFFICE: (407) 838-8286
 FAX: (407) 838-8408

SAC: _____
 CONST: _____
 RF: _____
 A&R: _____

SCHEDULE OF REVISIONS

NO.	DATE	DESCRIPTION
1	1/1/00	ISSUED FOR PERMIT
2	1/1/00	ISSUED FOR CONSTRUCTION
3	1/1/00	ISSUED FOR CONSTRUCTION
4	1/1/00	ISSUED FOR CONSTRUCTION
5	1/1/00	ISSUED FOR CONSTRUCTION
6	1/1/00	ISSUED FOR CONSTRUCTION
7	1/1/00	ISSUED FOR CONSTRUCTION
8	1/1/00	ISSUED FOR CONSTRUCTION
9	1/1/00	ISSUED FOR CONSTRUCTION
10	1/1/00	ISSUED FOR CONSTRUCTION

APPROVALS

SAC: _____
 CONST: _____
 RF: _____
 A&R: _____

NORTH SANFORD
 SITE ID# FL3121A
 845 S.W. 18A
 SANFORD, FL 32771
 SEMINOLE COUNTY

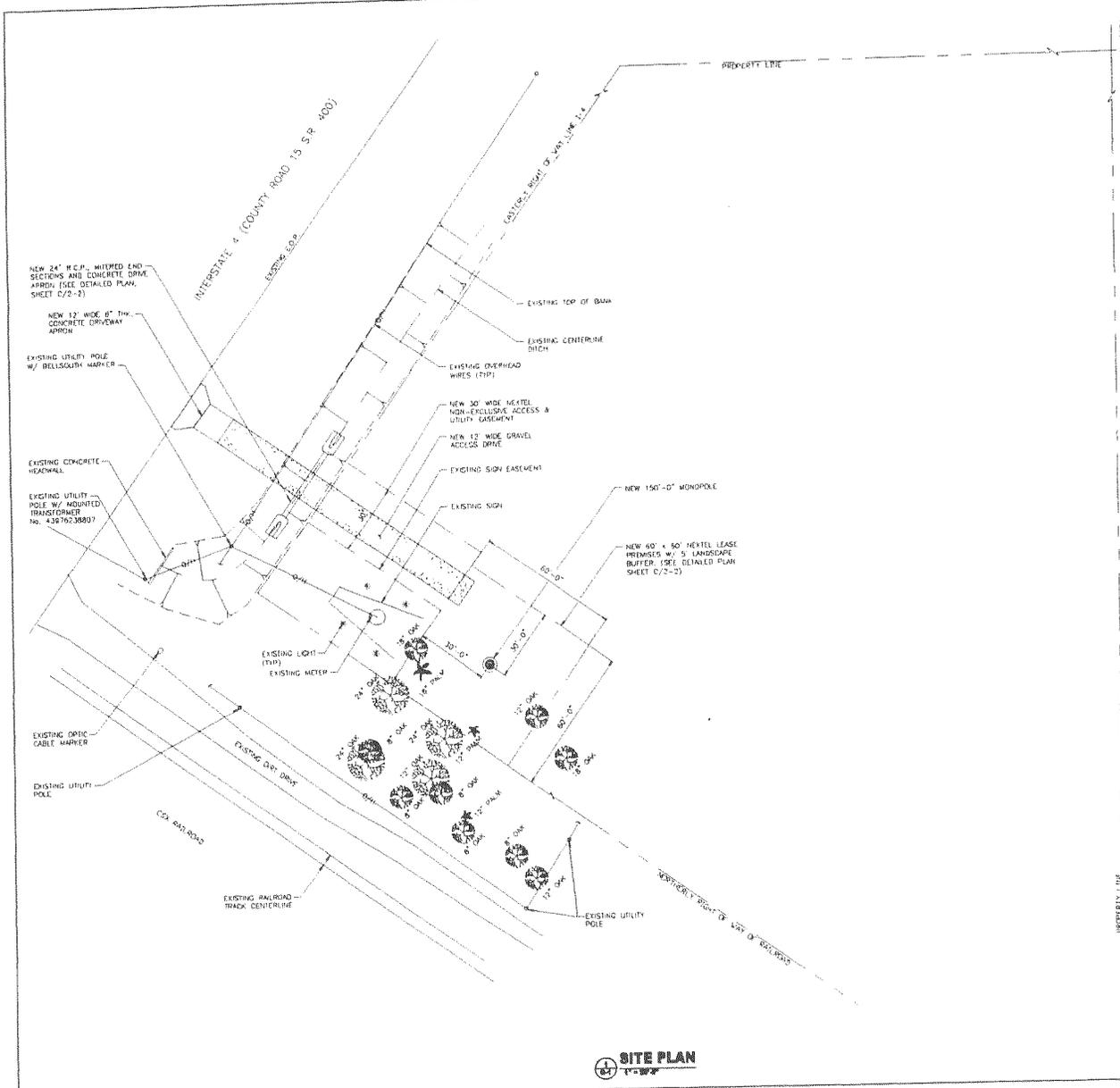
SITE PLAN

C-1

UNSET NO. 2 OF 10

[Signature]
 GROUP 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

SITE PLAN
 P-100



SITE PLAN
1"=30'

LEGEND

○	EXISTING POLE	○	PROPOSED MONOPOLE
○	EXISTING UTILITY POLE	○	PROPOSED UTILITY POLE
○	EXISTING OPTIC CABLE MARKER	○	PROPOSED OPTIC CABLE MARKER
○	EXISTING SIGN	○	PROPOSED SIGN
○	EXISTING SIGN EASEMENT	○	PROPOSED SIGN EASEMENT
○	EXISTING OVERHEAD WIRES (TYP)	○	PROPOSED OVERHEAD WIRES (TYP)
○	EXISTING CENTERLINE DITCH	○	PROPOSED CENTERLINE DITCH
○	EXISTING TOP OF BANK	○	PROPOSED TOP OF BANK
○	EXISTING CONCRETE HOUSING	○	PROPOSED CONCRETE HOUSING
○	EXISTING DRIVEWAY	○	PROPOSED DRIVEWAY
○	EXISTING DRIVE	○	PROPOSED DRIVE
○	EXISTING RAILROAD TRACK CENTERLINE	○	PROPOSED RAILROAD TRACK CENTERLINE
○	EXISTING UTILITY POLE	○	PROPOSED UTILITY POLE
○	EXISTING UTILITY POLE W/ MOUNTED TRANSFORMER	○	PROPOSED UTILITY POLE W/ MOUNTED TRANSFORMER
○	EXISTING UTILITY POLE W/ BELLSOUTH MARKER	○	PROPOSED UTILITY POLE W/ BELLSOUTH MARKER
○	EXISTING UTILITY POLE W/ OPTIC CABLE MARKER	○	PROPOSED UTILITY POLE W/ OPTIC CABLE MARKER
○	EXISTING LIGHT (TYP)	○	PROPOSED LIGHT (TYP)



NOTE:
THESE DIMENSIONS ARE FORMATTED FOR 24"x36" OTHER SIZE VERSIONS ARE NOT TO THE SCALE AS NOTED.

SITE CHARACTERISTICS

GROUND ELEV. (ASBL):	10.00' ASBL
STABILIZED TYPE:	PROPOSED MONOPOLE TOWER
LOCATION OF RADIO EQUIPMENT:	ON-PREMISE
PRIMARY USE OF SITE/STABILIZED:	COMMUNICATIONS
STABILIZED HEIGHT:	150'-0"
APPROX. ANTENNA HEIGHT (RAD CENTER):	150'-0"

IL INTERNATIONAL
 2225 UNIVERSITY ST.
 JACKSONVILLE, FL 32209
 TEL: (904) 327-0999 FAX: (904) 327-0999

NEXTEL
 NEXTEL COMMUNICATIONS
 801 TRAFALGAR CIRCLE SUITE 2005
 DAYTONA BEACH, FL 32114-7625
 OFFICE: (407) 626-8200
 FAX: (407) 626-8480

SAC :
 CONST :
 RF :
 ABE :

SCHEDULE OF REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

DESIGNED BY: JLS CHECKED BY: RDD
 DRAWN AS NOTED JOB NO. 000-048047002
 FIRST ISSUE: TYPING PRINT DATE: TYPING

APPROVALS

SAC INR : _____
 SAC : _____
 OWNER : _____
 CM : _____
 RF : _____
 CONST : _____
 ABE : _____

NORTH SANFORD
 SITE 100-FL3121A
 845 S.R. 15A
 SANFORD, FL 32771
 SEMINOLE COUNTY

SITE PLAN

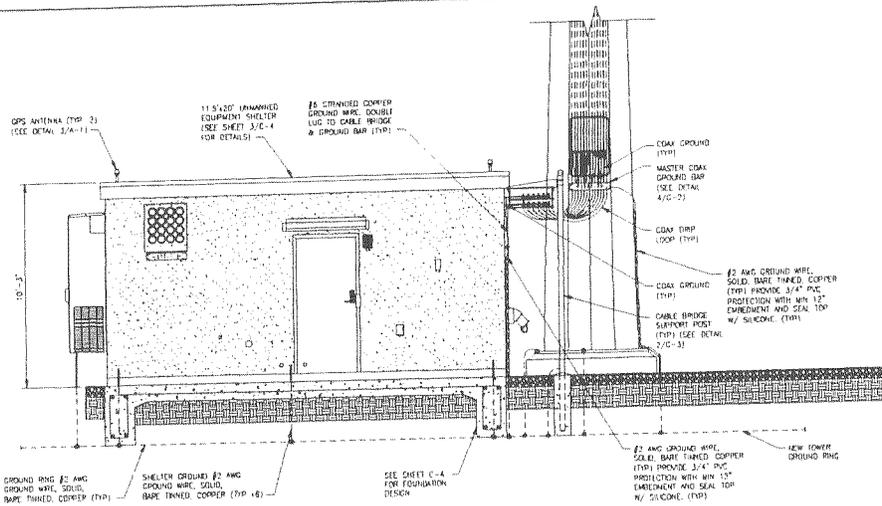
C-1.1

DRAWING NO. 3 (P. 1)

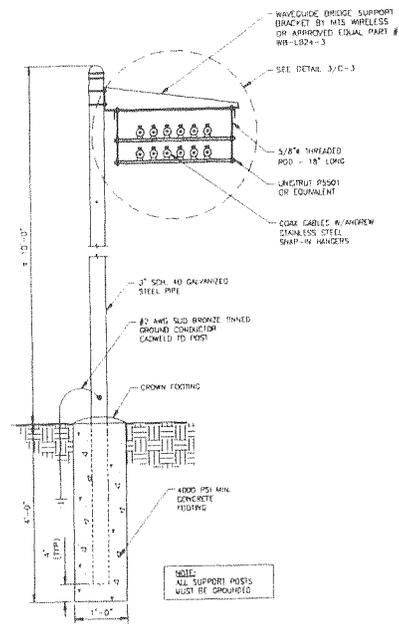
[Handwritten Signature]

STRUCTURAL NOTES

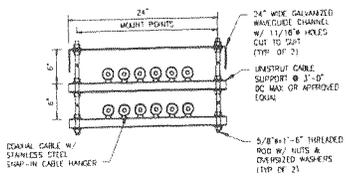
- FOUNDATION & BUILDING DESIGN REQUIREMENTS FOR 2001 FLORIDA BUILDING CODE, WIND SPEED 7-90 BASIC WIND SPEED 110 MPH (3 SECOND GLEP).
- REFERENCED DRAWING OR THESE DRAWINGS OR OBTAINED BY FIELD MEASUREMENT AND FROM THE EXISTING STRUCTURAL DRAWINGS. THE GENERAL CONTRACTOR SHALL VERIFY ALL COSTING CONDITIONS AND NOTIFY THE ENGINEER OF RECORD OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH CONSTRUCTION.
- THE GENERAL CONTRACTOR AND HIS SUB CONSULTANTS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK.
- STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN INCLUDING THE COMMENTARY AND THE AISC CODE FOR STANDARD PRACTICES.
- STRUCTURAL STEEL PLATES AND SHIPPERS SHALL CONFORM TO ASTM A588. ALL STRUCTURAL STEEL PIPES SHALL CONFORM TO ASTM A53 GRADE B. ALL STRUCTURAL STEEL COMPONENTS AND FABRICATED ASSEMBLIES SHALL BE HOT DIP GALVANNEED AFTER FABRICATION.
- ALL THREADED STRUCTURAL FASTENERS FOR ANTENNA SUPPORT ASSEMBLIES SHALL CONFORM TO ASTM A307 OR ASTM A308. ALL STRUCTURAL FASTENERS FOR STRUCTURAL STEEL TRUSSING SHALL CONFORM TO ASTM A307. FASTENERS SHALL BE 1/8 INCH MIN. DIAMETER BEARING TYPE CONNECTIONS WITH THREADED END INCLUDED IN THE BEARING PLANE. ALL EXPOSED FASTENERS, NUTS AND WASHERS SHALL BE GALVANNEED UNLESS OTHERWISE NOTED. CONCRETE EXPANSION ANCHORS SHALL BE HALF INCH BOLTS UNLESS OTHERWISE NOTED.
- IF APPLICABLE, ROOF PROTECTION PAGES UNDER THE CONCRETE FINISHES AND BRACKETS SUPPORTS SHALL BE 1/2" THICK RUBBER PROTECTION PAGES. THE ROOF PROTECTION PAGES SHALL EXTEND A MINIMUM OF TWO INCHES BEYOND THE PERIMETER OF THE PVC SLEEPERS AND SHALL BE PLACED WITH A MINIMUM 1/2" SPACE BETWEEN ADJACENT PAGES TO FACILITATE DRAINAGE. PROVIDE A 6" OR 8" DIMENSION AND ORIENT TO THE ROOF. REMOVE ALL LOOSE STONES PRIOR TO PLACING THE SEPARATOR SHEET.
- ALL COAXIAL CABLE CONNECTORS AND TRANSMITTER EQUIPMENT SHALL BE AS SPECIFIED BY THE OWNER AND IS NOT INCLUDED IN THESE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL FURNISH ALL CONNECTION HARDWARE REQUIRED TO SECURE THE CABLES. CONNECTION HARDWARE SHALL BE STABILIZED STEEL.
- NORTH ARROW SHOWN ON PLANS REFERS TO MAGNETIC NORTH. CONTRACTOR SHALL VERIFY TRUE NORTH AND INFORM ENGINEER OF RECORD OF ANY DISCREPANCY BEFORE STARTING CONSTRUCTION.
- PROVIDE A CABLE DRIP LOOP AT THE BOTTOM OF THE TOWER BELOW THE LOWER BOTTOM GROUND CONNECTIONS AND AS THE CABLE TRANSITIONS TO THE SHELTER/CORNER.
- THREADED RODS ON THE POLY PHASOR PACK TO BE CUT 4" BELOW THE BOTTOM CROSS MEMBER AND CAPPED.
- RUBBER CAPS WILL BE PLACED ON ALL LIM-STRUT ENDS.
- REPAIR ALL METAL SURFACES THAT HAVE BEEN CUT OR DAMAGED BY REMOVING ANY EXISTING RUST AND APPLYING COLD GALVANIZATION.



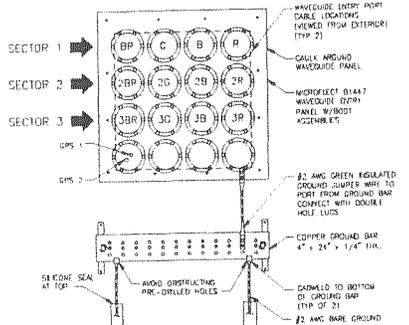
1.2.3 EQUIPMENT ELEVATION



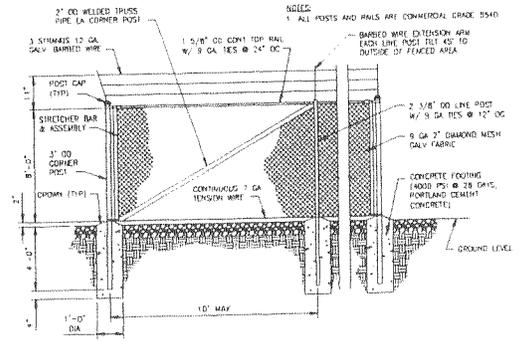
1.2.4 CABLE BRIDGE DETAIL



1.2.5 COAX ROUTING SECTION



1.2.6 COAX ENTRY PORT DETAIL



1.2.7 TYPICAL FENCE DETAIL W/ GATE

UNIVERSAL APPROVAL
 2850 WINDHOLM CT.
 ANDERSONVILLE, FL 32604
 TEL: (407) 987-8990 FAX: (407) 987-8980

NEXTEL
 NEXTEL COMMUNICATIONS
 181 TRAYLOR CIRCLE NORTH 33618
 MIAMI, FL 33171-7425
 OFFICE: (407) 636-6399
 FAX: (407) 636-6400

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SCHEDULE OF REVISIONS	
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 FIRST ISSUE: 7/20/06 PRINT DATE: 7/20/06

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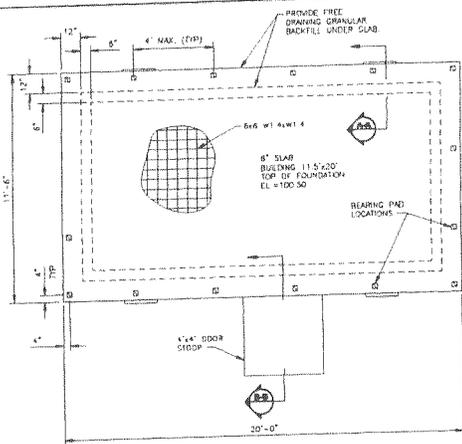
NORTH SANFORD
 SITE ID#: FL3121A
 848 S.W. 15A
 SANFORD, FL 32774
 SEMINOLE COUNTY

CONSTRUCTION DETAILS & NOTES

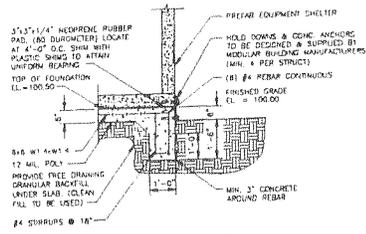
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SHEET NO. 3 OF 11

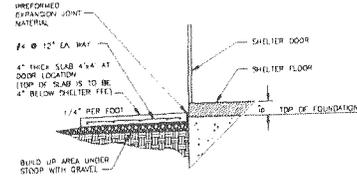
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 FL ARCHITECTURE BOARD REG. NO. 12187
 FL ELECTRICAL BOARD REG. NO. 12187



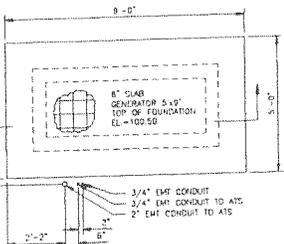
EQUIPMENT SHELTER FOUNDATION PLAN
1/2" = 1'-0"



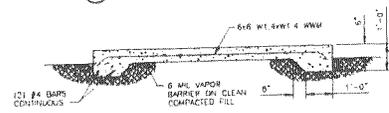
SECTION A-A
1/2" = 1'-0"



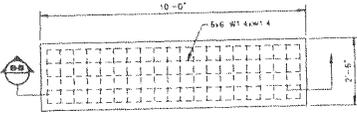
SECTION B-B
1/2" = 1'-0"



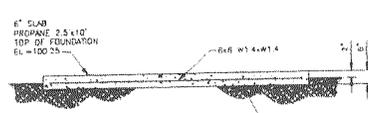
5'x9' GENERATOR FOUNDATION
1/2" = 1'-0"



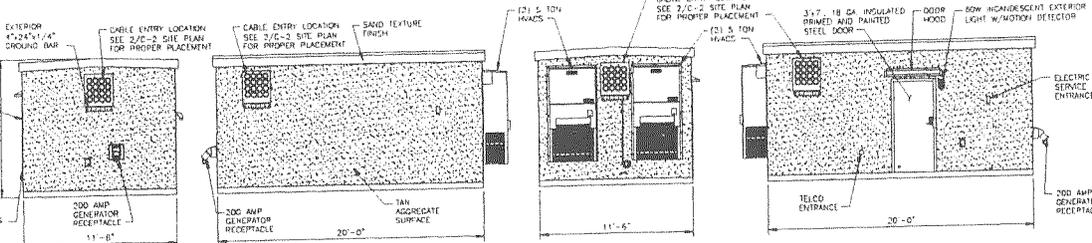
SECTION C-C
1/2" = 1'-0"



PROPANE FOUNDATION PLAN
1/2" = 1'-0"



SECTION D-D
1/2" = 1'-0"



EQUIPMENT SHELTER DETAIL
1/2" = 1'-0"

FOUNDATION NOTES

- DESIGN INFORMATION AND GENERAL REQUIREMENTS**
 - DESIGN CONFORMS TO FBC 3001
 - AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," ACI 318-02
- EARTHWORK**
 - FOUNDATIONS HAVE BEEN DESIGNED TO BEAR ON UNDISTURBED NATURAL SOILS/COMPACTED STRUCTURAL FILL. CAPABLE OF SAFELY SUPPORTING A NET ALLOWABLE BEARING PRESSURE OF 2000 PSF. IF FOUNDATION CONDITIONS PROVE UNACCEPTABLE AT ELEVATIONS SHOWN, EXCAVATION SHALL BE CONSIDERED DEEPER AND SHALL BE BACKFILLED WITH LEAN CONCRETE TO PLAN FOOTING BOTTOM, OR REDIGN OF FOUNDATIONS WILL BE REQUIRED AT THE DISCRETION OF THE ENGINEER OF RECORD.
 - GENERAL FURNISH AND INSTALL ALL TEMPORARY SHIELDING, SNOWING AND DRAINAGE NECESSARY TO MAINTAIN THE EXCAVATION AND PROTECT SURROUNDING STRUCTURE AND UTILITIES.
 - THOROUGHLY COMPACT ALL BOTTOM OF FOOTINGS PRIOR TO PLACING ANY CONCRETE.
- CONCRETE**
 - FORMWORK
 - CONCRETE CONSTRUCTION SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 318-02).
 - FORMWORK SHALL CONFORM TO ACI 318-02 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
 - REINFORCEMENT
 - REINFORCING STEEL ASTM A615, GRADE 60, WELDED WIRE ASTM A106 (FLAT SHEET), LAPS 40 BAR DIAMETERS UNLESS NOTED. BARS SHALL BE SECURELY HELD IN ACCURATE POSITION BY SATISFACTORY ACCESSORIES. THE BARS, SUPPORT BARS, ETC. HOOK LENGTHS SHALL BE 12 BAR DIAMETERS.
 - CONCRETE COVER FOR REINFORCING BARS SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED.

FOOTINGS & SLABS CAST AGAINST GROUND	3"
AT BARS GREATER THAN #5	2"
AT BARS #5 OR LESS	1.5"
CONCRETE NOT TO BE EXPOSED TO GROUND OR WEATHER	1.5"
BEAMS, ORDERS & COLUMNS	1.5"
SLABS & WALLS	3/4"
 - CURT-IN-PLACE CONCRETE
 - MINIMUM 28 DAY CYLINDER STRENGTH AND MAXIMUM SLUMP, PRIOR TO ADDITION OF SUPER PLASTICIZER, AS FOLLOWS:

CLASS I FOOTINGS	4000	3"
CLASS II INTERIOR ELEVATED SLABS	4000	4"
CLASS III WALLS	4000	4"
CLASS IV OTHER WORK	4000	4"
CLASS V LEAN CONCRETE FOR OVER-EXCAVATION OF FOUNDATIONS	2000	N/A
 - MIX DESIGN TO BE IN ACCORDANCE WITH ACI 318-02, CHAPTER 8. NO CALCIUM CHLORIDE OR ADMIXTURE CONTAINING CHLORIDES SHALL BE USED IN ANY CONCRETE.
 - CONCRETE AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL CONFORM TO ASTM C33 SIZE #57. CONCRETE AGGREGATE FOR LEAN WEIGHT CONCRETE SHALL CONFORM TO ASTM C686 GRADED 3/4" TO 1/4".
 - COLD WEATHER PLACEMENT SHALL COMPLY WITH ACI 308.1
 - HOT WEATHER PLACEMENT SHALL COMPLY WITH ACI 308.2
 - CHAMFER ALL EXPOSED EDGES 3/4".
 - THE MAXIMUM TEMPERATURE OF ALL CONCRETE AT DELIVERY TO THE SITE SHALL BE 95°F. TOTAL DELIVERY TIME SHALL BE LESS THAN 75 MIN.

DL DANIEL J. LARSEN, P.E.
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NEXTEL COMMUNICATIONS
801 WYATT ROAD, SUITE 1000
SARASOTA, FL 34237-1400
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BAC :
CONSULT :
RF :
A&E :

SCHEDULE OF REVISIONS

NO.	DATE	DESCRIPTION OF CHANGES
1	7/20/09	ISSUED FOR PERMITTING
2	7/20/09	ISSUED FOR CONSTRUCTION
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APPROVALS

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BAC : _____
OPER : _____
CM : _____
RF : _____
CONSULT : _____
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NORTH SANFORD
SITE ID# FL3121A
845 S.W. 18A
SANFORD, FL 32771
SEMINOLE COUNTY

CONSTRUCTION DETAILS & NOTES

ISSUED IN SET:
C-4

SHEET NO. 8 OF 11
DATE: 8/3/09
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: AS SHOWN

DL **DAVID L. LADD INC.**
 3535 HERRING, ST.
 JAMESVILLE, FL 34556
 TEL: (904) 887-8886 FAX: (904) 887-8880

NEXTEL
 NEXTEL COMMUNICATIONS
 881 TRAFALGAR CIRCLE SUITE 3000
 NAITLAND, FL 32761-7428
 OFFICE: (407) 836-8380
 FAX: (407) 836-8408

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SCHEDULE OF REVISIONS

NO.	DATE	DESCRIPTION OF REVISION
1	7/20/00	ISSUED FOR REVISION
2	7/20/00	ISSUED FOR CONSTRUCTION

DRAWN BY: JAC
 CHECKED BY: JAC
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 JOB NO: 100-080470K
 FIRST ISSUE: 7/20/00
 PRINT DATE: 7/20/00

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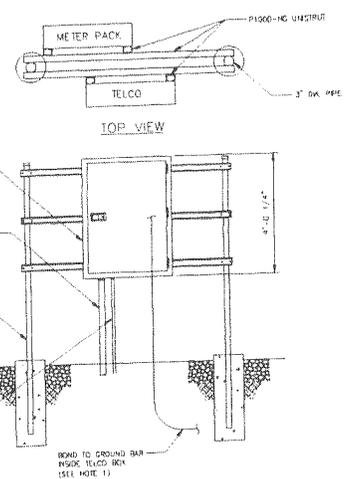
NORTH SANFORD
 SITE ID# FL3121A
 848 S.W. 15A
 SANFORD, FL 32774
 SEMINOLE COUNTY

CONSTRUCTION
DETAILS & NOTES

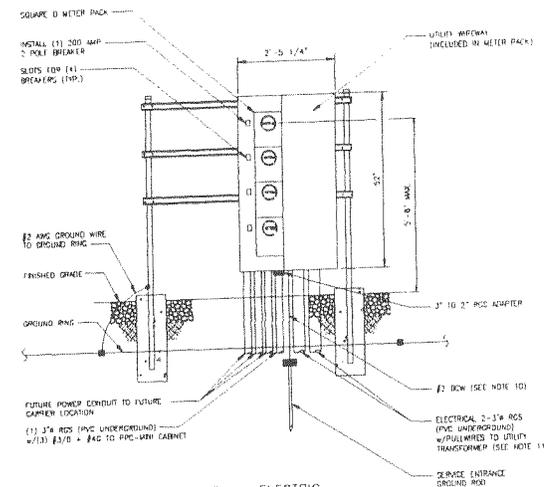
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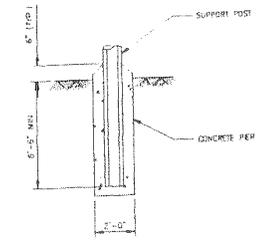
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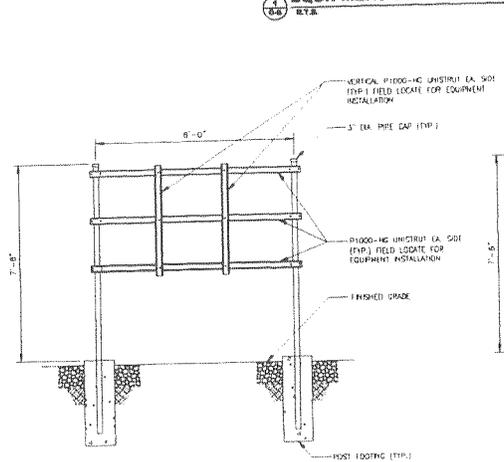


FRONT VIEW - ELECTRIC

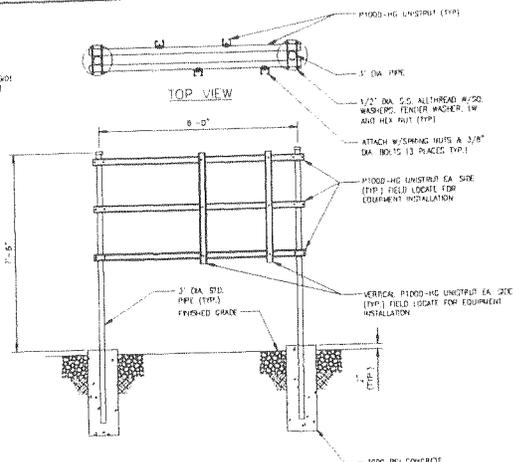


SUPPORT POST FOOTING

EQUIPMENT SUPPORT FRAME DETAILS



BACK VIEW - TELCO

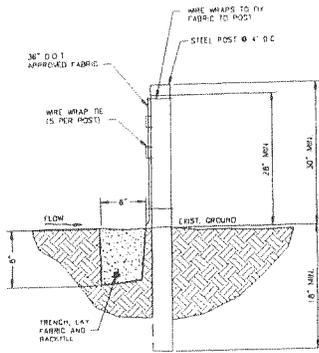


FRONT VIEW - ELECTRIC

EQUIPMENT SUPPORT FRAME DETAILS

- NOTES:**
1. PROVIDE 1/4\"/>

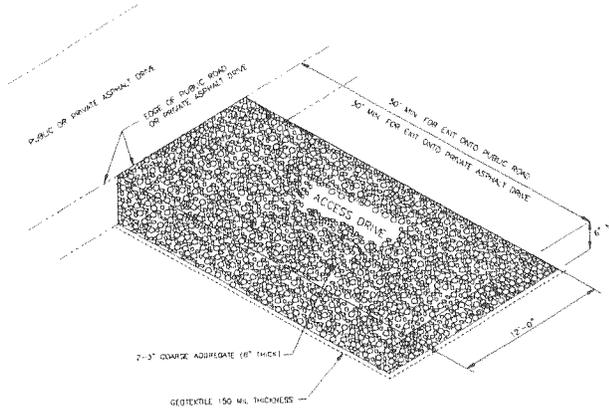
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SILT FENCE DETAIL
KTX

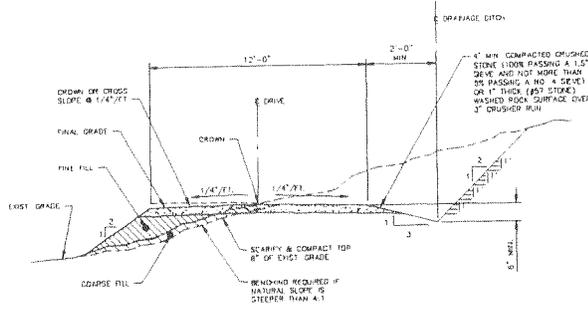
SILT FENCE NOTES:

- 1.) THE FILTER FABRIC USED SHALL BE TYPE 1 OR II AND SHALL MEET THE REQUIREMENTS OF THE DEPARTMENT OF TRANSPORTATION, STATE OF FLORIDA STANDARD SPECIFICATIONS CONSTRUCTION OF ROADS AND BRIDGES.
- 2.) SILT FENCE HEIGHT SHALL BE A MINIMUM OF 2.5 FEET ABOVE GROUND HEIGHT.
- 3.) CONSTRUCT SILT FENCE OF A CONTINUOUS ROLL OUT THE LENGTH OF THE BARRIER TO AVOID JOINTS. FABRIC TO BE FASTENED SECURELY TO FENCE POSTS WITH 1 INCH STAPLES OR TIE WIRES.
- 4.) SUPPORT FABRIC WITH WOVEN WIRE MESH (TOP AND BOTTOM WIRES SHALL BE 10 GA. OTHER WIRES SHALL BE AT LEAST 13.5 GA.) OPENING SHALL BE 6\"/>



CONSTRUCTION EXIT DETAIL
KTX

NOTES:
IT IS THE RESPONSIBILITY OF THE SITE CONTRACTOR TO PROVIDE BUFFER AREA WHERE VEHICLES CAN DROP THEIR WHEELS AND SCOURERS TO AVOID TRANSPORTING IT ONTO PUBLIC ROADS OR ADJACENT PRIVATE ASPHALT DRIVES.



GRAVEL DRIVE SECTION
KTX

EROSION & SEDIMENT CONTROL NOTES:

- 1.) ADDITIONAL EROSION CONTROL MEASURES WILL BE EMPLOYED WHERE DETERMINED NECESSARY BY ACTUAL SITE CONDITIONS.
- 2.) PRIOR TO COMMENCING LAND DISTURBING ACTIVITY THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, BARRIERS, OR OTHER APPROPRIATE MEANS.
- 3.) THE CONSTRUCTION OF THE SITE WILL INITIATE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM DRAINAGE WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED.
- 4.) THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- 5.) EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- 6.) THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN THE SILT IS WITHIN 12\"/>

IL **INSURANCE**
 8000 WINDYBROOK CT.
 JANDROWSVILLE, FL 32554
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 801 TRAFALGAR CIRCLE SUITE 3000
 HAITLAND, FL 32714-7033
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SAC :
 CONST :
 RF :
 ABE :

SCHEDULE OF REVISIONS	
NO.	DESCRIPTION OF REVISION
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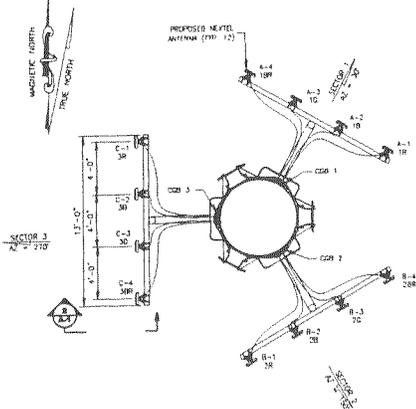
NORTH SANFORD
 SITE ID# : FL-3121A
 845 S.R. 45A
 SANFORD, FL 32771
 SEMINOLE COUNTY

CONSTRUCTION DETAILS & NOTES

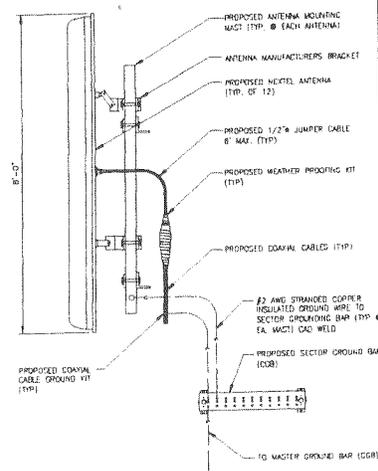
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SHEET NO. 6 OF 16

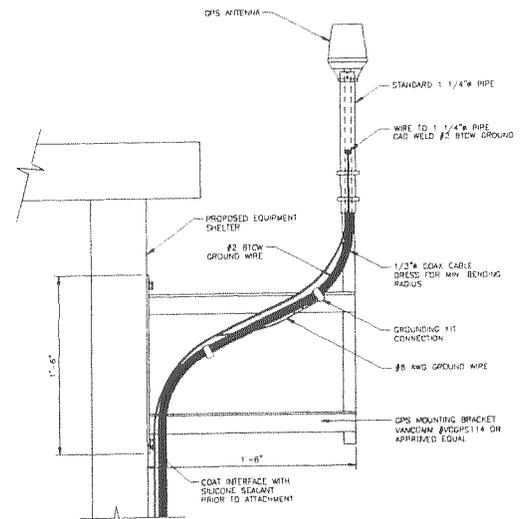
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 DATE: 07/20/05
 PROJECT: NORTH SANFORD, FL 32771
 FL PROFESSIONAL ENGINEER REG. # 12870
 FL STATE OF ACTIVE SERVICE # 12870



ANTENNA LAYOUT PLAN
 DP-4.2'



ANTENNA DETAIL
 TP-1.2'



GPS ANTENNA ELEVATION DETAIL
 WT

LOCATION	AZIMUTH	ELEVATION HEIGHT	ANT TYPE	APPROXIMATE ANTENNA DIMENSIONS	REMARKS	COMPLTY	COAX	COAX LENGTH	COLOR CODE
A-1	30°	100'-0"	DB848H90E-XY	H=88" W=6.5" D=6"	850	0'	1.5/8"	100'-0"	1 RED
A-2	30°	100'-0"	DB848H90E-XY	H=88" W=6.5" D=6"	850	0'	1.5/8"	100'-0"	1 BLUE
A-3	30°	100'-0"	DB848H90E-XY	H=88" W=6.5" D=6"	850	0'	1.5/8"	100'-0"	1 GREEN
A-4	30°	100'-0"	DB848H90E-XY	H=88" W=6.5" D=6"	850	0'	1.5/8"	100'-0"	1 BROWN
B-1	180°	100'-0"	DB848H90E-XY	H=88" W=6.5" D=6"	850	0'	1.5/8"	100'-0"	2 RED
B-2	180°	100'-0"	DB848H90E-XY	H=88" W=6.5" D=6"	850	0'	1.5/8"	100'-0"	2 BLUE
B-3	180°	100'-0"	DB848H90E-XY	H=88" W=6.5" D=6"	850	0'	1.5/8"	100'-0"	2 GREEN
B-4	180°	100'-0"	DB848H90E-XY	H=88" W=6.5" D=6"	850	0'	1.5/8"	100'-0"	2 BROWN
C-1	270°	100'-0"	DB848H90E-XY	H=88" W=6.5" D=6"	850	0'	1.5/8"	100'-0"	3 RED
C-2	270°	100'-0"	DB848H90E-XY	H=88" W=6.5" D=6"	850	0'	1.5/8"	100'-0"	3 BLUE
C-3	270°	100'-0"	DB848H90E-XY	H=88" W=6.5" D=6"	850	0'	1.5/8"	100'-0"	3 GREEN
C-4	270°	100'-0"	DB848H90E-XY	H=88" W=6.5" D=6"	850	0'	1.5/8"	100'-0"	3 BROWN

* ANTENNA & COAXIAL INFORMATION TAKEN FROM THE NEXTEL SITE SELECTION WORKSHEET DATED 10/29/2004. RF ENGINEER OF RECORD - BRIAN C. ALTER

** INCLUDE 1/2" COAX FOR GPS ANTENNAS MOUNTED ON THE SHELTER

NOTES

1. ALL ANTENNAS TO BE FURNISHED WITH DOWNHILL BRACKETS. CONTRACTOR TO COORDINATE REQUIRED MECHANICAL DOWNHILL FOR EACH ANTENNA WITH RF ENGINEER.
2. ANTENNA CENTERLINE HEIGHT IS IN REFERENCE TO ELEVATION D.O.T.
3. PROVIDE AT LEAST 6" OF SLACK IN THE MAIN COAXIAL CABLES AT THE TOWER TOP TO PROVIDE FOR FUTURE CONNECTOR REPLACEMENT.
4. PROVIDE A CABLE DRIP LOOP AT THE BOTTOM OF THE TOWER BELOW THE TOWER BOTTOM GROUND CONNECTIONS AND AS THE CABLE TRANSITIONS TO THE SHELTER/CABINET.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMANCE AND SUPPLYING (1) TYPE-WRITING SWEEP TESTS, ONE (1) HARD COPY TO BE LEFT IN THE SHELTER, ONE (1) SOFT COPY TO BE SENT IMMEDIATELY TO RF ENGINEER, ONE (1) HARD COPY AND ONE (1) SOFT COPY TO BE INCLUDED WITH THE NEXTEL CLOSE-OUT DOCUMENTS.
6. THE CONTRACTOR SHALL VERIFY COAX CABLE TYPE, ANTENNA TYPE, AZIMUTHS, AND CONSTRUCTION.
7. ALL COAXIAL CABLE WILL BE SECURED TO THE DESIGNED SUPPORT STRUCTURE AT DISTANCES NOT TO EXCEED 3" ON THE CABLE MANUFACTURER'S SPECIFICATIONS BRACKET/IF IS LESS, WITH HANGWARE SPECIFIED BY THE COAXIAL CABLE ROUTING DETAILS OF THE SUPPLIED STRUCTURAL REPORT.
8. ALL MAIN CABLES WILL BE COLOR CODED AT FOUR LOCATIONS: A) AT ANTENNA PRIOR TO JUMPER, B) AT THE BOTTOM OF THE TOWER, C) EXTERIOR PART OF THE WAVE DUCT ENTRY POINT (AT THE SHELTER/CABINET WALL), D) INTERIOR OF THE SHELTER/CABINET.

ABBREVIATIONS

APPROX	APPROXIMATE
BTS	BASE TRANSMISSION STATION
BCW	BARE COPPER WIRE
CAB	CABINET
COB	COLLECTOR GROUND BAR
CONC	CONCRETE
CONT	CONTINUOUS
DA	DIAMETER
DWG	DRAWING
EDB	EQUIPMENT GROUND BAR
EA	EACH
ELE	ELECTRICAL
EL	ELEVATION
EQIP	EQUIPMENT
GA	GALVE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GRND	GROUND
LG	LONG
MAX	MECHANICAL
MCH	MECHANICAL
MFR	MANUFACTURER
MGB	MASTER GROUND BAR
MW	MINIMUM
OC	ON CENTER
PCS	PERSONAL COMMUNICATIONS SERVICES
RF	RADIO CALVANIZED STEEL
RF	RF
SH	SHIELD
SM	SMALLER
SS	STAINLESS STEEL
TR	TYPICAL
VF	VERIFY IN FIELD
UCM	UNLESS OTHERWISE NOTED
W/F	WELDED WIRE FABRIC
W/-	WITH
CL	ANTENNA MARK NO. CENTERLINE
PL	PLATE
AND	AND
AT	AT



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SAC :
 CORRET :
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NO.	REVISION	DATE	DESCRIPTION
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DESIGNED BY: JAS CHECKED BY: BSC
 DRAWN BY: BRYAN JOB NO: 100-040470-04
 PRINT DATE: 7/20/05 PRINT DATE: 7/20/05

APPROVALS

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NORTH SANFORD
 SITE ID# FL3121A
 848 S.R. 18A
 SANFORD, FL 32771
 SEMINOLE COUNTY

ANTENNA PLANS, DETAILS & NOTES

DRIVING INSET:

A-1

SHEET NO. 8 OF 13

DATE: 8/3/05

DESIGNED BY: BRYAN
 CHECKED BY: BSC
 DRAWN BY: BRYAN
 JOB NO: 100-040470-04

GENERAL NOTES

- EXAMINE THE SITE CONDITIONS VERY CAREFULLY AND THE SCOPE OF PROPOSED WORK TOGETHER WITH THE WORK OF ALL OTHER TRADES AND INCLUDE IN THE BID PRICE ALL COSTS FOR WORK SUCH AS EQUIPMENT AND WIRING MADE NECESSARY TO ACCOMMODATE THE ELECTRICAL SYSTEMS SHOWN AND SYSTEMS OF OTHER TRADES.
- SUBMITTAL OF BID INDICATES CONTRACTOR IS COORDINATOR OF ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED UNDER THIS CONTRACT.
- PERFORM DETAILED VERIFICATION OF WORK PRIOR TO ORDERING THE ELECTRICAL EQUIPMENT AND COMMENCEMENT OF CONSTRUCTION. ISSUE A WRITTEN NOTICE TO THE CONSULTANT OF ANY DISCREPANCIES.
- OBTAIN ALL PERMITS, PAY ASSOCIATED FEES AND SCHEDULE INSPECTION.
- PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, INSURANCE, AND SERVICES TO COMPLETE THIS PROJECT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND PRESENT IT AS FULLY OPERATIONAL TO THE SATISFACTION OF THE OWNER.
- CARRY OUT WORK IN ACCORDANCE WITH ALL FEDERAL, STATE, COUNTY AND LOCAL CODES AND O.S.H.A. REQUIREMENTS.
- PRIOR TO BEGINNING WORK COORDINATE ALL POWER AND TELLER WORK WITH THE LOCAL UTILITY COMPANY AS IT MAY APPLY TO THIS SITE. ALL WORK TO COMPLY WITH THE RULES AND REGULATIONS OF THE UTILITIES INVOLVED.
- FABRICATION AND INSTALLATION OF THE COMPLETE ELECTRICAL SYSTEM SHALL BE DONE IN A FIRST CLASS WORKMANSHIP PER NEC STANDARDS (1-1000) BY QUALIFIED PERSONNEL EMPLOYED IN SUCH WORK AND SHALL SCHEDULE THE WORK IN AN ORDERLY MANNER SO AS NOT TO IMPAIR PROGRESS OF THE PROJECT.
- DURING PROGRESS OF THE WORK, MAINTAIN AN ACCURATE RECORD OF THE INSTALLATION OF THE ELECTRICAL SYSTEMS, LOCATING EACH CIRCUIT PROPERLY AND DIMENSIONING EQUIPMENT, CONDUIT AND CABLE LOCATIONS. UPON COMPLETION OF THE INSTALLATION, TRANSFER ALL RECORD DATA TO BLACK DRAWINGS TO THE ORIGINAL DRAWINGS AND SUBMIT THESE DRAWINGS AS RECORD DRAWINGS TO THE CONSULTANT.
- COMPLETE JOB SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF JOB ACCEPTANCE BY OWNER. ANY WORK, MATERIAL, OR EQUIPMENT FOUND TO BE FAULTY DURING THIS PERIOD SHALL BE CORRECTED AT ONCE UPON WRITTEN NOTIFICATION, AT THE EXPENSE OF THE CONTRACTOR.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR REQUESTING CONNECTION OF COMMERCIAL POWER FROM THE POWER COMPANY. ELECTRICAL CONTRACTOR SHALL COORDINATE THIS WORK WITH THE GENERAL CONTRACTOR.
- COORDINATE EXACT TELEPHONE REQUIREMENTS AND SERVICE ROUTING WITH LOCAL TELEPHONE COMPANY. APPLY FOR TELEPHONE SERVICE IMMEDIATELY UPON AWARD OF CONTRACT.

BASIC MATERIALS AND METHODS

- ALL ELECTRICAL WORK SHALL CONFORM TO THE EDITION OF THE NEC ACCEPTED BY THE LOCAL JURISDICTION AND TO THE APPLICABLE LOCAL CODES AND REGULATIONS.
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW. MATERIALS AND EQUIPMENT SHALL BE THE STANDARD PRODUCTS OF MANUFACTURERS CURRENT DESIGN. ANY FIRST-CLASS PRODUCT MADE BY A REPUTABLE MANUFACTURER MAY BE USED PROVIDED IT CONFORMS TO THE CONTRACT REQUIREMENTS AND MEETS THE APPROVAL OF THE CONSULTANT AND THE OWNER.
- ARRANGE CONDUIT, WIRING, EQUIPMENT, AND OTHER WORK GENERALLY AS SHOWN. PROVIDE PROPER CLEARANCES AND ACCESS. CAREFULLY EXAMINE ALL CONTRACT DRAWINGS AND FIT THE WORK IN EACH LOCATION WITHOUT SUBSTANTIAL ALTERATION. WHERE DIMENSIONS ARE PROPOSED BECAUSE OF FIELD CONDITIONS OR OTHER CAUSES, PREPARE AND SUBMIT DETAILED DRAWINGS FOR ACCEPTANCE.
- THE CONTRACT DRAWINGS ARE GENERALLY DIMENSIONAL AND ALL OFFSETS, BENDS, FITTINGS AND ACCESSORIES ARE NOT NECESSARILY SHOWN. PROVIDE ALL SUCH ITEMS AS ARE REQUIRED TO FIT THE WORK TO THE CONDITIONS.
- MAINTAIN ALL CLEARANCES AS REQUIRED BY NEC.
- SEAL AROUND CONDUITS AND AROUND CONDUCTORS WITH CONDUIT OR THE PREFABRICATED SHEATHS/CABLES WHERE PENETRATION OCCURS WITH A SILICONE SEALANT TO PREVENT MOISTURE PENETRATION INTO BUILDING/SHELTER.
- SILICONE SEAL AROUND ALL BOLTS AND SCREWS USED TO SECURE EQUIPMENT TO EXTERIOR OF BUILDING.
- MAKE NECESSARY CONNECTIONS FOR BATTERY IN EMERGENCY LIGHT FIXTURE. CONNECT EXTERIOR LIGHT FIXTURE (PROVIDED BY SHELTER MANUFACTURER) TO EXTERNAL JUNCTION BOX.

CONDUCTORS AND CONNECTORS

- UNLESS NOTED OTHERWISE, ALL CONDUCTORS SHALL BE COPPER, MINIMUM SIZE #12 AWG. WITH THERMOPLASTIC INSULATION CONFORMING TO NECA NEC OR CROSS-LINKED POLYETHYLENE INSULATION CONFORMING TO NECA NEC. (TYPES THHN OR THWN). INSULATION SHALL BE RATED FOR 90°C. CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH NEC.
- ALL CONDUCTORS USED FOR GROUNDING SHALL BE COPPER AND SHALL HAVE GREEN INSULATION EXCEPT WHERE NOTED.
- FOR COPPER CONDUCTORS #6 AWG AND SMALLER USE 3/16" BOSTON-LOK OR T&B STA-NOM COMPRESSION TYPE CONNECTORS WITH UTILITY OR SEPARATE INSULATION CAPS. FOR COPPER CONDUCTORS LARGER THAN #6 AWG, USE SOLIDLESS, WRENCH HEX SCREW OR BOLT TYPE PRESSURE CONNECTORS OR DOUBLE COMPRESSION C-CLAMP CONNECTORS, UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS.
- UNLESS NOTED OTHERWISE, ALL LUGS SHALL BE TIN PLATED COPPER, TWO-HOLE, LONG BARREL, COMPRESSION TYPE.
- CONDUCTOR LENGTHS SHALL BE CONTROLLED FROM TERMINATION TO TERMINATION WITHOUT SPICES. SPICES ARE NOT ACCEPTABLE. IF SPICES ARE UNAVOIDABLE, PRIOR APPROVAL FROM THE ENGINEER MUST BE OBTAINED.

RACEWAYS AND BOXES

- ALL CONDUIT SHALL BE UL LABELED.
- ALL EMPTY CONDUITS INSTALLED FOR FUTURE USE SHALL HAVE A PULL CORD.
- SHEET METAL BOXES SHALL CONFORM TO NECA (31); CAST-METAL BOXES SHALL CONFORM TO NEMA 31 AND SHALL BE SEIZED IN ACCORDANCE WITH NEC, UNLESS NOTED OTHERWISE.

ELECTRICAL GENERAL NOTES

- SUBMITTAL OF BID INDICATES THAT THE CONTRACTOR IS COORDINATOR OF ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED UNDER THIS CONTRACT.
- CONTRACTOR SHALL PERFORM ALL VERIFICATIONS, OBSERVATION TESTS AND EXAMINATION WORK PRIOR TO ORDERING OF ANY EQUIPMENT AND THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL PROBLEMS TO THE PROJECT MANAGER LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT AND DISCREPANCIES.
- VERIFY HEIGHTS WITH PROJECT MANAGER PRIOR TO INSTALLATION.
- THESE PLANS ARE DIMENSIONAL ONLY. FOLLOW AS CLOSELY AS POSSIBLE.
- COORDINATE ALL WORK BETWEEN TRADES AND ALL OTHER SCHEDULING AND PROVISIONALLY DISCREPANCIES SURROUNDING THE PROJECT.
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, INSURANCE, EQUIPMENT, INSTALLATION, CONSTRUCTION TOOLS, TRANSPORTATION, ETC., FOR COMPLETE AND FUNCTIONALLY OPERATING SYSTEMS DESIGNED AND READY FOR USE THROUGHOUT AS INDICATED ON DRAWINGS, AS SPECIFIED HEREIN AND/OR AS OTHERWISE REQUIRED.
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN PERFECT CONDITION WHEN INSTALLED AND EACH CLASS OR GROUP OF EQUIPMENT. ELECTRICAL MATERIALS SHALL BE LISTED AND WHERE SUBJECT TO SUCH APPROVAL, MATERIALS SHALL MEET WITH APPROVAL OF ALL GOVERNING BODIES HAVING JURISDICTION OVER THE CONSTRUCTION. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH ALL CURRENT APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA AND IEC. ALL MATERIALS AND EQUIPMENT SHALL BE APPROVED FOR THEIR INTENDED USE AND LOCATION.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE GOVERNING STATE, COUNTY AND CITY CODES AND OSHA, NEPA, NEC AND ASHRAE REQUIREMENTS.
- OWNER SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF JOB ACCEPTANCE. ALL WORK, MATERIAL AND EQUIPMENT FOUND TO BE FAULTY DURING THIS PERIOD SHALL BE CORRECTED AT ONCE UPON WRITTEN NOTIFICATION, AT THE EXPENSE OF THE CONTRACTOR.
- PROPERLY SEAL ALL PENETRATIONS, PROVIDE UL LISTED FIRE-STOPPERS WHERE PENETRATIONS ARE MADE THROUGH FIRE-RATED ASSEMBLIES WITH-OVER FLASHING FLASHING FLASHING.
- LOCATE ALL PENETRATIONS SUCH THAT ALL REINFORCEMENT CONTAINED WITHIN THE EXISTING BUILDING CONSTRUCTION REMAINS INTACT AND UNDISTURBED. SUBMIT LOCATING METHOD TO THE PROJECT MANAGER FOR APPROVAL PRIOR TO EXECUTION.
- DELIVER ALL INSTRUCTIONS, OPERATING MANUALS, CATALOGS AND SHOP DRAWINGS TO THE PROJECT MANAGER AT JOB COMPLETION. PROVIDE MAINTENANCE MANUALS FOR MECHANICAL EQUIPMENT. AFTER MAINTENANCE LABELS TO MECHANICAL EQUIPMENT.
- ALL CONDUCTORS SHALL BE COPPER. MINIMUM CONDUCTOR SIZE SHALL BE #12 AWG, UNLESS OTHERWISE NOTED. CONDUCTORS SHALL BE TYPE THHN, RATED IN ACCORDANCE WITH NEC.
- ALL CIRCUIT INTERRUPTING EQUIPMENT SHALL HAVE A MINIMUM FAULT CURRENT RATING OF 22,000 AC.
- THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, ARTICLES 250 & 250 AND THE UTILITY COMPANY STANDARDS.
- CONDUIT:
 - RIGID CONDUIT SHALL BE UL LABEL GUARANTEED ETRC COATED WITH ZINC INTERIOR AND SHALL BE USED IN ALL EXTERIOR CONDITIONS.
 - ELECTRICAL METALLIC TUBING SHALL HAVE U.L. LABEL. FITTINGS SHALL BE LEAD RING COMPRESSION TYPE. EMT SHALL BE USED ONLY FOR INTERIOR RUNS.
 - LIQUID-TIGHT FLEXIBLE METAL CONDUIT SHALL BE UL LISTED AND SHALL BE USED AT FINAL CONNECTIONS TO MECHANICAL EQUIPMENT IN STRUCTURES AND WHERE PERMITTED BY CODE. ALL CONDUIT IN EXCESS OF SIX FEET IN LENGTH SHALL CONTAIN A FULL-SIZE GROUND CONDUCTOR.
 - CONDUIT RUNS SHALL BE SURFACE MOUNTED ON CEILINGS OR WALLS UNLESS NOTED OTHERWISE. ALL CONDUIT SHALL RUN PARALLEL OR PERPENDICULAR TO WALLS, FLOOR, CEILING, OR BEAMS. VERIFY EXACT ROUTING OF ALL EXPOSED CONDUIT WITH THE PROJECT MANAGER PRIOR TO INSTALLATION.
 - PVC CONDUIT MAY BE PROVIDED ONLY WHERE SHOWN, OR IN UNDERGROUND INSTALLATIONS. PROVIDE UV-RESISTANT CONDUIT WHERE EXPOSED TO THE ATMOSPHERE. PREPARE GROUND CONDUCTOR IN ALL PVC RACE, EXCEPT WHERE PERMITTED BY CODE TO OMT.
- ALL ELECTRICAL EQUIPMENT AND METER SHALL BE LABELED "NEXTEL" AND WITH APPROPRIATE ADDRESS WITH PERMANENT ENGRAVED PLASTIC LABELS. BACKGROUND SHALL BE BLACK WITH WHITE LETTERS, EXCEPT AS REQUIRED BY CODE TO FOLLOW A DIFFERENT SCHEME.
- CONTRACTOR TO PERFORM PINE & POLE GROUND TEST. IF PRETEST EXCEEDS 5 OHMS, CONTRACTOR TO NOTIFY O&M AND NOTIFY.
- CLEAN PROGRESS OF ALL DEBRIS RESULTING FROM WORK AND LEAVE WORK IN A COMPLETE AND UNHARMED CONDITION. LEGALLY DISPOSE OF ALL REMOVED UNLIMBED AND EXCESS MATERIAL, GENERATED BY THE WORK OF THIS CONTRACT. DELIVER ITEMS RECEIVED ON THE DRAWINGS TO THE OWNER IN GOOD CONDITION. OBTAIN SERVED RECEIPT UPON DELIVERY.
- COORDINATE WITH UTILITY COMPANY FOR CONNECTION OF TEMPORARY AND PERMANENT POWER TO THE SITE. THE TEMPORARY POWER AND ALL HOOKUP COSTS SHALL BE PAID BY THE CONTRACTOR.
- VERIFY ALL EXISTING CIRCUITRY PRIOR TO REMOVAL AND NEW WORK. MAINTAIN POWER TO ALL OTHER AREAS & CIRCUITS NOT DESIGNATED FOR REMOVAL.

LEGEND

- SAFETY DISCONNECT SWITCH
- PANEL BOARD
- ⊕ KILOWATT HOUR METER
- ⊕ TRANSFORMER
- ⊕ CIRCUIT BREAKER
- ⊕ MANUAL TRANSFER SWITCH
- ⊕ WEATHERPROOF LIGHT FIXTURE
- ⊕ WEATHERPROOF LIGHT SWITCH
- ⊕ AC GENERATOR CONNECTOR
- ⊕ WEATHERPROOF OR DUPLEX RECEPTACLE
- ⊕ COPPER GROUND BAR 1/4" x 1/2"
- ⊕ DUCTILE-IRON WELD CONNECTION
- ⊕ COMPRESSION FITTING GROUND CONNECTION
- ⊕ COAXIAL CABLE SHIELD GROUND KIT CONNECTION
- ⊕ 3/8" x 1/2" COPPER-CLAD STEEL GROUND ROD BY INSPECTION WELL
- ⊕ GROUND ROD
- P — POWER WIRING
- T — TELLER WIRING
- G — GROUND WIRING

ABBREVIATIONS

- A AMPERE
- C CONDUIT
- E.M.T. ELECTRICAL METALLIC TUBING
- G GROUND
- GF GROUND FAULT INTERRUPTING
- KWH KILOWATT HOUR
- MCB MAIN CIRCUIT BREAKER
- MLO MAIN LUGS ONLY
- NF NON-FUSIBLE
- P POLE
- SH SOLID NEUTRAL
- SW SWITCH
- V VOLT
- W WIRE
- COB COPPER
- MGB MAIN GROUND BAR



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SAC :
 CONST :
 RP :
 A&E :

SCHEDULE OF REVISIONS

#	DATE	DESCRIPTION OF REVISIONS	DESIGNED BY: JAC	CHECKED BY: BSG
1	7/20/05	ISSUED FOR REVISION		
2	7/20/05	ISSUED FOR COMMITMENT		
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APPROVALS

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 CONST : _____
 O&M : _____
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 RP : _____
 CONST : _____
 A&E : _____

NORTH SANFORD
 SITE ID# FL3151A
 845 E.R. 48A
 SANFORD, FL 32771
 BERNOLLE COUNTY

PROJECT TITLE:

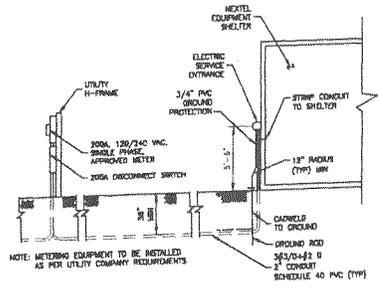
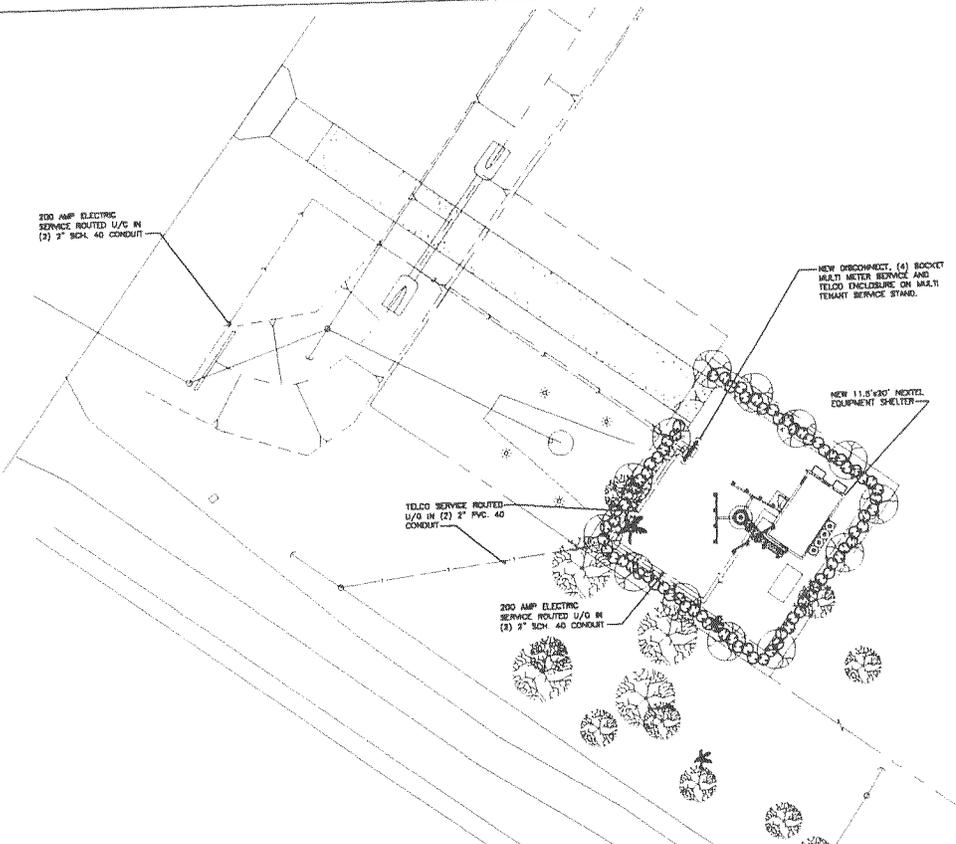
ELECTRICAL NOTES

PROJECT NO: 05071

E-1

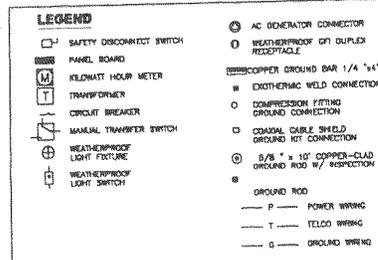
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 BY: JAC
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 PROJECT NO: 05071

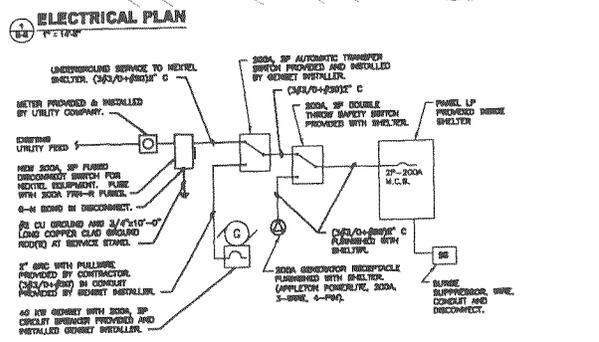


2 ELECTRICAL SERVICE ENTRANCE DETAIL
BY: [Signature]

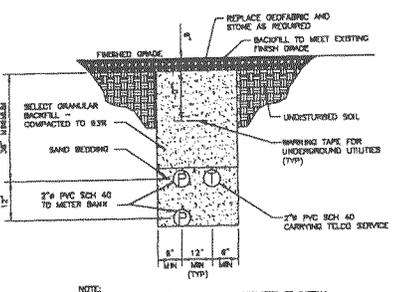
- GENERATOR GENERAL NOTES**
- 40 XE 120/240V, 18 GENSET PROVIDED AND INSTALLED BY OTHERS. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUITS TO GENERATOR PAD AS INDICATED. REFER TO CONCRETE GENERATOR PAD DETAIL, SHEET C-4. GENERATOR INSTALLATION UNDER PHASE 2 WORK.
 - PROVIDE UNDERGROUND GRC CONDUIT FROM GENERATOR PAD TO A.T.S. IN BUILDING. REFER TO ELECTRICAL ONE-LINE DIAGRAM, THIS SHEET FOR CONDUIT SIZE. AT BUILDING, STUD CONDUIT UP +4' AFD, CAP AND LABEL FOR CONNECTION TO FUTURE A.T.S. AT PAD, STUD CONDUIT UP +3' AND CAP. CONNECTION TO A.T.S. BY OTHERS.
 - PROVIDE 3/4" GRC CONDUIT FROM GENERATOR PAD TO OUTSIDE BUILDING FOR ALARMS AND CONTROL CIRCUITS. AT PAD, STUD CONDUIT UP +3' AND CAP. AT BUILDING, STUD CONDUIT UP +6' AFD, CAP AND LABEL. CONNECTIONS TO ALARMS AND CONTROLS BY OTHERS.
 - PROVIDE 3/4" GRC CONDUIT FROM GENERATOR PAD TO PANEL LP FOR JACKET WATER HEATER AND BATTERY CHARGER. AT PAD, STUD CONDUIT UP +3' AND CAP. AT BUILDING CORNER, THROUGH FLOOR OR WALL AND EXTEND CONDUIT TO PANEL. CONNECTION TO PANEL BY OTHERS.



- | | | | |
|--------|----------------------------|-----|-----------------|
| A | AIRPARE | HP | NON-FUSIBLE |
| C | CONDUIT | P | POLE |
| E.M.T. | ELECTRICAL METALLIC TUBING | SH | SOLID HELICAL |
| G | GROUND | SW | SWITCH |
| GFI | GROUND FAULT INTERRUPTING | V | VOLT |
| KWH | KELDMAT HOUR | W | WIRE |
| MCB | MAYN CIRCUIT BREAKER | COB | CORR |
| MED | MAYN LUGS ONLY | MCB | MAYN GROUND BAR |



3 POWER DIAGRAM
BY: [Signature]



4 TYPICAL TRENCH DETAIL
BY: [Signature]

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SAC :
CONVEY :
RF :
A&E :

SCHEDULE OF REVISIONS

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FIRST ISSUE: TYPICAL PRINT DATE: TYPICAL

APPROVALS

SAC: _____
CONVEY: _____
RF: _____
A&E: _____

NORTH SANFORD
SITE ID# FL-3121A
848 S.R. 15A
SANFORD, FL 32774
SEMINOLE COUNTY

ELECTRICAL PLAN & DETAILS

E-2

SHEET NO. 11 OF 12

[Handwritten signature and date: 11/18/00]

GROUNDING NOTES

- GROUND ALL EXPOSED METALLIC OBJECTS ON BUILDING EXTERIOR INCLUDING BUILDING ICE DORN BRACKETS.
- PROVIDE LOCK WASHERS FOR ALL MECHANICAL CONNECTIONS FOR GROUND CONDUCTORS. USE STAINLESS STEEL HARDWARE THROUGHOUT.
- DO NOT INSTALL GROUND RING OUTSIDE OF PROPERTY LINE.
- PROVIDE A GROUND RING BURIED 30" BELOW GRADE OR FRONT LINE, WHICHEVER IS DEEPER. THE GROUND RING SHALL BE INSTALLED 18" AWAY FROM THE SHELTER FOUNDATION. (NUMBER UNLESS SHOWN OTHERWISE ON THE DRAWING)
- REMOVE ALL PAINT AND CLEAN ALL SURFACES REQUIRING GROUND CONNECTIONS. REPAINT TO MATCH AFTER CONNECTION IS MADE TO MAINTAIN CORROSION RESISTANCE.
- ALL EXTERIOR GROUNDING CONDUCTORS INCLUDING GROUND RING SHALL BE #2 AWG SOLID BARE TINED COPPER UNLESS NOTED OTHERWISE. MAKE ALL GROUND CONNECTIONS AS SHORT AND DIRECT AS POSSIBLE. AVOID SHARP BENDS. THE RADIUS OF ANY BEND SHALL NOT BE LESS THAN 8" AND THE ANGLE OF ANY BEND SHALL NOT EXCEED 90°. GROUNDING CONDUCTORS SHALL BE ROUTED DOWNWARD TOWARD THE BURIED GROUND RING.
- BOND ALL SECTIONS OF WAVELENGTH BRIDGE W/ #8 AWG STRANDED COPPER GROUND WIRE.
- BOND A/D LIMITS, OPS ANTENNAS, DOOR FRAMES, METAL STAIRS, HANDRAIL, MISCELLANEOUS METALLIC EQUIPMENT AND MISCELLANEOUS LIFTING HOODS TO GROUND RING. FRAME EXTERNICALLY WELD CONNECTION TO GROUND RING. CONNECTION TO LIFTING HOOK SHALL BE MADE AT THE AXLE BAR WITH AN APPROVED GROUNDING CLAMP.
- BOND ALL EXTERIOR CONDUITS, PIPES AND CYLINDRICAL METALLIC OBJECTS WITH A PORN-LINON OT SERIES CLAMP. BLACKBURN 800V SERIES CLAMP OR A BURNDY BAR 38000V SERIES CLAMP ONLY. NO SUBSTITUTES ACCEPTED.
- ALL GROUND CONNECTIONS SHALL BE APPROVED FOR THE METALS BEING CONNECTED.
- ALL EXTERNAL GROUND CONNECTIONS SHALL BE EXOTHERMICALLY WELDED. ALL EXOTHERMIC WELD TO EXTERIOR GROUND RING SHALL BE THE UNPAIRED TYPE, EXCEPT FOR THE GROUND RING WHICH ARE THE EXOTHERMIC WELD. REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY EXOTHERMIC WELDING. USE SPRAY GALVANIZER SUCH AS HOLLIS ELECTRODOL #18-501.
- CONTRACTOR SHALL PROVIDE A 24 HOUR NOTICE THE CONSTRUCTION MANAGER WHEN THE BURIED GROUND RING IS INSTALLED SO THE REPRESENTATIVE CAN INSPECT THE GROUND RING BEFORE IT IS ENCLOSED WITH SOIL.
- FOR METAL FENCE POST GROUNDING, USE A HEAVY DUTY TYPE GROUNDING CLAMP OR EXOTHERMIC WELD CONNECTION TO POST. BOND ALL FENCE POST WITHIN 8 FEET OF ANY AND ALL CORNERS.
- FOR ALL EXTERNAL GROUND CONNECTIONS, MECHANICAL CONNECTORS (TWO-HOLE OR CLAMP), AND CAD WELDS, APPLY A LUBRIC PROTECTIVE COATING OF AN ANTI-OXIDE COMPOUND SUCH AS "NO OXIDE A" BY DEARBORN CHEMICAL COMPANY PRIOR TO ASSEMBLY.
- ALL MAIN CABLES WILL BE GROUND AT: A) AT THE ANTENNA MOUNTING PIPE, B) MIDDLE OF THE CABLE RUN IF OVER 300', C) AT THE BASE OF THE TOWER, D) PRIOR TO ENTERING EQUIPMENT SHELTER/CABINET (WITHIN 1' OF ENTRY).
- GROUND COAXIAL CABLE SHIELDS AT BOTH ENDS WITH MANUFACTURER'S GROUNDING KITS.
- CONTRACTOR SHALL TEST AND VERIFY THAT THE IMPEDANCE DOES NOT EXCEED 5 OHMS TO GROUND USING AN EARTH/GROUND RESISTANCE TESTER. CONTRACTOR TO PERFORM PRE & POST GROUND TEST. IF IMPEDANCE EXCEEDS 5 OHMS, CONTRACTOR TO NOTIFY D&L & NEXTEL. ONE (1) HARD COPY TO BE LEFT IN THE SHELTER AND ONE (1) SOFT COPY TO BE INCLUDED WITH THE NEXTEL CLOSE-OUT DOCUMENTS.
- SOME DRILLS TO BE SEALED WITH FIRE-STOPPING FOAM SEALANT, UL-LISTED FOR THIS PURPOSE. FOLLOWING INSTALLATION OF CONDUITS IN NEW PENETRATIONS, NO HAMMER DRILLING IS PERMITTED. SCHEDULING OF CORE DRILLING TO BE COORDINATED WITH BUILDING OWNER'S REPRESENTATIVE.
- INSTALL #2 AWG GREEN-INSULATED STRANDED WIRE FOR ABOVE GRADE GROUNDING AND #2 BARE SOLID TIN-COATED WIRE FOR BELOW GRADE GROUNDING UNLESS OTHERWISE NOTED.
- REFER TO GROUNDING PLAN FOR GROUND BAR LOCATIONS. GROUNDING CONNECTIONS SHALL BE EXOTHERMIC TYPE ("CADWELDS") TO ANTENNA MOUNTS AND FRAME. REMAINING GROUNDING CONNECTIONS SHALL BE COMPRESSION FITTINGS. CONNECTIONS TO GROUND BARS SHALL BE MADE WITH TWO-HOLE LINKS.
- ALL SHELTER GROUNDS SHALL BE #2 SOLID BARE TINED COPPER CONDUCTORS & SHALL BE PLACED IN 3/4" PVC CONDUIT EMBEDDED 12" INTO EXISTING GRADE, TOPS SEALED W/ SILICONE CAULK.

LEGEND

- SAFETY DISCONNECT SWITCH
- PANEL BOARD
- KILOWATT HOUR METER
- TRANSFORMER
- CIRCUIT BREAKER
- MANUAL TRANSFER SWITCH
- WEATHERPROOF LIGHT FIXTURE
- WEATHERPROOF LIGHT SWITCH
- AC GENERATOR CONNECTOR
- WEATHERPROOF GFI DUPLEX RECEPTACLE
- COPPER GROUND BAR 1/4 x 1/2
- EXOTHERMIC WELD CONNECTION
- COMPRESSION FITTING GROUND CONNECTION
- COAXIAL CABLE SHIELD GROUND KIT CONNECTION
- 3/8" x 10" COPPER-CLAD STEEL GROUND ROD W/ INSPECTION WELL
- GROUND ROD
- P POWER WIRING
- T TELCO WIRING
- G GROUND WIRING

ABBREVIATIONS

- A AMPERE
- C CONDUIT
- E.M.T. ELECTRICAL METALLIC TUBING
- G GROUND
- GFI GROUND FAULT INTERRUPTING
- KWH KILOWATT HOUR
- MCR MAIN CIRCUIT BREAKER
- MLO MAIN LOCK ONLY
- NT NON-FUSIBLE
- P POLE
- SN SOLID NEUTRAL
- SW SWITCH
- V VOLT
- W WIRE
- CDR CDR
- MOB MAIN GROUND BAR



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REVISIONS BY REVISED

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DRAWN BY: JAS OVERSEEN BY: DDD
SCALE: AS NOTED JOB NO: 00-000-0700
FIRST ISSUE: 1/18/00 PRINT DATE: 1/18/00

APPROVALS

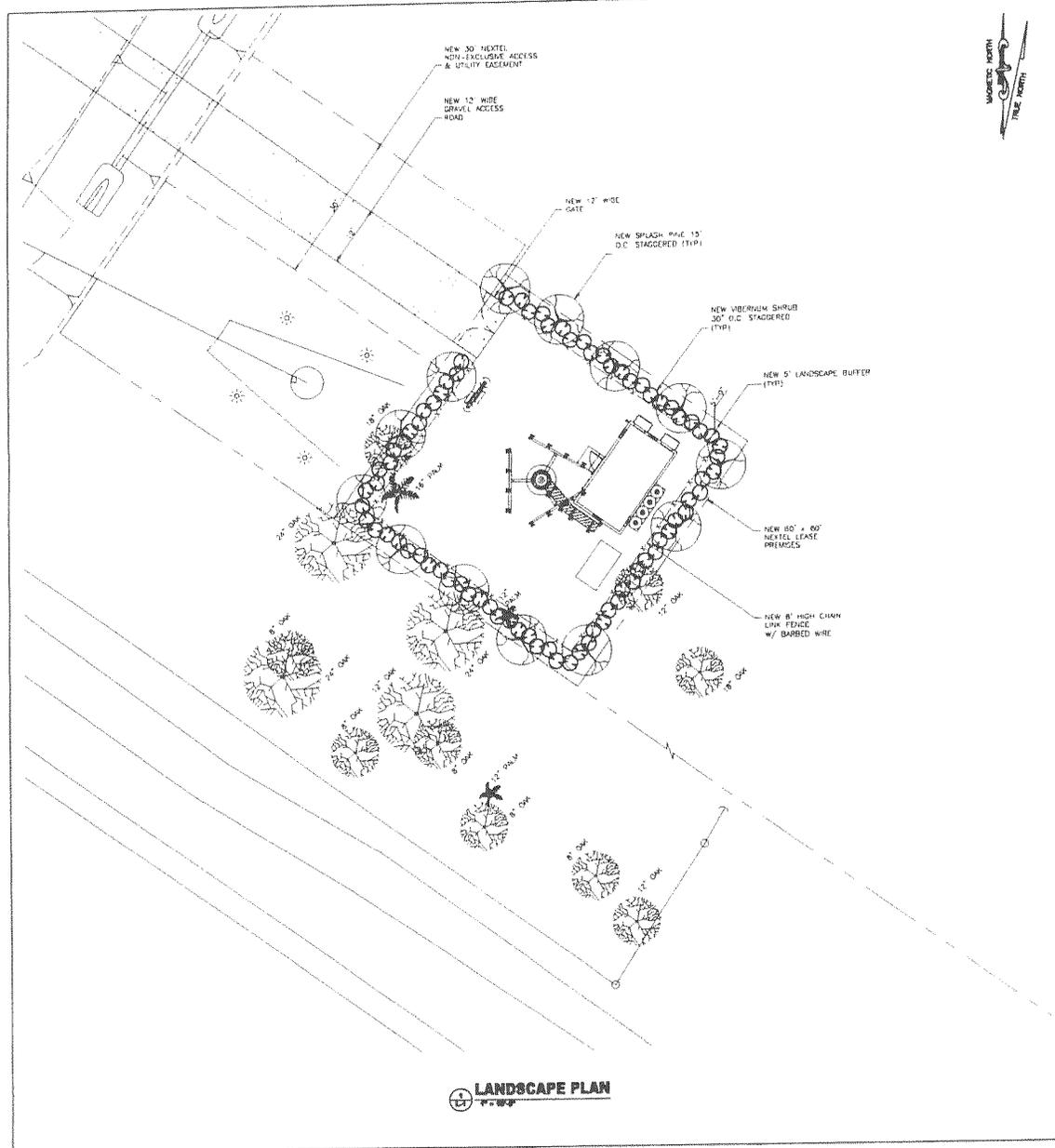
SAC SIGN: _____
CONST: _____
OPER: _____
RF: _____
A&E: _____

NORTH SANFORD
817E 100C FL3121A
845 S.R. 15A
SANFORD, FL 32771
SEMINOLE COUNTY

GROUNDING NOTES

REVISIONS LISTED:
G-1

REVISIONS LISTED:



LANDSCAPE PLAN
P-100

PLANTING LIST			
SCIENTIFIC NAME	COMMON NAME	SIZE (HEIGHT)	SPACING
PNUS ELLIOTTI	SPLASH PINE	8 FT	15' O.C.
CAPRIPODIACEAE	VIBURNUM	3 FT	30' O.C.

MATCH ALL DISTURBED AREAS WITH THREE (3) INCH MINIMUM LAYER OF PINE BARK MULCHETS

LANDSCAPE DESIGN
2822 HORNBY, FT. LAUDERDALE, FL 33304
TEL: (954) 571-0000 FAX: (954) 571-0000

NEXTEL
NEXTEL COMMUNICATIONS
801 TRIAFALGAR CIRCLE SUITE 2000
DADELAND, FL 33271-7483
OFFICE: (407) 538-4338
FAX: (407) 538-8400

SAC :
CONST :
RF :
AAR :

SCHEDULE OF REVISIONS	
1	ISSUED FOR REVISION
2	ISSUED FOR CONSTRUCTION
DATE	DESCRIPTION OF CHANGE
DRAWN BY: JAR	CHECKED BY: SSG
SCALE: AS NOTED	JOB NO. 99-0404/04/05
PRINT DATE: 10/10/05	PRINT DATE: 10/10/05

APPROVALS
SAC MSR : _____
SAC : _____
OPER : _____
CM : _____
RF : _____
CONST : _____
AAR : _____

NORTH SANFORD
SITE ID# PL-3121A
848 S.R. 15A
SANFORD, FL 32771
SEMINOLE COUNTY

LANDSCAPE DETAILS & NOTES

L-1

SHEET 1 OF 14 OF 48

11/18/05

DESIGNED BY: [Signature]
PLANTING LIST: [Signature]
PLANTING LIST: [Signature]

LANDSCAPE NOTES

A. PROJECT INCLUDES

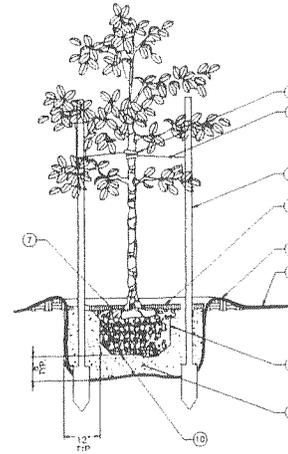
1. FURNISH, INSTALL AND MAINTAIN LANDSCAPE WORK AS SHOWN ON THESE CONTRACT DRAWINGS OR AS IDENTIFIED HEREIN.
 - A. TREES, SHRUBS, AND GROUND COVER.
 - B. LAMBS.
 - C. TOPSOIL AND SOIL AMENDMENTS.
 - D. INITIAL MAINTENANCE OF INSTALLED LANDSCAPE MATERIALS.
 - E. PRUNING AND RELOCATION OF EXISTING PLANT MATERIALS.
 - F. RECONSTRUCTING EXISTING LAMBS INTERFERED BY CONSTRUCTION ACTIVITIES.

B. QUALITY ASSURANCE

1. PLANTS AND TREES, BALLED AND BURLAPED, SHALL BE GRADED TO AMERICAN STANDARD FOR NURSERY STOCK AND SOIL.
2. TESTING: LABORATORY TESTING OF EXISTING SOILS AND FILL MATERIALS FOR SUITABLE SOIL AMENDMENTS AND FERTILIZER SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR.
3. CONTRACTOR SHALL PREPARE THE SURFACE OF DISTURBED AREAS PRIOR TO SEEDING.
4. FERTILIZER AND SEED SHALL BE APPLIED AT UNIFORM RATES AS DETERMINED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.
5. CONTRACTOR SHALL WATER SEEDED AREAS AS OFTEN AS REQUIRED TO OBTAIN GERMINATION AND TO OBTAIN AND MAINTAIN SATISFACTORY GROWTH.
6. THE STAND OF VEGETATIVE COVER RESULTING FROM SEEDING SHALL NOT BE CONSIDERED SATISFACTORY UNTIL ACCEPTED BY THE ENGINEER. IF AREAS ARE DETERMINED TO BE UNACCEPTABLE, THE MOUND WILL BE REMOVED AND ALL AREAS SHALL BE RESEED, RE-FERTILIZED AND RE-MULCHED PER RECOMMENDED APPLICATION PROCEDURES AT THE CONTRACTOR'S EXPENSE.
7. THE CONTRACTOR SHALL BEGIN MAINTENANCE PERIOD IMMEDIATELY AFTER PLANTING OF VEGETATIVE COVER.
8. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER AREA FOR THE PERIODS REQUIRED TO ESTABLISH AN ACCEPTABLE GROWTH, BUT NOT LESS THAN 90 DAYS AFTER THE COMPLETION OF PLANTING OF VEGETATIVE COVER. IF SEEDING IN THE FALL, ARE NOT OPEN A FULL 90 DAYS OF MAINTENANCE, OR IF NOT CONSIDERED ACCEPTABLE BY THE ENGINEER AT THAT TIME, CONTINUE MAINTENANCE DURING THE FOLLOWING SPRING UNTIL ACCEPTABLE VEGETATIVE COVER STAND IS ESTABLISHED.

C. PRODUCTS

1. PLANT MATERIALS SHALL BE AS SHOWN ON THESE CONTRACT DRAWINGS AND MAY BE ANY COMBINATION OF THE FOLLOWING:
 - A. DECIDUOUS TREES.
 - B. DECIDUOUS SHRUBS.
 - C. CONIFEROUS AND BROAD LEAVED EVERGREEN TREES AND SHRUBS.
 - D. GROUND COVER.
 - E. PLANTS.
2. LAMBS: LAMBS MAY BE ANY OF THE FOLLOWING AS APPROVED BY THE ENGINEER: SEED, NEW CROP SEED MATURE, SOO, STRONGLY ROOTED, 2 YEARS OLD, OR SOO PLANTS AND SPRINGS.
3. TOPSOIL: FERTILE, FINE-TEXTURED, FROM OUTSIDE, OR FROM SITE STOCKPILE WITH ADDITIONAL WIND-BLOWN FERTILE, FINE-TEXTURED, FROM LOCAL SUPPLIERS OF TOPSOIL.
4. SOIL AMENDMENTS: THE SOIL AMENDMENTS MAY BE ANY OF THE FOLLOWING, AS REQUIRED OR INDICATED IN THE LABORATORY TESTING REPORTS.
 - A. LIME: DOLOMITE LIMESTONE.
 - B. ALUMINUM SULFATE: COMMERCIAL GRADE.
 - C. PEAT: HULMO: FINELY DIVIDED PEAT.
 - D. SUPERPHOSPHATE: 20 PERCENT AVAILABLE PHOSPHORIC ACID.
 - E. SAND: CLEAN, WASHED SAND.
 - F. FERTILIZER: 1000 PPH 0-1.
 - G. SAWDUST: ROTTED SAWDUST FREE OF CHIPS AND STONES.
 - H. MANURE: ROTTED CHICKEN MANURE.
 - I. COMMERCIAL FERTILIZER: NEUTRAL CHARACTER FOR PLANT MATERIALS AND LAMBS.
 - J. MULCH: SHREDDED HARDWOOD MULCH.
5. LANDSCAPE MATERIALS: THE LANDSCAPE MATERIALS MAY BE ANY OF THE FOLLOWING, AS SHOWN ON THESE CONTRACT DRAWINGS.
 - A. GRAVEL: WATER-WORN GRAVEL.
 - B. ANTI-EROSION MULCH: SEED-FREE SALT MAY OR THRESHED STRAW.
 - C. ANTI-DESICCANT: EMULSION TYPE, FILM-FORMING.
 - D. PLASTIC SHEET: BLACK POLYETHYLENE, 6 MILS.
 - E. FLEXIBON FABRIC: WATER PERMEABLE FIBROGLASS OR POLYPROPYLENE FABRIC.
 - F. WRAPPING: TREE-WRAP TAPE.
 - G. STAKES AND CUTS: NEW HARDWOOD TREATED SOUTHWOOD, OR REDWOOD.
 - H. METAL BONDING: COMMERCIAL STEEL BONDING.
 - I. WOOD HEADERS AND EGGING: ALL HEART REDWOOD OR PRESSURE TREATED SOUTHERN YELLOW PINE.

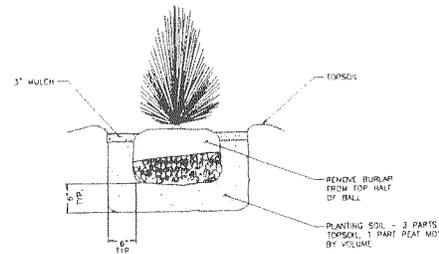


1. PROTECT TREE TRUNK WITH BLACK RUBBER HOSE.
2. #10 GAUGE WIRE (NOTE FOR MULTI-TRUNK TREES, GO TO STRONGEST TRUNK AT CENTER).
3. TWO 6" COMMERCIAL GRADE "T" - POST SPACED EVENLY AROUND TREE.
4. 3" MINIMUM OF COMPRESS MULCH COMPACTED OR AS SPECIFIED.
5. SOIL BERM TO HOLD WATER.
6. FINISHED GRADE (SEE GRADING PLAN).
7. TOP OF HOISTBALL MIN. 1" ABOVE FINISHED GRADE.
8. B & B OR CONTAINERIZED (SEE SPECIFICATIONS FOR POST-BALL REQUIREMENTS).
9. PREPARED PLANTING SOIL AS SPECIFIED.
10. ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PROMOTE SETTLING. ROOTBALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.

NOTES:

1. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
2. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
3. "TREE SAVERS" ANCHORING SYSTEM MAY BE SUBSTITUTED FOR "T" - POST STAKING SYSTEM UPON APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.

13 TYPICAL TREE PLANTING DETAIL



13 TYPICAL SHRUB PLANTING DETAIL

DL LANDSCAPE DESIGN
 2500 HENRIEVILLE, ST. JACQUESVILLE, FL 32704
 TEL: (904) 267-6000 FAX: (904) 267-6000

NEXTEL
 NEXTEL COMMUNICATIONS
 801 TRAFALGAR CIRCLE SUITE 2000
 BAITLAND, FL 32717-7428
 OFFICE: (407) 628-5228
 FAX: (407) 628-5400

SAC : _____
 CONST : _____
 RF : _____
 ABE : _____

SCHEDULE OF EVENTS	
DATE	DESCRIPTION OF WORK
7	
8	
9	
10	
11	
12	
1	THRESH (ISSUE PER APPROVAL)
2	THRESH (ISSUE PER DISTRIBUTION)
3	DATE (DESCRIPTION OF WORK)
DESIGNED BY: JLD	DESIGNED BY: HGG
DRAWN BY: ASH	JOB NO: 000-040047000
DATE: 08/20/05	PRINT DATE: 08/20/05

APPROVALS

SAC SIGN : _____
 CONST : _____
 OPER : _____
 CM : _____
 RF : _____
 CONST : _____
 ABE : _____

NORTH SANFORD
 SITE ID#: PL3121A
 845 S.W. 18A
 SANFORD, FL 32771
 SEMINOLE COUNTY

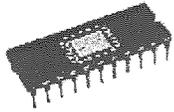
LANDSCAPE
DETAILS & NOTES

SHRUBBY BERRY:
L-2

SHRUB NO. 18 OF 18

08/20/05
 08/20/05

11/18/2005 11:30:44 AM



Greg Holcomb/Seminole
11/14/2005 09:11 AM

To Kathy Fall/Seminole@Seminole
cc
bcc
Subject Nextel FL3121 N. Sanford Tower Review

History:  This message has been forwarded.

I reviewed the documents that were provided. They were technically sound in explanation and further detailed the capacity and growth issues of the area for the Seminole/Volusia growth and traffic patterns. The only item I would question is the first statement.

Item 1) indicates "there is no co-locatable structure for the site". I understand, but have seen no noticeable documentation to indicate there has been contact made with CSX, Utility companies, etc. for this area. Understanding that there are no structures that currently fit their need, have they made an attempt with replacement of existing structures in the area for collocation? A good example of this would be at 417 and I-4 where utility poles/structures were replaced and retrofitted for antenna/tower installations.

Let me know if you need anything additional.

Gregory A. Holcomb, CPM, RCDD
Information Technologies Manager
Department of Information Technologies
Seminole County Government
150 Bush Blvd, Suite 3-105
Sanford, FL 32773

Office 407-665-1005
Fax 407-665-1020
www.seminolecountyfl.gov

--****Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. Seminole County policy does not differentiate between personal and business emails. E-mail sent on the County system will be considered public and will only be withheld from disclosure if deemed confidential pursuant to State Law.****

craig and associates

1200 West State Road 434, Ste. 224 • Longwood, FL 32750
Phone 407-862-0434 • Fax 407-862-0610

November 18, 2005

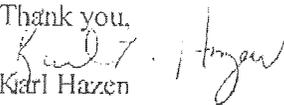
Planning and Development Department
Planning Division
Room 2202
1101 East First Street
Sanford, Florida 32771

RE: Statement of Documentation
Proposed Communication Site
Nextel South Corp. Site FL3121 North Sanford

Dear Members of the Planning Department:

In accordance with the provisions of the Land Development Code Seminole County, that request that if all possible "Cell Antennas" be collocated on existing structure when possible. Craig and Associates acquisition specialists have made contact with FPL and where told that they do not work with cell tower company's in locating antenna on there power poles. In addition there are not any suitable poles in the area. CSX has also been contacted and although they have worked in the past with cell company's to locate antennas on existing structure currently do not. In addition there are not any structures in the area. In conclusion nearby collocation are not available to meet the specific technical and engineering requirements.

Thank you,


Karl Hazen
Acquisition Specialist