

SEMINOLE COUNTY GOVERNMENT
BOARD OF ADJUSTMENT
AGENDA MEMORANDUM

SUBJECT: REQUEST FOR (1) SPECIAL EXCEPTION TO ESTABLISH A 197 FOOT TALL MONOPOLE COMMUNICATION TOWER IN THE A-5 (RURAL ZONING CLASSIFICATION DISTRICT); AND (2) ASSOCIATED VARIANCES FROM 591 FEET TO 60 FEET, 591 FEET TO 230 FEET, 591 FEET TO 270 FEET, 591 FEET TO 450 FEET AND 591 FEET TO 535 FEET TO REDUCE THE MINIMUM DISTANCE SEPARATION FROM THE PROPOSED TOWER TO THE NEAREST PROPERTIES WITH SINGLE-FAMILY DWELLINGS; (RICHARD AND JAY SHIRAH/ SPINTCOM, INC, APPLICANTS).

DEPARTMENT: Planning & Development **DIVISION:** Planning

AUTHORIZED BY: Earnest McDonald **CONTACT:** Earnest McDonald/ Kathy Fall **EXT:** 7389

Agenda Date 10-25-04 Regular Consent Public Hearing

MOTION/RECOMMENDATION:

1. **APPROVE** THE REQUEST FOR (1) SPECIAL EXCEPTION TO ESTABLISH A 197 FOOT TALL MONOPOLE COMMUNICATION TOWER IN THE A-5 (RURAL ZONING CLASSIFICATION DISTRICT); AND (2) ASSOCIATED VARIANCES FROM 591 FEET TO 60 FEET, 591 FEET TO 230 FEET, 591 FEET TO 270 FEET, 591 FEET TO 450 FEET AND 591 FEET TO 535 FEET TO REDUCE THE MINIMUM DISTANCE SEPARATION FROM THE PROPOSED TOWER TO THE NEAREST PROPERTIES WITH SINGLE-FAMILY DWELLINGS; (RICHARD AND JAY SHIRAH/ SPINTCOM, INC, APPLICANTS); OR
2. **DENY** THE REQUEST FOR (1) SPECIAL EXCEPTION TO ESTABLISH A 197 FOOT TALL MONOPOLE COMMUNICATION TOWER IN THE A-5 (RURAL ZONING CLASSIFICATION DISTRICT); AND (2) ASSOCIATED VARIANCES FROM 591 FEET TO 60 FEET, 591 FEET TO 230 FEET, 591 FEET TO 270 FEET, 591 FEET TO 450 FEET AND 591 FEET TO 535 FEET TO REDUCE THE MINIMUM DISTANCE SEPARATION FROM THE PROPOSED TOWER TO THE NEAREST PROPERTIES WITH SINGLE-FAMILY DWELLINGS; (RICHARD AND JAY SHIRAH/ SPINTCOM, INC, APPLICANTS); OR
3. **CONTINUE** THE REQUEST TO A TIME AND DATE CERTAIN.

GENERAL INFORMATION	APPLICANT: RICHARD AND JAY SHIRAH/ SPINTCOM, INC, 1051 VAN ARSDALE STREET OVIEDO, FL 32789	A-5 DISTRICT, LDC SECTION 124 (B)(23) COMMUNICATION TOWERS; LDC SECTION 30.1364(B) PERFORMANCE STANDARDS (MINIMUM
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		SEPARATION FROM OFF-SITE USES / DESIGNATED AREAS)																		
BACKGROUND / REQUEST	<p>THE SUBJECT PROPERTY IS OWNED BY GARY AND ELIZABETH LASHINSHY AND IS CURRENTLY USED AS A HORSE TRAINING FACILITY. THE APPLICANTS PROPOSE TO LEASE A PORTION OF THE SUBJECT PROPERTY IN ORDER TO CONSTRUCT A 197 FOOT TALL MONOPOLE COMMUNICATION TOWER.</p> <ul style="list-style-type: none"> • <u>REQUEST FOR SPECIAL EXCEPTION</u> <ul style="list-style-type: none"> ○ THE EXISTING SITE IS LOCATED IN THE A-5 DISTRICT, WHERE MONOPOLE COMMUNICATION TOWERS ARE PERMITTED BY SPECIAL EXCEPTION. • <u>REQUEST FOR VARIANCES</u> <ul style="list-style-type: none"> ○ MINIMUM SEPARATION DISTANCE IS DEFINED AS 300 PERCENT OF PROPOSED TOWER HEIGHT (OR 197 FT X 3 = 591 FT), MEASURED FROM THE OUTER EXTREMITY OF THE BASE OF THE TOWER TO THE NEAREST PROPERTY LINE OF THE PARCELS WHERE RESIDENCES ARE LOCATED. FOR THE PROPOSED 197 FOOT TOWER, THE LAND DEVELOPMENT CODE REQUIRES A MINIMUM SEPARATION DISTANCE OF 591 FT BETWEEN THE BASE OF THE TOWER AND SURROUNDING SINGLE-FAMILY USES. ○ THE SUBJECT PROPERTY ABUTS A TOTAL OF FIVE (5) PROPERTIES WHERE THERE ARE EXISTING SINGLE-FAMILY RESIDENCES WITH THE SEPARATION RADIUS. THE FOLLOWING VARIANCES ARE REQUESTED TO REDUCE THE MINIMUM SEPARATION REQUIREMENTS: <table border="1" data-bbox="581 1333 1446 1598"> <thead> <tr> <th>SE DESIGNATED PARCELS</th> <th>PROPOSED DISTANCE SEPARATION</th> <th>VARIANCE AMOUNT REQUESTED</th> </tr> </thead> <tbody> <tr> <td>25-20-31-5BA-0000-436A</td> <td>60 FEET</td> <td>531 FEET</td> </tr> <tr> <td>25-20-31-5BA-0000-4360</td> <td>230 FEET</td> <td>361 FEET</td> </tr> <tr> <td>25-20-31-5BA-0000-338B</td> <td>535 FEET</td> <td>56 FEET</td> </tr> <tr> <td>12-21-31-501-0000-0010</td> <td>270 FEET</td> <td>321 FEET</td> </tr> <tr> <td>25-20-31-5BA-0000-437A</td> <td>450 FEET</td> <td>141 FEET</td> </tr> </tbody> </table> <ul style="list-style-type: none"> ○ THE SUBJECT PROPERTY IS OCCUPIED BY HORSE TRAINING FACILITY DESIGNATED RURAL-5 FLU AND A-5 (RURAL ZONING CLASSIFICATION DISTRICT), WHERE THE SEPARATION REQUIREMENT DOES NOT APPLY. ○ THE APPLICANTS ARE SEEKING LETTERS OF SUPPORT FROM ABUTTING PROPERTY OWNERS, WHICH WOULD ALLOW THE PLANNING MANAGER TO ADMINISTRATIVE REDUCE SEPARATION DISTANCES 		SE DESIGNATED PARCELS	PROPOSED DISTANCE SEPARATION	VARIANCE AMOUNT REQUESTED	25-20-31-5BA-0000-436A	60 FEET	531 FEET	25-20-31-5BA-0000-4360	230 FEET	361 FEET	25-20-31-5BA-0000-338B	535 FEET	56 FEET	12-21-31-501-0000-0010	270 FEET	321 FEET	25-20-31-5BA-0000-437A	450 FEET	141 FEET
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	WITH WRITTEN CONSENT OF PROPERTY OWNERS WITHIN THE SEPARATION DISTANCE.			
ZONING & FLU	DIRECTION	EXISTING ZONING	EXISTING FLU	USE OF PROPERTY
	SITE	A-5	RURAL-5	HORSE TRAINING FACILITY
	NORTH	A-5	RURAL-5	MOBILE HOME
	SOUTH	A-1	SUBURBAN ESTATES	SINGLE-FAMILY
	EAST	A-5	RURAL-5	CHURCH
WEST	A-5	RURAL-5	MOBILE HOME	
STANDARDS FOR GRANTING A SPECIAL EXCEPTION	<p>THE BOARD OF ADJUSTMENT (BOA) SHALL HAVE THE POWER TO HEAR AND DECIDE SPECIAL EXCEPTIONS AND VARIANCES IT IS SPECIFICALLY AUTHORIZED TO PASS UNDER THE TERMS OF THE LAND DEVELOPMENT CODE UPON DETERMINATION THE USE REQUESTED:</p> <p><u>IS NOT DETRIMENTAL TO THE CHARACTER OF THE AREA OR NEIGHBORHOOD OR INCONSISTENT WITH TRENDS OF DEVELOPMENT IN THE AREA:</u></p> <p>THE TREND OF DEVELOPMENT IN THE AREA HAS INCLUDED A COMBINATION OF SINGLE-FAMILY, INSTITUTIONAL AND AGRICULTURAL USES. THE PROPOSED TOWER IS A STANDARD 197 FOOT TALL MONOPOLE STRUCTURE THAT IS NOT DESIGNED TO ASSIMILATE INTO SURROUNDING DEVELOPMENT.</p> <p>BECAUSE THE PROPOSED TOWER, AT THE HEIGHT PROPOSED, WOULD NOT BLEND INTO EXISTING SURROUNDINGS LIKE A CAMOUFLAGE INSTALLATION, STAFF BELIEVES THE RECOMMENDED DESIGN CONDITIONS SHOULD BE APPLIED IF THE BOARD DECIDES TO APPROVE THE REQUEST.</p> <p><u>DOES NOT HAVE AN UNDULY ADVERSE EFFECT ON EXISTING TRAFFIC PATTERNS, MOVEMENTS AND VOLUMES:</u></p> <p>THE PROPOSED TOWER WOULD NOT HAVE AN ADVERSE IMPACT ON EXISTING TRAFFIC VOLUMES, SINCE THE FACILITY WOULD BE UNMANNED AND REQUIRE APPROXIMATELY ONE SITE VISIT PER MONTH (2 VEHICLE TRIPS) FOR ROUTINE SERVICE AND MAINTENANCE.</p> <p><u>IS CONSISTENT WITH THE SEMINOLE COUNTY VISION 2020 COMPREHENSIVE PLAN:</u></p> <p>THE SEMINOLE COUNTY VISION 2020 COMPREHENSIVE PLAN DESCRIBES THE RURAL-5 FUTURE LAND USE (FLU) AS A CATEGORY ESTABLISHED FOR AGRICULTURAL USES</p>			

	<p>AND RESIDENTIAL DEVELOPMENT ON LARGE LOTS.</p> <p>THE COMPREHENSIVE PLAN FURTHER DESCRIBES RURAL-5 FLU AS APPROPRIATE FOR SPECIAL EXCEPTION USES LIKE UTILITY STRUCTURES. WITH THE IMPOSITION OF STAFF'S RECOMMENDED CONDITIONS, THE PROPOSED COMMUNICATION TOWER WOULD BE CONSISTENT WITH THE RURAL-5 FLU DESIGNATION.</p> <p><u>MEETS ANY ADDITIONAL REQUIREMENTS SPECIFIED IN THE CODE SECTION AUTHORIZING THE USE IN A PARTICULAR ZONING DISTRICT OR CLASSIFICATION:</u></p> <p>BASED ON THE SUBMITTED SITE PLAN, THE PROPOSED COMMUNICATION TOWER WOULD NOT MEET THE 591 FT MINIMUM SEPARATION DISTANCE, AS EXPLAINED ELSEWHERE IN THIS REPORT. FOR THIS REASON, VARIANCES FROM THE MINIMUM SEPARATION DISTANCES REQUIRED BETWEEN THE BASE OF THE PROPOSED TOWER AND THE ABUTTING PROPERTIES ARE REQUESTED AS A PART OF THIS APPLICATION.</p> <p><u>WILL NOT ADVERSELY AFFECT THE PUBLIC INTEREST:</u></p> <p>WITHIN THE A-5 DISTRICT, COMMUNICATION TOWERS ARE CONDITIONAL USES. THE LOW DENSITY, AGRICULTURAL CHARACTER OF THE SURROUNDING AREA APPEARS TO SUPPORT THIS TYPE OF FACILITY WITH MINIMAL POTENTIAL IMPACTS TO THE AESTHETICS OF THE COMMUNITY.</p> <p>THE INCORPORATION OF DESIGN ELEMENTS, SUCH AS MUTED COLORS AND A REDUCTION IN HEIGHT TO THE MINIMUM NECESSARY TO ACCOMMODATE THE PROPOSED CARRIERS WOULD REDUCE VISUAL IMPACT TO SURROUNDING DEVELOPMENT.</p>
<p>STANDARDS FOR GRANTING A SPECIAL EXCEPTION IN THE A-5 DISTRICT</p>	<p>THE BOA MAY PERMIT ANY USE ALLOWED BY SPECIAL EXCEPTION IN THE A-5 DISTRICT UPON MAKING FINDINGS OF FACT, IN ADDITION TO THOSE REQUIRED BY SECTION 30.43(b)(2) OF THE LAND DEVELOPMENT CODE, THAT THE USE:</p> <p><u>IS CONSISTENT WITH THE GENERAL ZONING PLAN OF THE A-5 (RURAL ZONING CLASSIFICATION DISTRICT):</u></p> <p>AS PREVIOUSLY STATED, THE PROPOSED USE WOULD BE CONSISTENT WITH THE RURAL-5 FLU AND UNDERLYING A-5 ZONING WITH THE IMPOSITION OF STAFF'S RECOMMENDED CONDITIONS. THE PROPOSED USE WOULD OTHERWISE COMPLY WITH THE DIMENSIONAL STANDARDS OF THE A-5 DISTRICT.</p>

	<p><u>IS NOT HIGHLY INTENSIVE IN NATURE:</u></p> <p>THE REQUEST WOULD NOT BE HIGHLY INTENSIVE IN NATURE, IF IMPROVEMENTS ARE LIMITED TO A MONOPOLE TOWER SYSTEM THAT FURTHERS THE POLICY INTENT OF THE LAND DEVELOPMENT CODE, AN EQUIPMENT CABINET, PRIVACY FENCE, AND REQUISITE LANDSCAPING AS DEPICTED ON THE SUBMITTED SITE PLAN.</p> <p>THE PROPOSED FACILITY WOULD BE SELF-OPERATING AND USED EXCLUSIVELY FOR TRANSMITTING AND RECEIVING. ROUTINE MAINTENANCE VISITS WOULD OCCUR APPROXIMATELY TWICE A MONTH. MORE FREQUENT VISITS WOULD BE REQUIRED IN THE EVENT OF MALFUNCTION OR EMERGENCY.</p> <p>PROPOSED INGRESS/EGRESS TO THE FACILITY WOULD BE PROVIDED FROM VAN ARSDALE STREET THROUGH THE EXISTING SITE.</p> <p><u>HAS ACCESS TO AN ADEQUATE LEVEL OF URBAN SERVICES SUCH AS SEWER, WATER, POLICE, SCHOOLS AND RELATED SERVICES:</u></p> <p>THE PROPOSED TOWER WOULD BE AN UNMANNED FACILITY, WHICH WOULD REQUIRE NO CONNECTION TO WATER OR SEWER, NOR IMPACT SCHOOL SERVICES. OTHER COUNTY SERVICES, INCLUDING POLICE, EMERGENCY, AND GARBAGE DISPOSAL ARE OTHERWISE AVAILABLE TO THE SITE. ELECTRICAL POWER AND TELEPHONE SERVICE WOULD BE RESPECTIVELY PROVIDED BY PROGRESS ENERGY AND BELL SOUTH.</p>
<p>STANDARDS FOR GRANTING A VARIANCE; LDC SECTION 30.43 (b)(3)</p>	<p>SEPARATION DISTANCES MAY BE DECREASED OR INCREASED BY THE BOARD OF ADJUSTMENT IN ACCORDANCE WITH THE PROCEDURAL REQUIREMENTS FOR VARIANCES.</p> <p>PRIOR TO GRANTING A VARIANCE, THE BOARD OF ADJUSTMENT MUST REACH A FINDING THAT LITERAL ENFORCEMENT OF APPLICABLE REGULATIONS WOULD RESULT IN AN UNNECESSARY AND UNDUE HARDSHIP UPON THE APPLICANT AND DETERMINE COMPLIANCE WITH THE CRITERIA PRESENTED IN SECTION 30.43(B)(3) OF THE LAND DEVELOPMENT CODE.</p> <p>THE STANDARDS RELATIVE TO VARIANCES AS OTHERWISE STATED BELOW MAY BE CONSIDERED IN DETERMINING WHETHER TO APPROVE A VARIANCE BUT <u>SHALL NOT</u> BE DETERMINATIVE AS TO WHETHER THE VARIANCE MAY BE GRANTED:</p>

THAT SPECIAL CONDITIONS AND CIRCUMSTANCES EXIST WHICH ARE PECULIAR TO THE LAND, STRUCTURE, OR BUILDING INVOLVED AND WHICH ARE NOT APPLICABLE TO OTHER LANDS, STRUCTURES, OR BUILDINGS IN THE SAME ZONING CLASSIFICATION:

SHOULD THE BOARD OF ADJUSTMENT FIND THAT A COMMUNICATION TOWER IS APPROPRIATE FOR THE PROPOSED LOCATION AND THEREBY APPROVE THE REQUESTED SPECIAL EXCEPTION, REASONABLE USE OF THE SUBJECT PROPERTY FOR THE PURPOSE OF ESTABLISHING A TOWER IN EXCESS OF 20 FEET WOULD BE DEPENDENT UPON VARIANCES FROM THE MINIMUM SEPARATION DISTANCES REQUIRED BETWEEN THE PROPOSED TOWER AND ABUTTING PROPERTIES WITH EXISTING SINGLE-FAMILY HOMES.

BASED ON THE SUBMITTED PROPAGATION MAPS AND SUPPORTING DOCUMENTATION, THE APPLICANTS HAVE DEMONSTRATED A NEED TO EXPAND SPRINT'S WIRELESS SERVICE AREA BY ESTABLISHING A COMMUNICATION TOWER IN THE GENERAL VICINITY OF THE SUBJECT PROPERTY. THE APPLICANTS HAVE FURTHER INDICATED THAT ALL COLLOCATION OPPORTUNITIES HAVE BEEN EXPLORED AND DEEMED UNACCEPTABLE FOR MEETING SPRINT'S COVERAGE GOALS AND THE PROVISION OF HOMOGENEOUS SERVICE ACROSS ITS NETWORK.

STAFF HAS FURTHER DETERMINED THAT THE PROPOSED TOWER HEIGHT IS CONSISTENT WITH SPRINT'S DESIRE TO PROVIDE COVERAGE IN THE AREAS IDENTIFIED ON THE ATTACHED PROPAGATION MAPS. IN GENERAL, COMMUNICATION TOWERS REQUIRE A SPACING OF APPROXIMATELY 2 TO 3 MILES TO PROVIDE THE NECESSARY OVERLAP AND SIGNALING REQUIREMENT TO OPTIMIZE PERFORMANCE AND COVERAGE TO A GEOGRAPHIC AREA. THE SPECIAL CIRCUMSTANCES DESCRIBED HEREIN LEND SUPPORT TO THE REQUEST.

THAT THE SPECIAL CONDITIONS AND CIRCUMSTANCES DO NOT RESULT FROM THE ACTIONS OF THE APPLICANTS:

THE APPLICANT HAS PROVIDED A SEARCH RING ANALYSIS THAT DEMONSTRATES THE CURRENT LACK OF COVERAGE FROM SURROUNDING TOWERS AND NO OPPORTUNITIES TO CO-LOCATE ON EXISTING TOWERS. THIS IS A SPECIAL CIRCUMSTANCE THAT DID NOT RESULT FROM THE APPLICANTS' ACTIONS.

THAT GRANTING THE VARIANCE REQUESTED WILL NOT CONFER ON THE APPLICANT ANY SPECIAL PRIVILEGE THAT

IS DENIED BY CHAPTER 30 TO OTHER LANDS, BUILDINGS, OR STRUCTURES IN THE SAME ZONING CLASSIFICATION:

SHOULD THE BOARD APPROVE THE REQUESTED SPECIAL EXCEPTION, THE GRANTING OF VARIANCES FROM THE MINIMUM SEPARATION DISTANCE WOULD NOT CONFER SPECIAL PRIVILEGES, SINCE REASONABLE USE OF THE PROPERTY FOR EXPANDING SPRINT'S SERVICE AREA WOULD BE COMPROMISED WITHOUT RELIEF FROM THE MINIMUM SEPARATION DISTANCE REQUIREMENTS OF THE LAND DEVELOPMENT CODE.

THAT LITERAL INTERPRETATION OF THE PROVISIONS OF CHAPTER 30 WOULD DEPRIVE THE APPLICANT OF RIGHTS COMMONLY ENJOYED BY OTHER PROPERTIES IN THE SAME ZONING CLASSIFICATION AND WOULD WORK UNNECESSARY AND UNDUE HARDSHIP ON THE APPLICANT:

THE LITERAL INTERPRETATION OF THE PROVISIONS OF SECTION 30.1364 (PERFORMANCE STANDARDS) WOULD DEPRIVE THE APPLICANT OF RIGHTS COMMONLY ENJOYED BY OTHER PROPERTIES IN THE A-5 DISTRICT. WITHOUT VARIANCES FROM MINIMUM SEPARATION DISTANCES, A TOWER NO TALLER THAN 20 FEET IN HEIGHT COULD BE CONSTRUCTED AT THE PROPOSED LOCATION, SHOULD A SPECIAL EXCEPTION BE GRANTED BY THE BOARD.

THAT THE VARIANCE GRANTED IS THE MINIMUM VARIANCE THAT WILL MAKE POSSIBLE THE REASONABLE USE OF THE LAND, BUILDING, OR STRUCTURE:

THE APPLICANTS HAVE INDICATED THE PROPOSED TOWER HEIGHT OF 197 FEET IS NECESSARY TO PROVIDE NEEDED COMMUNICATION COVERAGE. THE HEIGHT OF THE SPRINT ANTENNA ON THE MONOPOLE IS 194 FEET WHICH IS THE MINIMUM HEIGHT NEEDED TO MEET THIS OBJECTIVE. THE APPLICANT HAS STATED THE ADDITIONAL FOOTAGE PROVIDED BY THE MONOPOLE IS FOR FUTURE NEEDS. THE SEMINOLE COUNTY LAND DEVELOPMENT CODE SEC. 30.1368 STATES:

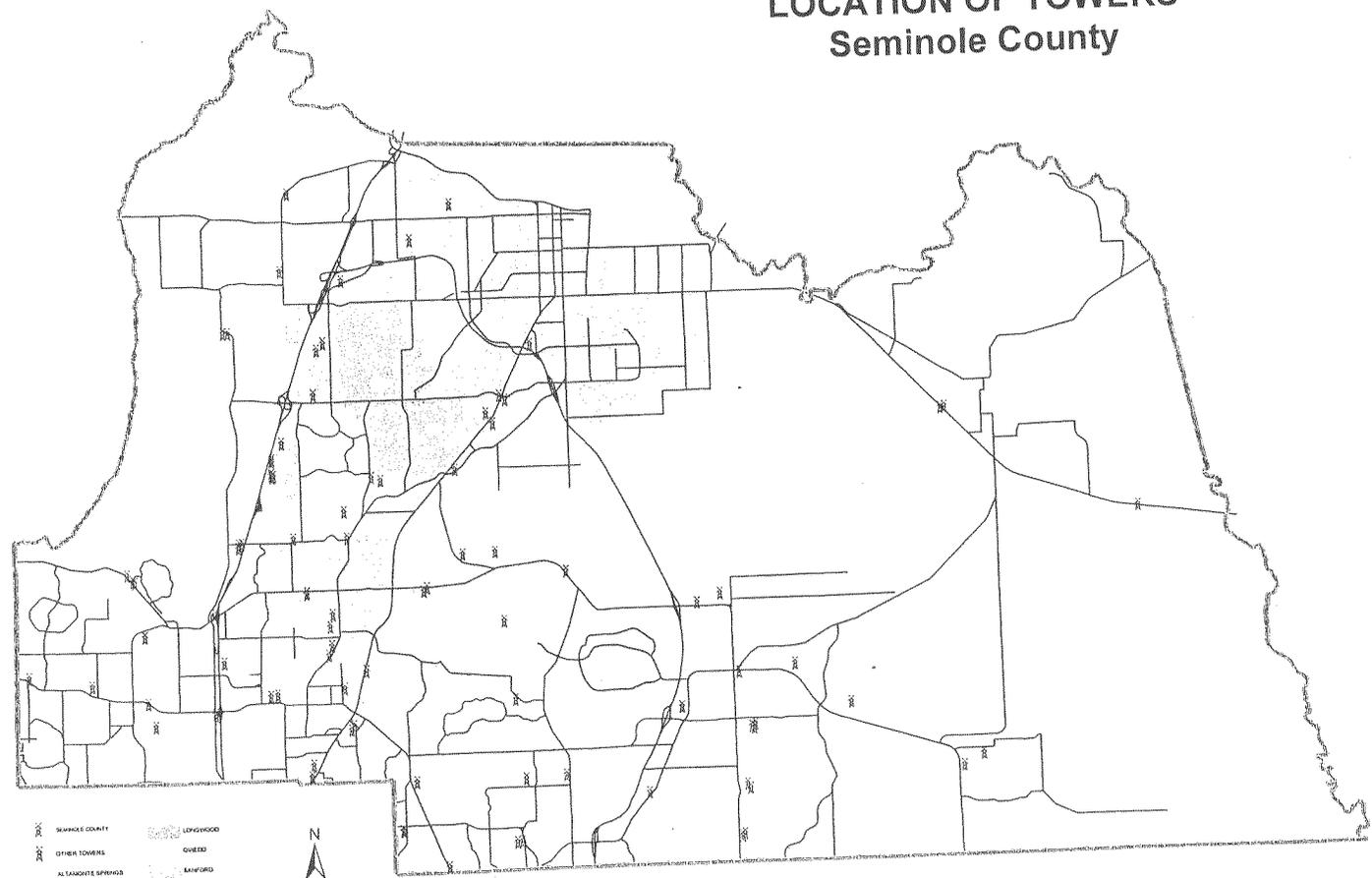
HEIGHT. AN EXISTING COMMUNICATION TOWER MAY BE MODIFIED OR REBUILT TO A TALLER HEIGHT, NOT TO EXCEED TWENTY (20) FEET OVER THE TOWER'S EXISTING HEIGHT, TO ACCOMMODATE THE CO-LOCATION OF AN ADDITIONAL COMMUNICATION ANTENNA. SUCH A HEIGHT INCREASE MAY ONLY OCCUR ONE (1) TIME PER COMMUNICATION TOWER AND MAY BE ALLOWED FOR THOSE SITES, WHICH OBTAINED PREVIOUS SPECIAL EXCEPTION APPROVAL. THE ADDITIONAL HEIGHT AUTHORIZED HEREIN SHALL NOT REQUIRE AN ADDITIONAL DISTANCE SEPARATION AS DESCRIBED IN TABLE

	<p>1, SECTION 30.1364. THE COMMUNICATION TOWER'S PRE-MODIFICATION HEIGHT SHALL BE USED TO CALCULATE SUCH DISTANCE SEPARATIONS.</p> <p>THEREFORE, THE 197 FEET IS NOT THE MINIMUM VARIANCE NEEDED TO PROVIDE THE NECESSARY SERVICE AND THE APPLICANT HAS THE OPPORTUNITY TO REQUEST THE ADDITIONAL HEIGHT WHEN NEEDED WITHOUT A PUBLIC HEARING.</p> <p><u>THAT THE GRANT OF THE VARIANCE WILL BE IN HARMONY WITH THE GENERAL INTENT AND PURPOSE OF CHAPTER 30, WILL NOT BE INJURIOUS TO THE NEIGHBORHOOD, OR OTHERWISE DETRIMENTAL TO THE PUBLIC WELFARE:</u></p> <p>STAFF BELIEVES THE GRANT OF VARIANCES FROM SEPARATION DISTANCE (WITH STAFF'S RECOMMENDED CONDITIONS) WOULD BE IN HARMONY WITH THE GENERAL INTENT AND PURPOSE OF THE LAND DEVELOPMENT CODE, SINCE SPECIAL CONDITIONS CONSTITUTING A HARDSHIP HAVE BEEN DEMONSTRATED BY THE APPLICANT.</p>
<p>STAFF RECOMMENDATION</p>	<p>BASED ON THE STATED FINDINGS, STAFF RECOMMENDS THE BOARD OF ADJUSTMENT APPROVE THE REQUEST FOR SPECIAL EXCEPTION TO ESTABLISH A 194 FOOT TALL MONOPOLE COMMUNICATION TOWER IN THE A-5 (RURAL ZONING CLASSIFICATION DISTRICT) AND THE REQUEST FOR ASSOCIATED VARIANCES FROM 591 FEET TO 60 FEET, 591 FEET TO 230 FEET, 591 FEET TO 270 FEET, 591 FEET TO 450 FEET AND 591 FEET TO 535 FEET TO REDUCE THE MINIMUM DISTANCE SEPARATION FROM THE PROPOSED TOWER TO THE NEAREST PROPERTIES WITH SINGLE-FAMILY DWELLINGS.</p> <p>STAFF'S RECOMMENDATION OF APPROVAL IS CONDITIONED UPON THE FOLLOWING:</p> <ol style="list-style-type: none"> 1. THE PROPOSED TOWER SHALL NOT EXCEED 194 FEET, AS VERIFIED BY A RF (RADIO FREQUENCY) ENGINEER TO BE THE MINIMUM HEIGHT NEEDED TO FURTHER SPRINT'S IMMEDIATE WIRELESS COMMUNICATION GOALS IN THE AREA. 2. ANY IMPROVEMENTS AND/OR ADDITIONS TO THE PROPOSED TOWER SHALL BE SUBMITTED FOR APPROVAL TO THE COUNTY. 3. A LISTED SPECIES SURVEY SHALL BE PROVIDED PRIOR TO FINAL ENGINEERING APPROVAL. 4. PRIOR TO FINAL ENGINEERING APPROVAL, A WATER QUALITY SWALE SHALL BE PROVIDED. 5. PRIOR TO THE FINAL DEVELOPMENT ORDER / APPROVAL, AN APPLICATION FOR FULL CONCURRENCY MANAGEMENT SHALL BE PROVIDED.

	<p>SHOULD THE ASSOCIATED VARIANCES FROM MINIMUM SEPARATION DISTANCES BE GRANTED, STAFF RECOMMENDS THE FOLLOWING CONDITIONS OF APPROVAL:</p> <ol style="list-style-type: none">1. ANY VARIANCE GRANTED SHALL APPLY ONLY TO THE PROPOSED COMMUNICATION TOWER DEPICTED ON THE ATTACHED SITE PLAN.2. ANY VARIANCE GRANTED SHALL BE THE MINIMUM THAT WOULD MAKE POSSIBLE THE REASONABLE USE OF THE PROPERTY FOR SITING A COMMUNICATION TOWER.3. ANY VARIANCE GRANTED SHOULD BE CONDITIONED UPON CERTIFICATION BY A STRUCTURAL ENGINEER OF THE PROPOSED TOWER'S SAFE PERFORMANCE IN THE EVENT OF STRUCTURAL FAILURE OR COLLAPSE.4. ANY ADDITIONAL CONDITION(S) DEEMED APPROPRIATE BY THE BOARD, BASED ON INFORMATION PRESENTED AT THE PUBLIC HEARING.
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- Attachments:**
- SEMINOLE COUNTY COMMUNICATION TOWER INVENTORY
 - APPLICABLE REGULATIONS
 - APPLICATION FOR SPECIAL EXCEPTION SUPPORTING MATERIAL
 - APPLICATION FOR VARIANCES & SUPPORTING MATERIAL
 - SITE MAPS
 - PROPERTY APPRAISER REPORT
 - PROPOSED DEVELOPMENT ORDER

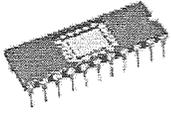
LOCATION OF TOWERS Seminole County



Legend:
SUWANEE COUNTY
OTHER TOWNS
ALBUQUERQUE SPRINGS
CADESBERRY
LAKE MARY
LONGWOOD
OVIDO
SANFORD
WINTER SPRING

Includes a variety of Public and Private Microwave and Cell Towers.
Source Data: Satellite County GIS Tower Coverage September 8, 2003





Greg Holcomb/Seminole
10/15/2004 09:44 AM

To Kathy Fall/Seminole@Seminole, Earnest
McDonald/Seminole@Seminole
cc
bcc
Subject Tower reviews

I have reviewed the two applications for Special Exceptions submitted by Sprintcom, Inc. at the proposed locations of 1051 Van Arsdale Street Oviedo and 9913 Bear Lake Road Apopka. Both seem to be in order from the RF engineering and co-location perspective. You may want the applicant to insure they are building suitable co-locatable structures with space for future providers in the same area and their intent to allow such.

Let me know if you need any further information. Thanks.

--****Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. Seminole County policy does not differentiate between personal and business emails. E-mail sent on the County system will be considered public and will only be withheld from disclosure if deemed confidential pursuant to State Law.****

Sec. 30.1363. Applicability/administration.

- (a) All new communication towers in unincorporated Seminole County shall be subject to the land development regulations set forth in this part, all other applicable land development regulations set forth in this Code and all federal and state laws relating thereto.
- (b) For purposes of measurement, communication tower setbacks and separation distances, as outlined in Section 30.1364, shall be calculated and applied to facilities located anywhere in Seminole County irrespective of municipal and county jurisdictional boundaries.
- (c) All new communication antennas which are not attached to communication towers shall comply with Section 30.1367.
- (d) All communication towers existing prior to the effective date of Sections 30.1362 through 30.1370 shall be permitted to continue to be used as they presently exist. Routine maintenance (including replacement with a new tower, or tower of less impact, of like construction; provided, however, that any such tower shall be the same or less height of the tower as it existed on the effective date of this part) shall be permitted on such existing communication towers; provided, however, that replacement of the communication tower shall require the entire site be brought into compliance with Section 30.1365. New construction, other than routine maintenance of an existing communication tower, shall comply with any adopted land development regulations, applicable building codes and related codes.
- (e) A communication tower that has received county approval in the form of either a special exception or building permit, but has not yet been constructed, shall be considered an existing tower if such approval is valid, current and not expired.
- (f) AM array consisting of one (1) or more tower units and supporting a ground system which functions as one (1) AM broadcasting antenna shall be considered one (1) communication tower. Measurements for setbacks and separation distances shall be measured from the outer perimeter of a communication tower included in the AM array. Additional tower units may be added within the perimeter of the AM array by right.
- (g) The determination as to whether placement of a communication tower on property assigned the PUD or PCD zoning classification shall be based on the identified zoning or use for that tract within the development.
- (h) Determinations of compliance with the provisions of Sections 30.1362 through 30.1370 or with regard to any matter relating to communication towers shall be made by the current planning manager subject to the appeal processes and procedures as set forth at Sections 30.42 and 30.43.
- (i) To ensure that the least intrusive methods for communication service are implemented, the current planning manager may require detailed written reports from applicants explaining and detailing, among other things, the reasons that co-location, camouflaging, alternative site, or a less intrusive tower or antenna was not proposed.

(Ord. No. 96-5, § 28, 7-9-

Sec. 30.1364. Performance standards.

(a) *Setbacks.*

- (1) Communication tower setbacks shall be measured from the outer extremity of the base of the communication tower to the property line of the parcel on which it is located.
- (2) Communication towers shall be located on parcels which comply with the minimum setback and lot size requirements of the zoning classification assigned to the property on which they are located.
- (3) For towers located on properties assigned the PUD or PCD zoning classification, the setback requirements for the parcel outlined in the PUD/PCD approval shall apply.
- (4) In cases where there are non-conforming residential uses on property which is not assigned a residential zoning classification, a reduction of fifty (50) percent of the side or rear yard setback distance opposite the non conforming residential use shall be permitted by the current planning manager unless the side or rear yard proposed for reduction is assigned a residential land use designation or zoning classification.

(b) *Minimum separation from off-site uses/designated areas.*

- (1) Communication tower separation shall be measured from the outer extremity of the base of the tower to the closest property line of the off-site use as specified in Table 1 below.
- (2) Separation requirements for communication towers shall comply with the minimum standards established in Table 1 below unless otherwise provided.
- (3) Reduced separation distances may be reduced by the current planning manager when written consent as set forth in a recordable instrument is obtained from all property owners within the applicable separation distance.
- (4) Separation distances may be decreased or increased by the board of adjustment in accordance with the procedural requirements for variances as set forth in this Code and the substantive determinations as set forth in Table 1 below, when considering whether to approve a special exception, if competent substantial evidence is presented demonstrating unique planning considerations and compatibility impacts.

TABLE 1

MINIMUM SEPARATION FROM OTHER USES

TABLE INSET:

Off-site Use	Separation Distance
Property assigned a single-family (includes modular homes and mobile homes used for living purposes), duplex, or multi-family residential zoning classification or future land use designation or with an existing residential use.	200 feet or 300% height of tower whichever is greater except when a variance is granted based upon findings that the aesthetic impacts of the tower is enhanced, that compatibility with abutting property owners is maintained, and the approval of the tower would be consistent with and further the provisions of Section 30.1362. The standard relative to variances as otherwise set forth in this Code may be considered in determining whether to approve a variance hereunder, but shall not be determinative as to whether the variance may be granted.
Property assigned a non-residential zoning classification or future land use designation or property with an existing non-residential use.	None. Only district setbacks apply.

(c) *Separation distances between communication towers.*

- (1) Separation distances between communication towers shall be and measured between the communication tower proposed for approval and those towers that are permitted or existing.
- (2) The separation distances shall be measured by drawing or following a straight line between the GPS coordinate of the center of the existing or permitted communication tower and the proposed GPS

coordinate of the center of the proposed communication tower as depicted on a site plan of the proposed tower.

(3) The separation distances, listed in linear feet, shall be as set forth in Table 2

TABLE 2

SEPARATION DISTANCES BETWEEN COMMUNICATION TOWERS

TABLE INSET:

DESCRIPTION	EXISTING TOWERS				
	LATTICE	GUYED	MONOPOLE 75 FT IN HEIGHT OR GREATER	MONOPOLE LESS THAN 75 IN HEIGHT	CAMOUFLAGE
LATTICE	5,000	5,000	1,500	750	0
GUYED	5,000	5,000	1,500	750	0
MONOPOLE 75 FT IN HEIGHT OR GREATER	1,500	1,500	1,500	750	0
MONOPOLE LESS THAN 75 IN HEIGHT	750	750	750	750	0
CAMOUFLAGE	0	0	0	0	0

(4) A variance from the minimum separation distances between communication towers as set forth in Table 2 may be granted when two (2) or more communication tower owners or operators agree to co-locate their communication antennas on the same communication tower and upon findings being made that the aesthetic impacts of the tower is enhanced, that compatibility with abutting property owners is maintained, and the approval of the tower would be consistent with and further the provisions of section 30.1362. The standard relative to variances as otherwise set forth in this Code may be considered in determining whether to approve a variance hereunder, but shall not be determinative as to whether the variance may be granted.

(d) *Measurement of height.* Measurement of communication tower height shall include antenna, base pad and any and all other appurtenances and shall be measured from the finished grade of the parcel on which the communication tower is located.

(Ord. No. 96-5, § 29, 7-9-

Sec. 30.1366. Abandonment.

(a) In the event that the use of any communication tower has been found to be discontinued, as determined by the current planning manager, for a period of one hundred eighty (180) consecutive days said tower shall be deemed to have been abandoned.

(b) In the event the communication tower is found by the current planning manager to be abandoned, the owner/operator of the communication tower or the owner of the property on which the communication tower is located shall have one hundred eighty (180) days from the date of the current planning manager's finding of abandonment within which to:

- (1) Reactivate the use of the communication tower or transfer the tower to another owner/operator who must make actual use of the tower as previously permitted within ninety (90) days of the transfer, or
- (2) Dismantle and remove the communication

(c) Determination of the date of abandonment shall be made by the current planning manager who shall have the power to request documentation and affidavits from the communication tower owner/operator regarding the issue of communication tower usage. The communication tower owner/operator shall provide all requested information within five (5) working days of a request being made.

(d) With regard to towers that received special exception and/or variance approval, one hundred eighty (180) days after dismantling or the expiration of the three hundred and sixty (360) day period as set forth in this section, the special exception and/or variance for the tower shall automatically expire.

(e) Each owner/operator of a communication tower shall post a surety bond, or other instrument or guarantee of a form acceptable to the county attorney, with the current planning manager in favor of the county in an amount found by the current planning manager to be reasonably necessary to remove the communication tower in the event of abandonment. The current planning manager is hereby granted authority to establish this amount based on policy guidelines adopted by the board of county commissioners. The contents of such bond shall include or the bond shall be accompanied with a contingent right of entry which runs with the land to authorize entry upon the property in the event that it is necessary to remove the abandoned tower.

(Ord. No. 96-5, § 31, 7-9-96; Ord. No. 97-18, § 45, 5-13-

Sec. 30.1367. Communication antennas.

Any communication antenna which is not attached to a communication tower shall be a permitted ancillary use to any commercial, industrial, professional, institutional, multi-family or utility structure provided that:

- (1) The communication antenna does not exceed more than twenty (20) feet above the highest point of the structure; and
- (2) The communication antenna complies with all applicable FCC and FAA regulations;
- (3) The communication antenna complies with all applicable building codes and laws, rules and regulations.

(Ord. No. 96-5, § 32, 7-9-

Sec. 30.1368. Co-location of communication tower antennas.

(a) General policy relating to co-location. To minimize adverse visual impacts associated with the proliferation and clustering of **Communication Towers**, co-location of **Communication Antennas** by more than one (1) carrier on existing or new **Communication Towers** is encouraged. Additional **Communication Antennas** proposed on existing **Communication Towers** are permitted uses and may co-locate onto existing **Communication Towers** if they satisfy the requirements of this section and no special exception is required:

(b) Procedure for administrative granting of special exceptions. If co-location requires utilization of real property for construction of ancillary facilities such as equipment rooms, which uses were not permitted under the applicable zoning code and which uses are expressly prohibited by prior special exceptions, then such ancillary facilities such as equipment rooms shall not be deemed a permitted use as a matter of right under this section unless and until a special exception is issued pursuant to the provisions of this subsection.

(1) The Current Planning Manager, after consultation with the applicant, shall determine in conjunction with the Planning and Development Director, consistent with sound and generally accepted planning and land use principles, whether co-location of ancillary equipment, such as equipment rooms, in support of co-located **communication antennae** are appropriate and meet the criteria of this Section.

(2) Upon a determination that the co-location of ancillary facilities, including equipment rooms, are appropriate for a parcel, the Current Planning Manager shall cause a "Notice of Intent to Allow Co-Location of **Communication Tower** Ancillary Facilities, including Equipment Rooms" to be published in a newspaper of general circulation. The Notice shall, at a minimum, state the address of the real property and the proposed use. The Notice shall further state that any person objecting to the use of the property as described must file a notice of objection with the Current Planning Division within thirty (30) days of the publication.

(3) Upon a determination that co-location of **Communication Tower** ancillary facilities (including equipment rooms) is not appropriate for the subject property, the applicant may appeal said decision to the Board of County Commissioners by filing a notice of appeal with the Current Planning Division within thirty (30) days of the rendering of the decision. The Current Planning Division shall schedule the appeal before the Board. The Board may approve or deny the co-location.

(4) If the Current Planning Division receives no objections to the Notice, in his or her sole discretion, then the Current Planning Manager shall allow the co-location of **Communication Tower** ancillary structures (including equipment rooms) as proposed.

(5) The Planning and Development Director shall issue a development order or denial development order consistent with the determination made under this Section.

(c) Type of construction. A **Communication Tower** which is modified or reconstructed to accommodate the co-location of an additional **Communication Antenna** shall be of the same **Tower** type or a lesser impact **Tower** type, as determined by the Current Planning Manager based upon the intent of Sections 30.1362 through 30.1370 and sound and generally acceptable planning practices and principles, as the existing **Communication Tower**.

(d) Height. An existing **Communication Tower** may be modified or rebuilt to a taller height, not to exceed twenty feet (20') over the Tower's existing height, to accommodate the co-location of an additional **Communication Antenna**. Such a height increase may only occur one (1) time per **Communication Tower** and may be allowed for those sites which obtained previous special exception approval. The additional height authorized herein shall not require an additional distance separation as described in Table 1, Section 30.1364. The **Communication Tower's** pre-modification height shall be used to calculate such distance separations.

(e) Site location. A **Communication Tower** which is being rebuilt to accommodate the co-location of an additional **Communication Antenna** may be moved on the site to an area located within fifty (50') feet of its existing location and may also be relocated, with the approval of the Current Planning Manager based upon sound planning and land use principles and upon a finding that such approval would be consistent with and further the intent of this Code, in the same manner on a site which received a previous special exception notwithstanding any condition of approval relating to the grant of the special exception. After a **Communication Tower** is rebuilt to accommodate co-location, only one (1) **Tower** may remain on the site. A **Communication**

Tower relocated on a site shall continue to be measured from the original Tower location for purposes of calculating separation distances between **Communication Towers**. A **Communication Tower** which has been relocated on a site and which intrudes into the separation distances required with regard to property described in Table 1, Section 30.1364, shall only be permitted when written consent as set forth in a recordable instrument is obtained from all property owners within the applicable separation distance.

(f) Filing of a master plan. To enhance the County's ability to promote the co-location of **Communication Towers**, any **communication** company that owns or operates a **Communication Tower** in the County or intends to install a **Communication Tower** in the County shall file with the Current Planning Division a master plan indicating the site of all existing **Communication Towers**, any and all proposed **Communication Tower** sites and a statement describing the anticipated **Communication Tower** needs over the next ten (10) years; provided, however, that disclosure of marketing strategies, trade secrets, commercially privileged information or any other information that the provider deems would adversely effect his, her or its ability to compete is not required to be disclosed and the determination of the **communication** company shall be conclusive. The master plan shall be filed on or before January 1 of each year. The master plan is not binding. Its primary purpose is to serve as a mechanism of coordinating co-location of **Communication Towers** between persons and entities involved in that industry.

(Ord. No. 96-5, § 33, 7-9-96; Ord. No. 00-44, § 54, 8-22-

Sec. 30.1370. Non-conforming uses.

Bona fide nonconforming communications towers or antennas that are damaged or destroyed may be rebuilt without being required to comply with applicable separation requirements. The type, height, and location of a replacement communication tower shall be of the same type and intensity or of a type and intensity of less impact as the communication tower that was damaged or destroyed. Building permits to rebuild a communication tower shall comply with all building codes and must be obtained within one hundred eighty (180) days from the date the facility is damaged or destroyed. If no permit is obtained or if a permit that was issued expires, the communication tower shall be deemed abandoned in accordance with Section 30.1366.

(Ord. No. 96-5, § 35, 7-9-

Secs. 30.1371--30.1375.

Sec. 30.1376. Annual report.

(a) The county manager, or his or her designee, shall issue a report to the board of county commissioners on or before December 31, of each year, beginning in 1997, relating to the status of communication towers in the county, anticipated developments in the telecommunications industry, projected issues to be faced by the county and conceptual county programs and policies to address the challenges that are likely to be faced by the county relative to the matters addressed in this part.

(b) To enhance the county's ability to promote the co-location of communication towers and to address other land use issues relative to communication towers, each communication company that owns or operates a communication tower in the county or intends to install a communication tower in the county shall designate a representative to meet with the current planning division at least annually to discuss and evaluate the issues relating to the siting and other planning issues relating to communication towers as well as technological developments in the communications field.

(Ord. No. 96-5, § 36, 7-9-

Sec. 30.1377. Required submittals checklist.

The current planning manager shall develop and widely distribute a checklist for applicants for approvals for the placement of communications towers which checklist shall contain, at a minimum, all of the required submittals and information necessary to make application for approval of a communications tower.

(Ord. No. 97-18, § 44, 5-13-

Sec. 30.1379. Camouflage towers; where permitted.

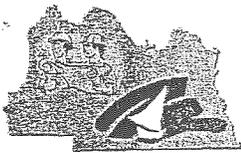
Camouflage communication towers may be permitted by the current planning manager on any parcels which is not assigned a residential zoning classification provided that the current planning manager makes the findings set forth in the definition of the term "camouflage communication tower."

(Ord. No. 97-25, § 14, 5-27-

Sec. 30.1378. Temporary uses.

The Current Planning Manager may approve the use of properties for temporary use for the sale of merchandise related to customary seasonal holidays such as Christmas, Easter, the Fourth of July and Valentines Day or for special events on property assigned a zoning classification which permits the use if he or she determines that ingress and egress, parking and requisite setbacks are provided that are consistent with and safeguard the public health, safety, morals and welfare. Any use exceeding a temporary use shall subject the property to all provisions of this Code including, but not limited to, site plan approval, impact fee assessment, master plan approval, and any and all other approvals required by this Code. Notwithstanding any provisions of this Code to the contrary, the parking of semi-tractor trailers and cargo trailer boxes is permitted within property assigned a commercial zoning classification to support the storage or other needs of approved temporary uses.

(Ord. No. 97-18, § 12, 5-13-97; Ord. No. 00-44, § 55, 8-22-



APPLICATION TO THE SEMINOLE COUNTY BOARD OF ADJUSTMENT

Applications to the Seminole County Board of Adjustment shall include all applicable items listed in the Board of Adjustment Process Checklist. No application will be scheduled for Board of Adjustment consideration until a complete application (including all information requested below) has been received by the Planning & Development Department, Planning Division.

RECEIVED
 SEP 24 2004

APPLICATION TYPE:

- VARIANCE** Separation From OTHER USES
 - SPECIAL EXCEPTION** Communication Tower (monopole)
 - MOBILE HOME SPECIAL EXCEPTION**
- EXISTING PROPOSED REPLACEMENT
- MOBILE HOME IS FOR _____
- YEAR OF MOBILE HOME _____ SIZE OF MOBILE HOME _____
- ANTICIPATED TIME MOBILE HOME IS NEEDED _____
- PLAN TO BUILD YES NO IF SO, WHEN _____
- MEDICAL HARDSHIP YES (LETTER FROM DOCTOR REQUIRED) NO
- APPEAL FROM DECISION OF THE PLANNING MANAGER**

	PROPERTY OWNER	AUTHORIZED AGENT *
NAME	Gary & Elizabeth A. Lashinsky	Richard Shirah / Jay Shirah
ADDRESS	4056 Gilder Rose Place Winter Park, FL 32792	4905 Belfort Rd, Suite 110 Jacksonville, FL 32256
PHONE 1	407-366-0366	678-462-3889 (Richard)
PHONE 2		678-907-2940 (Jay)
E-MAIL		jayshirah@msn.com

PROJECT NAME: White Stallion/0R60X2576A

SITE ADDRESS: 1051 Van Arsdale Street, Oviedo, FL 32789

CURRENT USE OF PROPERTY: office, horse training, commercial

LEGAL DESCRIPTION: W 1/2 of Lot 437, THE VAN ARSDALE OSBORNE BROKERAGE CO.'S ADD. TO BLACK HAMMOCK, PLAT BK 1, PG 31

SIZE OF PROPERTY: ± 5 acre(s) PARCEL I.D. 25-20-31-58A-0000-4370

UTILITIES: WATER WELL SEWER SEPTIC TANK OTHER electric/phone

KNOWN CODE ENFORCEMENT VIOLATIONS NONE

IS PROPERTY ACCESSIBLE FOR INSPECTION YES NO

This request will be considered at the Board of Adjustment regular meeting on Nov. 15, 04 (mo/day/yr), in the Board Chambers (Room 1028) at 6:00 p.m. on the first floor of the Seminole County Services Building, located at 1101 East First Street in downtown Sanford, FL.

I hereby affirm that all statements, proposals, and/or plans submitted with or contained within this application are true and correct to the best of my knowledge.

SIGNATURE OF OWNER OR AGENT*

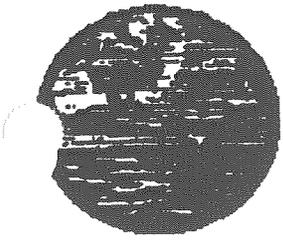
9.23.04
DATE

* Proof of owner's authorization is required with submittal if signed by agent.

TABLE OF CONTENTS

Exhibit 1:	a) Statement of Intent b) Location of General Application & Submittal Requirements c) Application Merits / Code Compliance
Exhibit 2:	Proof of Owner's Authorization
Exhibit 3:	a) RF Justification b) Search Ring
Exhibit 4:	Existing Propagation Maps
Exhibit 5:	Proposed Propagation Maps
Exhibit 6:	Photo Simulations
Exhibit 7:	Site Plan
Exhibit 8:	Survey

EXHIBIT 1



Earthcom Services Inc.

4905 Belfort Road
Suite 110
Jacksonville, FL 32256
Phone: 904-861-2906
Fax: 904-421-1006

September 24, 2004

Planning and Development Department
Planning Division
Room 2202
1101 East First Street
Sanford, FL 32771

By Hand Delivery

RE: Proposed Sprint PCS Communication Tower

STATEMENT OF INTENT

SprintCom, Inc. (Sprint PCS) submits this Statement of Intent in support of its application for a Special Exception Permit to construct a 197 foot monopole Communication Tower at the property owned by Gary & Elizabeth Lashinsky, 1051 Van Arsdale Street, Oviedo, FL 32789. SprintCom, Inc. would also like to request the approval of a variance on the "minimum separation from off-site uses/designated areas," while property owners within this applicable separation distance are being diligently pursued for written consent supporting a waiver of this requirement.

Included in this Statement of Intent are the following two items:

1. A list of items requested in the Special Exception Application package and where the items are located in this application.
2. Application Merits/Code Compliance description.

Sprint PCS has entered into a lease agreement with the property owner to lease ground space located at the above address. The parent parcel is zoned A-5 and is used as the office for White Stallion Productions and is the location for a horse training facility. The adjacent tracts of lands in and around the parent parcel include a variety of uses, such as a church, residential uses, rehabilitation center for youths, and other horse training facilities. The future land use map in and around the proposed site is to remain as agricultural zoned property. The perimeter of the lease area will be surrounded with a wooden fence and there will be a locked entrance gate accessed through a dirt/grass road from Van Arsdale Street. The facility will be unmanned and require approximately one visit per month for routine maintenance. The facility will emit no noise, glare or odor. There will be no signage other than those required for identification, safety, and by the FCC. The facility

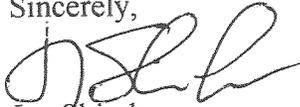
will comply with the guidelines of the FCC and FAA, which are designed to protect the public safety and welfare. To ensure structural integrity of the tower, Sprint PCS will construct and maintain it in compliance with all federal, state and local building codes and standards.

It is Sprint PCS' policy to co-locate its antennas and facilities at every possible instance. By "co-location", Sprint PCS seeks to mount antennas on existing monopoles, lattice towers, water towers, rooftops, light poles, utility poles, and other existing structures that are structurally capable of accommodating co-location and where the owner of the existing facility is willing to reasonably participate in co-location. In this case, there were absolutely no co-locatable structures within the search area.

Sprint PCS respectfully requests approval of this request for a Special Exception Permit for a monopole Communication Tower.

Thank you for your consideration. Please contact me at 678-907-2940 if you have any questions or need any additional information.

Sincerely,



Jay Shirah
Site Acquisition Consultant
Earthcom Services, Inc.

1.3 GENERAL APPLICATION SUBMITTAL REQUIREMENTS: The following information is required to complete the BOARD OF ADJUSTMENT APPLICATION.

- A. Statement of the request (e.g., Special Exception for the establishment of a mechanical garage in the C-2 (Retail Commercial District). *(Refer to Statement of Intent)*)
- B. Applicant's contact information including name, mailing address, site address, phone numbers and e-mail address. *(Refer to Site Plan)*
- C. Project Name. *(Refer to Site Plan)*
- D. Site address. *(Refer to Site Plan)*
- E. Current use of property. *(Refer to Site Plan & Letter of Intent)*
- F. Legal description of property. *(Refer to Survey)*
- G. Size of property. *(Refer to Site Plan)*
- H. Dimensions of the lot or parcel. *(Refer to Survey)*
- I. Arrow indicating NORTH. *(Refer to Survey)*
- J. Location and name of abutting streets or roads. *(Refer to Site Plan & Survey)*
- K. Location and size of existing or proposed septic system, drain field, and well (if applicable). *(Not applicable)*
- L. Location, size and type of any trees to be removed or retained. *(Not applicable, no trees will be removed for the installation of this site)*
- M. Location and with of all easements (e.g., drainage, landscape, sidewalk, ingress and egress). *(Refer to Site Plan & Survey)*
- N. Location and width of existing or proposed driveway access. *(Refer to Site Plan & Survey)*
- O. Parcel Identification Number assigned by Property Appraiser. *(Refer to Site Plan cover page)*
- P. Identification of available utilities. *(Refer to Site Plan)*
- Q. Description of known code enforcement violations on property. *(Refer to "Application Merits/Code Compliance" attached to Letter of Intent.*
- R. Property accessibility to inspection by Planning Division Staff. *(Refer to Site Plan)*
- S. Application fee (\$370 special exception). *(Application Fee attached.)*
- T. Authorization Form (if the applicant & owner are not the same). *(Refer to Exhibit 2 of this application)*
- U. 8 ½" x 11" Site plan depicting existing & proposed buildings, structures & improvements (13 COPIES OF SITE PLANS SHALL BE SUBMITTED FOR SPECIAL EXCEPTIONS; SITE PLANS SHALL COMPLY WITH LAND DEVELOPMENT CODE PART 4, REQUIRED SUBMITTALS FOR SITE PLANS). *(13 sets of 11" x 17" signed and sealed drawings and 1 set of 8.5" x 11" drawings have been submitted with this application, per Earnest McDonald's request. Also, 13 sets of signed & sealed surveys have been provided.)*
- V. Written statement that responds to criteria stated in the LAND DEVELOPMENT CODE for the grant of a special exception. *(Refer to "Application Merits/Code Compliance" attached to "Letter of Intent")*

1.4 ADDITIONAL SUBMITTAL REQUIREMENTS: The following information is required at the time of application submittal for Special Exception applications:

- A. Nature and purpose of proposed use. *(Refer to Letter of Intent & Site Plan)*
- B. Location and setbacks from property lines for all proposed and existing buildings and structures. *(Refer to Survey)*
- C. Location and size of buffers, including but not limited to existing and proposed landscaping, fences and walls. *(Refer to Survey & Site Plan)*
- D. Location, number and size of existing and proposed parking spaces. *(Not applicable)*
- E. Height of buildings and structures, measured from the existing grade. *(Refer to Site Plan)*
- F. Location of fire lanes. *(Not applicable)*
- G. Location of existing and proposed signage. *(Not applicable)*
- H. Location of wetlands and/or flood prone areas. *(Not applicable)*
- I. Days and hours of the existing or proposed operation. *(Not applicable)*
- J. Projected number of employees on the largest shift, number of students or children, faculty, residents, etc. *(Not applicable)*
- K. Location, type and height of existing or proposed outdoor lighting. *(Not applicable, this Communication tower will not be lighted, unless required by the FAA)*
- L. Seating capacity, if appropriate (e.g., restaurants, churches, sports stadiums, etc.) *(Not applicable)*

COMMUNICATION TOWERS ONLY:

- M. Maps depicting existing and proposed propagation. *(Refer to Exhibits 4 & 5)*
- N. Photo simulations of the proposed tower facility. *(Refer to Exhibit 6)*
- O. Statement of justification from a Radio Frequency (RF) Engineer to explain delineation of identified search ring, proposed capacity, and how the request furthers the policy intent of the Land Development Code. *(Refer to Exhibit 3)*
- P. Description of proposed height and method of camouflage (if applicable). *(Refer to Site Plan for the proposed height, camouflage design is not applicable to this application)*

APPLICATION MERITS/CODE COMPLIANCE

(a) Setbacks.

(1) Communication tower setbacks shall be measured from the outer extremity of the base of the communication tower to the property line of the parcel on which it is located.

(2) Communication towers shall be located on parcels which comply with the minimum setback and lot size requirements of the zoning classification assigned to the property on which they are located.

- *This parcel complies with the minimum setback and lot size requirements for the A-5 zoning classification assigned to this property.*

(3) For towers located on properties assigned the PUD or PCD zoning classification, the setback requirements for the parcel outlined in the PUD/PCD approval shall apply.

- *Not Applicable.*

(4) In cases where there are non-conforming residential uses on property which is not assigned a residential zoning classification, a reduction of fifty (50) percent of the side or rear yard setback distance opposite the non conforming residential use shall be permitted by the Planning Manager unless the side or rear yard proposed for reduction is assigned a residential land use designation or zoning classification.

- *Not Applicable.*

(b) Minimum separation from off-site uses/designated areas.

(1) Communication tower separation shall be measured from the outer extremity of the base of the tower to the closest property line of the off-site use as specified in Table 1 below.

(2) Separation requirements for communication towers shall comply with the minimum standards established in Table 1 below unless otherwise provided.

(3) Reduced separation distances may be reduced by the Planning Manager when written consent as set forth in a recordable instrument is obtained from all property owners within the applicable separation distance.

- *This proposed Communication Tower site does not meet the separation from off-site uses/designated areas, but we are diligently pursuing written consent from all property owners within the applicable separation distance.*

(4) Separation distances may be decreased or increased by the Board of Adjustment in accordance with the procedural requirements for variances as set forth in this Code and the substantive determinations as set forth in Table 1 below, when considering whether to approve a special exception, if competent substantial evidence is presented demonstrating unique planning considerations and compatibility impacts.

- *The proposed Communication tower, a monopole, is of the least intrusive design for this particular height in this particular area. To camouflage a Communication tower*

- at or near the proposed height of this proposed structure in this particular area would adversely impact the intentions of a camouflage design.*
- *An 8' wooden fence will be installed at the base of the proposed tower so as to completely shield the equipment, which will be located at the base of the tower. (Refer to the site plan for design of the wooden fence.)*
 - *This tower is being designed to accommodate 3 additional users in an effort to minimize future towers in the area.*

TABLE 1
MINIMUM SEPARATION FROM OTHER USES

TABLE INSET:

Off-site Use	Separation Distance
Property assigned a single-family (includes modular homes and mobile homes used for living purposes), duplex, or multi-family residential zoning classification or future land use designation or with an existing residential use.	200 feet or 300% height of tower whichever is greater except when a variance is granted based upon findings that the aesthetic impacts of the tower is enhanced, that compatibility with abutting property owners is maintained, and the approval of the tower would be consistent with and further the provisions of section 30.1362. The standard relative to variances as otherwise set forth in this Code may be considered in determining whether to approve a variance hereunder, but shall not be determinative as to whether the variance may be granted.
Property assigned a non-residential zoning classification or future land use designation or property with an existing non-residential use.	None. Only district setbacks apply.

(c) Separation distances between communication towers.

(1) Separation distances between communication towers shall be and measured between the communication tower proposed for approval and those towers that are permitted or existing.

- *The proposed Communication tower satisfies the required separation distance between existing or permitted Communication towers. There are no towers within 1500 feet of the proposed Communication tower.*

(2) The separation distances shall be measured by drawing or following a straight line between the GPS coordinate of the center of the existing or permitted communication tower and the proposed GPS coordinate of the center of the proposed communication tower as depicted on a site plan of the proposed tower.

- *There are no towers within the required 1500 feet of the proposed Communication tower.*

(3) The separation distances, listed in linear feet, shall be as set forth in Table 2 below:

TABLE 2
SEPARATION DISTANCES BETWEEN COMMUNICATION TOWERS
TABLE INSET:

DESCRIPTION	EXISTING TOWERS				
	LATTICE	GUYED	MONOPOLE 75 FT IN HEIGHT OR GREATER	MONOPOLE LESS THAN 75 FT IN HEIGHT	CAMOUFLAGE
LATTICE	5,000	5,000	1,500	750	0
GUYED	5,000	5,000	1,500	750	0
MONOPOLE 75 FT IN HEIGHT OR GREATER	1,500	1,500	1,500	750	0
MONOPOLE LESS THAN 75 IN HEIGHT	750	750	750	750	0
CAMOUFLAGE	0	0	0	0	0

(4) A variance from the minimum separation distances between communication towers as set forth in Table 2 may be granted when two (2) or more communication tower owners or operators agree to co-locate their communication antennas on the same communication tower and upon findings being made that the aesthetic impacts of the tower is enhanced, that compatibility with abutting property owners is maintained, and the approval of the tower would be consistent with and further the provisions of section 30.1362. The standard relative to variances as otherwise set forth in this Code may be considered in determining whether to approve a variance hereunder, but shall not be determinative as to whether the variance may be granted.

(d) Measurement of height. Measurement of communication tower height shall include antenna, base pad and any and all other appurtenances and shall be measured from the finished grade of the parcel on which the communication tower is located.

- *The measurement of the tower has been measured as requested above and is indicated in the site plan of this application.*

Sec. 30.1365. Design criteria.

(a) **Illumination.** Communication towers shall not be artificially lighted except to assure human safety or as required by the Federal Aviation Administration (FAA). At time of construction of a communication tower in cases where there is property assigned a residential future land use designation, a residential zoning classification or has a valid residential use located within a distance from the tower which is equal to or less than three hundred (300) percent of the height of the communication tower, dual mode lighting shall be requested by the applicant from the FAA.

- *The proposed Communication tower will not be lighted unless required by the FAA. Generally, if a tower is less than 200 feet in height, a tower is not required by the FAA to be lighted. This tower is proposed to be 197 feet in height.*

(b) **Finished color.** Communication towers not requiring FAA painting/markings shall have either a galvanized finish, shall be painted a non-contrasting gray finish, or shall be painted in a finish to enhance camouflaging as determined by the Planning Manager.

- *The proposed Communication tower will have a galvanized finish.*

(c) **Fencing.** A chain link fence or a wall not less than eight (8) feet in height from finished grade shall be installed by the applicant around each communication tower. Barbed wire or another fencing method to prevent pedestrian access to the tower, as approved by the Planning Manager, shall be installed along the top of the fence or wall, but shall not be included when calculating the height of the fence or wall. Access to the tower through the fence or wall shall be through a gate which shall be locked at all times the communication tower site is not being occupied by the person or entity in charge of the communication tower or site.

- *An 8' wooden fence is being proposed around the perimeter of the tower and ancillary equipment for this site.*

(d) **Landscaping.**

(1) The visual impacts of each communication tower shall be mitigated through landscaping or other screening materials at the base of the communication tower and ancillary structures in order to maintain visual aesthetics for those who must view the site on a regular basis including, but not limited to, proximate residents and the traveling public.

- *An 8' wooden fence is being proposed so as to completely shield the base of the tower and all ancillary equipment in order to maintain visual aesthetics to proximate residents and the traveling public. This is also an effort to satisfy the request of the property owner due to his concern of his horses coming into contact with the landscape buffer.*

(2) The following landscaping and buffering requirements shall apply to each communication tower around the perimeter of the tower and accessory structures;

provided, however, that these standards may be determined by the Planning Manager, based upon the intent of this section and sound and generally acceptable planning principles, to be unnecessary for those sides of the property on which a proposed tower will be located that are near to lands that are not likely to be developed or that are not likely to be adversely impacted by the communication tower or when the property on which the communication tower will be located is not in public view.

- *NOT APPLICABLE*

(3) Landscaping shall be installed on the outside of fences.

- *NOT APPLICABLE TO THIS APPLICATION*

(4) The use of existing vegetation shall be preserved to the maximum extent practicable and may be used as a substitute of or in supplement towards meeting landscaping requirements.

- *There will be no trees removed from this parcel during the installation of the Communication tower.*

(5) A row of canopy trees a minimum of eight (8) feet tall, two and one-half (2 1/2) inches in caliper, and a maximum of ten (10) feet apart shall be planted around the perimeter of the fence or at locations which enhance greater screening from other uses as determined by the Planning Manager.

- *NOT APPLICABLE*

(6) A continuous hedge at least twenty-four (24) inches high at planting of sufficient health and quality able to attain a height of at least thirty-six (36) inches within twelve (12) months shall be planted in front of the tree line.

- *NOT APPLICABLE*

(7) All landscaping shall be of the evergreen variety being a minimum quality of Florida #1.

- *NOT APPLICABLE*

(8) All landscaping shall be xeriscape tolerant or irrigated and properly maintained to ensure good health and viability.

- *NOT APPLICABLE*

(e) Structural design.

(1) Communication towers shall be constructed in accordance with the most current edition of the EIA/TIA 222-E Standards, as published by the Electronic Industries Association, any and all Seminole County construction/building codes, all applicable land development regulations and federal and state law.

- *This tower is being designed according to the standards set forth above in this section.*

(2) Any improvements and/or additions to a communication tower such as, by way of example only, antenna or satellite dishes, must be submitted for approval to the County

and shall require submission of plans sealed and verified by a professional engineer licensed in the State of Florida which provides substantial competent evidence of compliance with the then current EIA/TIA Standard. Said site plan shall be submitted to and subject to the approval of the Seminole County Building Official, or his or her designee.

(f) No commercial signage or advertising shall be permitted on a communication tower unless otherwise required by law or the signage pertains only to the posting of the property relative to trespassing.

- *No commercial signage or advertising is proposed or will be posted/installed at this proposed tower site other than what is required by law.*

(Ord. No. 96-5, § 30, 7-9-96; Ord. No. 02-53, § 1, 12-10-02).

Sec. 30.1367. Communication antennas.

- *NOT APPLICABLE*

Any communication antenna which is not attached to a communication tower shall be a permitted ancillary use to any commercial, industrial, professional, institutional, multi-family or utility structure provided that:

- (1) The communication antenna does not exceed more than twenty (20) feet above the highest point of the structure; and
- (2) The communication antenna complies with all applicable FCC and FAA regulations; and
- (3) The communication antenna complies with all applicable building codes and laws, rules and regulations.

(Ord. No. 96-5, § 32, 7-9-96).

Sec. 30.1368. Co-location of communication tower antennas.

(a) General policy relating to co-location. To minimize adverse visual impacts associated with the proliferation and clustering of communication towers, co-location of communication antennas by more than one (1) carrier on existing or new communication towers is encouraged. Additional communication antennas proposed on existing Communication Towers are permitted uses and may co-locate onto existing communication towers if they satisfy the requirements of this section and no special exception is required.

- *It is always the intent and desire of Sprint PCS, whenever possible, to co-locate on any or all co-locatable structures, including existing towers, water tanks, rooftops, etc... Unfortunately, there are no co-locatable structures in or around this area that would allow Sprint PCS to meet its coverage objectives and improve the coverage for the increasing demand of phone usage in the area.*

EXHIBIT 2

September 17, 2004

Planning and Development Department
Planning Division
Room 2202
1101 East First Street
Sandford, FL 32771

By Hand Delivery

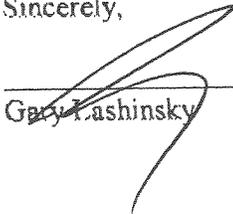
RE: Agent Authorization

Dear Seminole County Planning & Development Department,

We, Gary Lashinsky & Elizabeth A. Lashinsky, do hereby authorize Richard Shirah & Jay Shirah to act as agents on our behalf with regards to the Communication Tower Special Exception Application proposed to be located on our property at 1051 Van Arsdale Street, City of Oviedo, Seminole County, Florida. In addition, we give them the authority to sign any and all documents pertaining to this application and permitting process.

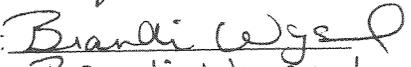
Should you have any questions, please feel free to call us at 407-366-0366.

Sincerely,



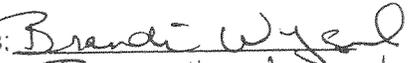
Gary Lashinsky

Witness: 
Print Name: LYN CREASER

Witness: 
Print Name: Brandi Wygal


Elizabeth A. Lashinsky

Witness: 
Print Name: LYN CREASER

Witness: 
Print Name: Brandi Wygal

Public Notary to the above signatures on the following page.

STATE OF FLORIDA

COUNTY OF

The foregoing instrument was (choose one) attested or acknowledged before me this SEP. 17, 2004 day of September, 2004, by Gary Lashinsky as an individual.

(AFFIX NOTARIAL SEAL)

Richard O. Shiran
(OFFICIAL NOTARY SIGNATURE)
NOTARY PUBLIC STATE OF GA.

My commission expires:

Notary Public, Glynn County, Georgia
My Commission Expires Oct. 15, 2007.

RICHARD O. SHIRAN
(PRINTED, TYPED OR STAMPED NAME OF NOTARY)
COMMISSION NUMBER:

STATE OF FLORIDA

COUNTY OF

The foregoing instrument was (choose one) attested or acknowledged before me this SEP. 17, 2004 day of September, 2004, by Elizabeth A. Lashinsky as an individual.

(AFFIX NOTARIAL SEAL)

Richard O. Shiran
(OFFICIAL NOTARY SIGNATURE)
NOTARY PUBLIC STATE OF

My commission expires:

Notary Public, Glynn County, Georgia
My Commission Expires Oct. 15, 2007.

RICHARD O. SHIRAN
(PRINTED, TYPED OR STAMPED NAME OF NOTARY)
COMMISSION NUMBER:

EXHIBIT 3



September 24, 2004

Planning and Development Department
Planning Division
Room 2202
1101 East First Street
Sanford, FL 32771

By Hand Delivery

RE: RF Engineer Statement of justification

Dear Planning and Development Department,

As is required in item "O" of Section 1.4 in the Application for Special Exception, this letter is to provide a "statement of justification...to explain delineation of identified search ring, proposed capacity, and how the request furthers the policy intent of the Land Development Code." Item "b (1-8)" of Section 30.1362, Legislative Purpose and Intent, will be addressed in this statement. In addition, this statement contains, as an attachment, both pages of the search ring and the coverage objectives of this site, which will be discussed at length.

(1) To accommodate the growing need for communication towers;

It is always the intent and preference of Sprint PCS to co-locate whenever possible on existing towers, water tanks, rooftops, etc. Attached to this letter is copy of our search ring. Above the color coded map in the "RF Design" comments, it plainly states, "Any building or support structure meeting the height requirement within the search area should be submitted as a candidate." This is our preference for several reasons including cost, less property management, and to limit the number of towers constructed in and around our customers. While we are aware of our customers' concerns regarding the location of towers, Sprint is not always able to provide quality service without the construction of a tower. According to Business Week Online, Sprint is expected to be the fastest growing U.S. Telecom company this year. This being the case, there is an increasing demand for Sprint PCS' service, and therefore, an increasing demand for "cell sites." Since there is no co-locatable structure for this particular site, the approval of this particular tower site will certainly "accommodate the growing need for communication towers," as is stated in section A(1) of the purpose and intent.

(2) To encourage and direct the location of communication towers in the County to the most appropriate locations considering sound planning and land use practices, to insure compatibility between communication towers and abutting land uses, to provide for adequate setback requirements between communication towers and abutting and proximate land uses, to provide for adequate separation requirements between communication towers, to provide for the needs of the communication industry, to provide for the needs of the public, to provide for the protection of private property rights, to provide for developments in technology, impacts, and to provide for the requirements of federal, state and local law;

We encourage our site acquisition consultants to locate tower sites appropriately while considering our customers and sound planning. Again, we are aware that our tower sites are being located among our customers. This particular site is being located on a property that is currently a commercial use, and within an area of a variety of uses (i.e. a church, light residential, youth rehabilitation center, and other horse training facilities). Therefore, we feel as though we have located this site to be compatible with surrounding land uses. This tower site exceeds the tower separation requirements of the ordinance and will provide co-location opportunities for other carriers, thereby minimizing the future number of towers in this area. As will be discussed later in this statement, Sprint's coverage in this area is well below what their customers demand from a leader in the industry. Therefore, the "needs of the public" can be improved and met in this area with this application approval. Considering the current commercial use of this property, it is our opinion that this tower site is compatible with surrounding land uses and in no way inhibits the protection of private property rights.

(3) *To protect residential areas and land uses from the potential adverse impacts of communication towers when placed at inappropriate locations or permitted without adequate controls and regulation consistent with the provisions of law;*

The proposed site is an accessory use on a parcel that is zoned A-5. The parent parcel presently has a commercial use with the offices of White Stallion Productions located on site as well as a horse training facilities. The area around the parent parcel is zoned agricultural with a variety of uses. The residential uses are on tracts of lands that are mixed in with commercial uses, including other horse training facilities, a church, and a parcel that was recently used as a youth rehabilitation center. In addition, we are pursuing approval of property owners that are located within the prescribed use separation distance.

(4) *To minimize the adverse visual impacts resulting from communication towers through sound and practical design, siting, landscape screening, and innovative camouflaging techniques all in accordance with generally acceptable engineering and planning principles and the public health, safety and welfare;*

The proposed tower will be a 197 foot monopole tower which is generally perceived to be the least visually intrusive tower when compared to a guyed or lattice type tower. The height required to meet the RF objective for this site is such that there is no camouflage type tower that would be aesthetically compatible for the surrounding area.

(5) *To avoid potential damage to adjacent properties through sound engineering and planning and the prudent and careful approval of communication tower sites and structures;*

This tower site is being designed and will be constructed to the standards set forth by Federal, State, and local law that are designed to protect the health, safety, and welfare of the public.

(6) *To promote and encourage shared use of existing and new communication tower sites and towers as a primary option rather than construction of additional single-use towers;*

As stated earlier, it is our preference to co-locate on any existing structure. Unfortunately, there are absolutely no existing structures in or around this search area to consider for co-location. However, this tower is being designed to accommodate three (3) carriers in addition to Sprint PCS.

(7) *To evaluate current trends and projected areas of advancement relative to communication towers, the telecommunications industry and related matters on an ongoing basis;*

The current trends of consumers indicates an increasing demand for a variety of wireless products. The industry is rapidly developing products that offer better wireless telephone coverage, e-mail service, and video conferencing. Wireless products that make today's businesses as efficient as they are cannot be possible without the use of towers.

(8) *To provide the County with the information pertaining to enhanced and new uses of communication towers and the systems to which they relate.*

Communication towers are being used to make individuals and businesses much more efficient by offering wireless e-mail services, video conferencing, and cell phone services. Other wireless providers such as broadband companies and wireless internet companies are also using towers to provide wireless services. E911 also uses towers for their services, which are becoming more and more apart of the safety and welfare of our communities.

Please find the attached Search Area Request Form (search ring). The search ring is drawn in red and the coverage objective ring is drawn in black. In order to meet the coverage objective, a site must be located in the search ring. Just to the right of the search ring map is a color coded legend for the map. Basically, the colors in the legend go from top/best existing coverage to bottom/poor-to-no existing coverage. The bottom right of the Site Acquisition Request Form details the design/coverage objectives for this site.

This site is designed to cover Northeast Oviedo, Geneva, and County Road 426. Almost the entire search ring is color coded gray and red, the poorest areas of coverage for Sprint PCS in this area, leaving all customers along this road or in this area without coverage. This site is designed to cover approximately 25,375 "Pops," as is indicated in the section to the right of the search ring map. (Pops is a representation of the population calculated

by the most recent census. Basically, one "pop" equals one person.) By building the proposed tower, we have projected that Sprint will meet 100% of the "Pops" objective.

As is noticeable on the search ring map, we have noted all existing towers and existing Sprint PCS sites. We have considered co-locating on the sites noted in the map where we currently are not located. Unfortunately, doing so would create an enormous amount of coverage overlap with our existing sites. By creating overlap, the coverage projections are substantially reduced, which deems the sites almost ineffective and certainly a waste of resources.

I hope that this RF Justification Statement has provided a thorough understanding of the need for this Communication tower site. Should there be any questions, or if you need additional information regarding the objectives or specifics of this proposed site, please make the agent of this application, Jay Shirah, aware of your needs. He will forward all information and requests to me and I will immediately be in touch with you.

Sincerely,

A handwritten signature in black ink, appearing to read "Learie Hercules", with a large, sweeping flourish extending to the right.

Learie Hercules
RF Engineer

Sprint PCS Site Acquisition Request Form

Market and Source Data	
Company:	Sprint PCS
Market:	Orlando
Phase:	5
Date:	May 15, 2003
RF Engineer:	David Coniglio
Telephone:	407-475-2022
Mobile:	407-230-9743
Additional Contact:	Scott McElligott

Search Ring Information		Market Final Rank
		56
Site Number:	OR60XC516	
Site Name:	Solution 98 Big Econ	
City/Town Name:	Orlando	
ZipCode:	32765	
Center of Search Latitude:	28.687	
Center of Search Longitude:	-81.1646	
Ground Elevation AMSL (ft):	23	
Centerline AGL (ft):	Min: 170; Max: 190; Preferred 190	
Morphology:	Suburban	

Projected Antenna Building Layout Plan	
Initial Configuration	3-sector site
Antenna Orientation (initial estimate)	0, 120, 240
Antenna Type/Configuration	Panel/ 2 per sector
Equipment Type	Full Site Metrocell
Vendor	Nortel

Additional RF design criteria for Repeaters sites only

RF Design Comments

A monopole may be required in the search area. Power connection and enough room to house equipment along with room for growth cabinet and backup power supply is a requirement. Any building or support structure meeting the height requirement within the search area should be submitted as a candidate.

RF Coverage Objectives



△	Design Location	Sprint_Ec
#	On Air Site	
#	Not On Air Site	
.	Friendly Site	
—	Search Area	
—	Coverage Objective	

Design Criteria:
 Required Signal Density: -96.14 dBm/pop
 Total Pops to be covered: 25375
 Avg dB Increase/Pop: 7.92 dB

Must Cover:
 Northeast Oviedo, Geneva and County Road 426

Possible Site Candidates/Miscellaneous Site Information

Cand #	Address	Description	Location Type	Possible Antenna Mount
1				
2				
3				
4				
5				
6				

Sprint PCS Site Acquisition Request Form

Market and Source Data	
Client:	Sprint PCS
Market:	Orlando
Phase:	5
Date:	May 15, 2003
RF Engineer:	David Coniglio
Telephone:	407-475-2022
Mobile:	407-230-9743
Additional Contact:	Scott McElligott

Search Ring Information	
	Market Final Rank 56
Site Number:	OR60XC516
Site Name:	Solution 98 Big Econ
City/Town Name:	Orlando
ZipCode:	32765
Center of Search Latitude:	28.687
Center of Search Longitude:	-81.1646
Ground Elevation AMSL (ft):	23
Centerline AGL (ft):	Min: 170; Max190; Preferred 190
Morphology:	Suburban

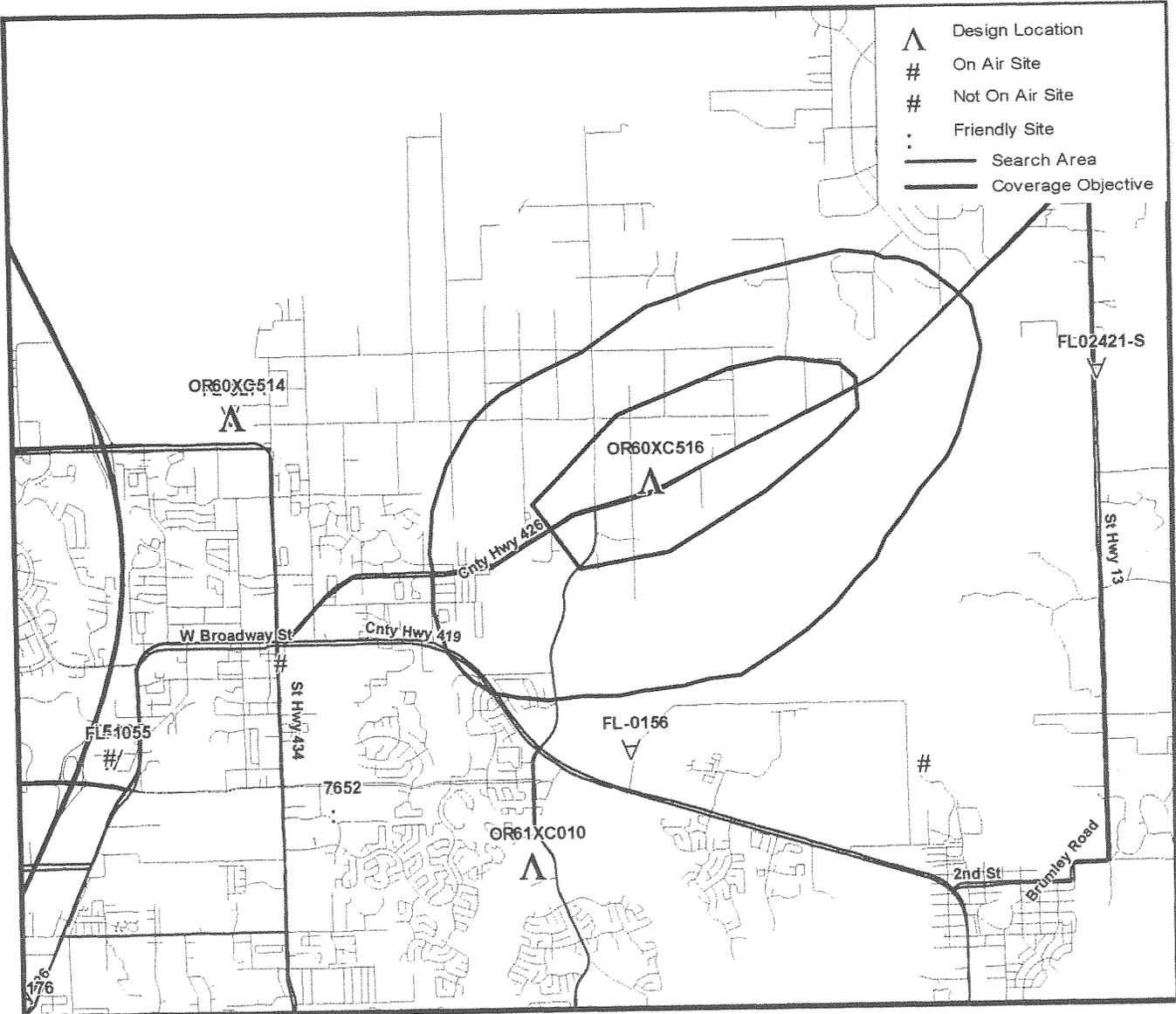
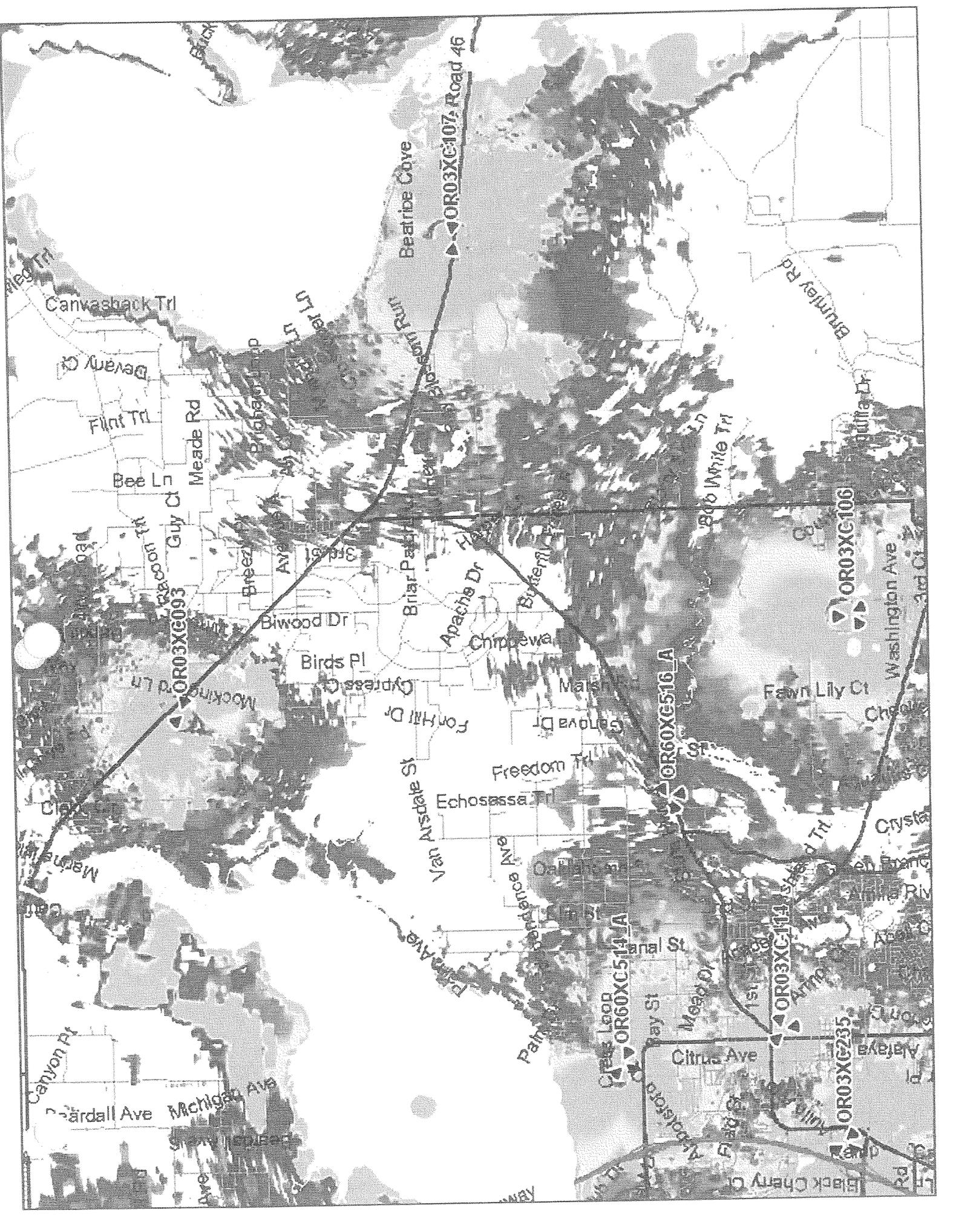


EXHIBIT 4



Beatrice Cove
OR03XC107, Road 46

OR03XC106

OR60XC516_A

OR60XC514_A

OR03XC114

OR03XC235

OR03XC093

OR03XC093

OR03XC093

Canwashack Trl

Flint Trl

Bee Ln

Meade Rd

Mockingbird Ln

Birds Pl

Biwood Dr

Forman Dr

Van Nisdate St

Echosassa Trl

Freedom Trl

Oak Hill Dr

Palmer Ave

Press Loop

1st St

Citrus Ave

Fawn Lily Ct

Cherry Ln

Crystal

San Francisco

Willow Riv

Apple

Alaya

Black Cherry Ct

Black Cherry Ct

Beatrice Cove

Beatrice Cove

Briar Path

Apache Dr

Chippewa

Butterfly

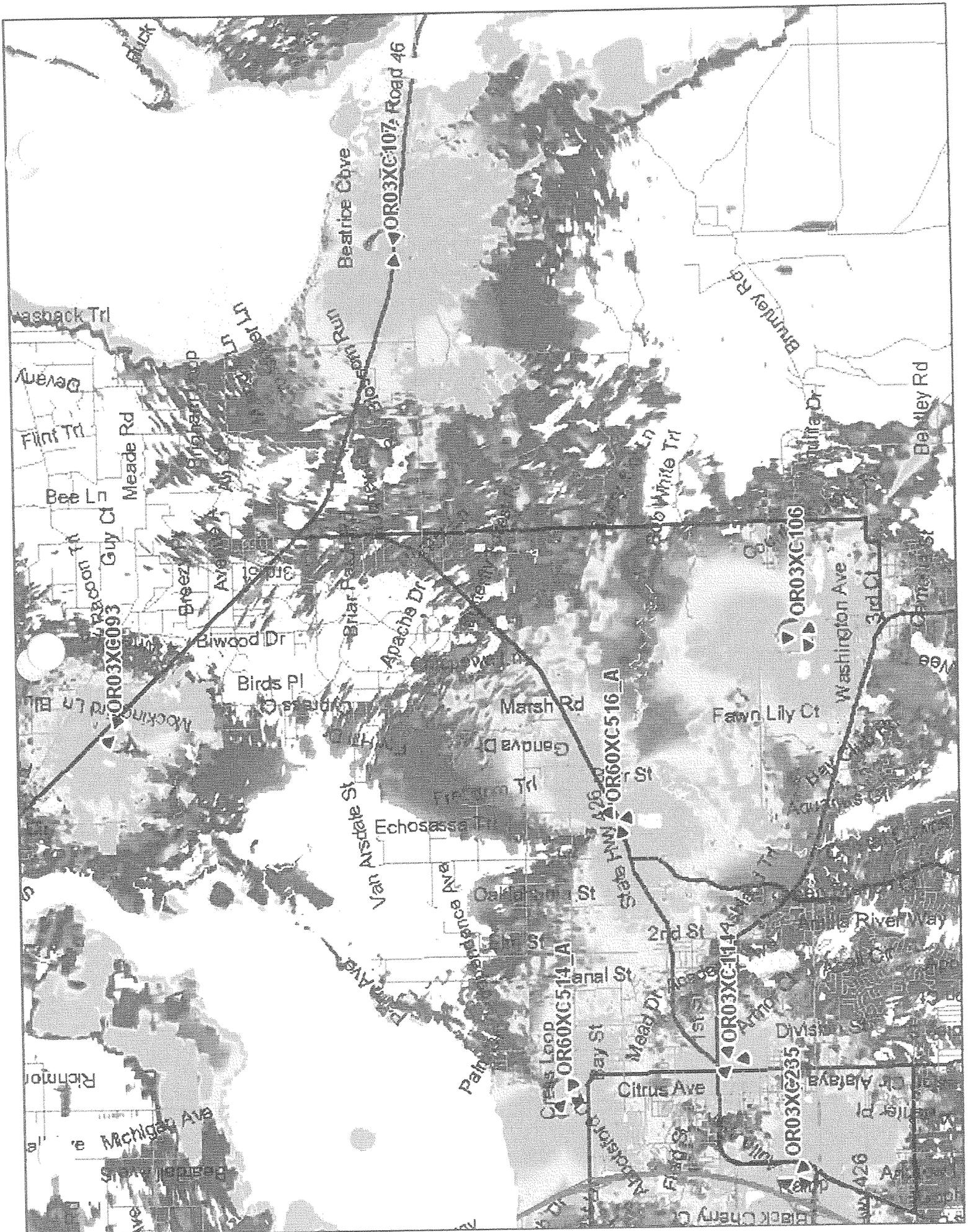
Bob White Trl

Brimley Rd

Julia Dr

Washington Ave

EXHIBIT 5



Beatrice Cbve
OR03XC107, Road 46

OR03XC106

OR60XC516_A

OR60XC514_A

OR03XC114

OR03XC235

Washack Trl

Deven

Flint Trl

Bee Ln

Meade Rd

Guy Ct

Birds Pl

Apache Dr

Marsh Rd

Fawn Lily Ct

Van Arsdale St

Echosassa Trl

State Hwy 426

Washington Ave

2nd St

Anal St

Citrus Ave

Michlger Ave

Divisio St

Albaya

Black Cherry Ct

Barley Rd

Camelot St

Nee

Bay Ct

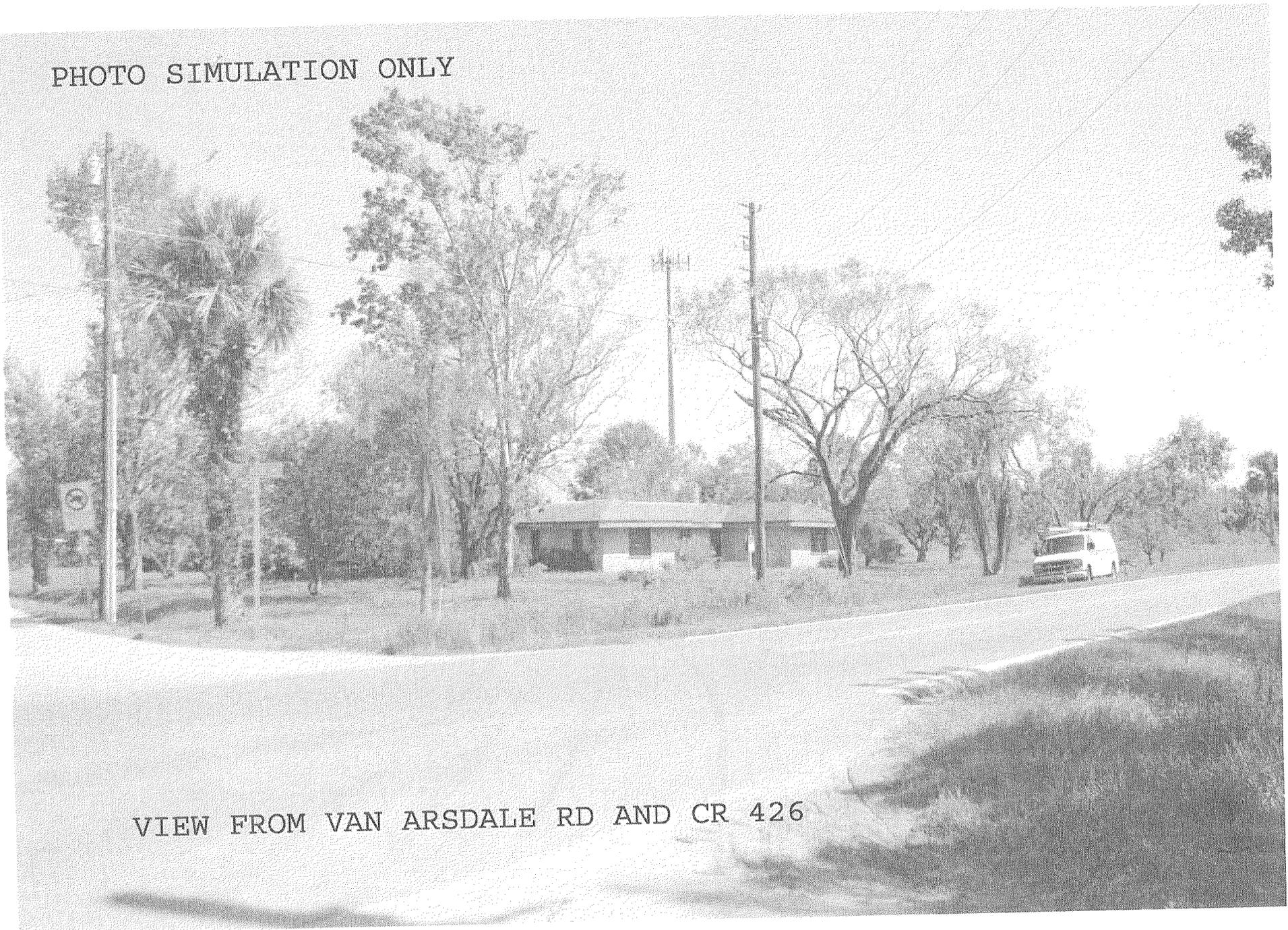
River Way

Walter Pl

W

EXHIBIT 6

PHOTO SIMULATION ONLY



VIEW FROM VAN ARSDALE RD AND CR 426

PHOTO SIMULATION ONLY



VIEW FROM LITTLE BIG ECON FOREST

EXHIBIT 7

OR60XC516A WHITE STALLION



RAW LAND - MONOPOLE



6580 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251



ALCOA Wireless
Services, Inc.
485 NORTH KELLER ROAD
SUITE 100
WILMINGTON, FL 32251
OFFICE (407) 881-1768
FAX (407) 881-1768

SITE INFORMATION

APPLICANT: SPRINT
8580 SPRINT PKWY
OVERLAND PARK, KS
66251-6109
KSDPHR0412 - 48420

OFFICE ROUTE: 1051 VAN ARSDALE STREET
CONTACT: TIM BENNETT
PHONE: (913) 794-5729

SITE ADDRESS: OVIDEO, FL 32789

COUNTY: SEMINOLE

TAX MAP NO.: 25-20-30-580-0000-4370

PROPERTY OWNER: WHITE STALLION PRODUCTIONS

CONTACT: GARY LASHINSKY
PHONE: (407) 386-0386

LAITUDE: 28° 41' 08.98" N
LONGITUDE: 81° 09' 57.07" W

ZONING CLASSIFICATION: A-5
ZONING JURISDICTION: SEMINOLE COUNTY

POWER COMPANY: PROGRESS ENERGY
CONTACT: BILL TUDGUE
PHONE: (407) 938-6716

TELEPHONE COMPANY: BELLSOUTH
CONTACT: NICK FERRIS
PHONE: (407) 237-3082

ENGINEER: ALCOA WIRELESS SERVICES, INC.
1685 BLUEGRASS LAKES PKWY
ALPHARETTA, GEORGIA 30004
MS. RANETTA GOSS
(770) 663-8813 EXT. 645
FAX: (770) 663-8427

AREA OF DISTURBANCE: ± 13,851 S.F.

24 HOUR CONTACTS:

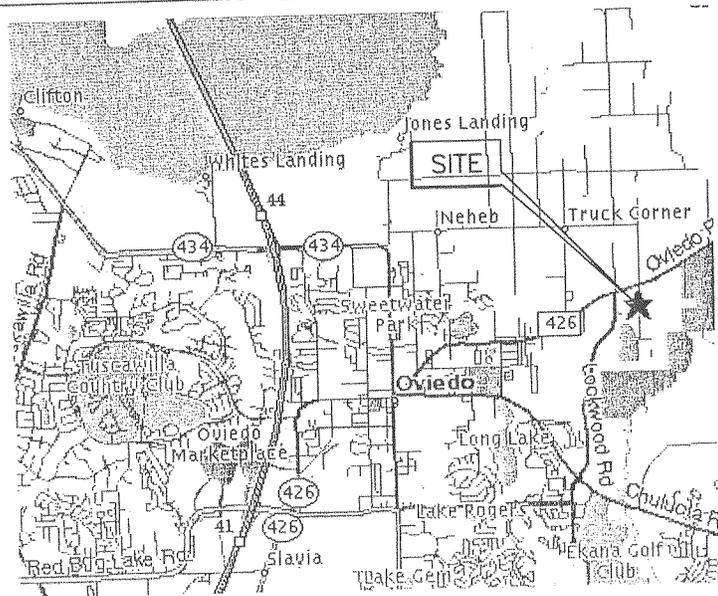
SPRINT NETWORK OPERATIONS
CONTROL CENTER (NOCC)
(888) 859-1400

CONTACT INFORMATION

ALCOA Wireless
Services, Inc.
1685 BLUEGRASS LAKES PKWY
ALPHARETTA, GEORGIA 30004
Office (770) 663-8813
Fax (770) 663-6471

CONTACT: MS. RANETTA GOSS
PHONE: (770) 663-8813 EXT. 645

LOCATION MAP



DRIVING DIRECTIONS

FROM 417 AND S.R. 434 GO SOUTH ON S.R. 434 APPROX. 2 MILES TO S.R. 426. GO EAST ON S.R. 426 APPROX. 2.8 MILES TO VAN ARSDALE STREET AND GO LEFT. THE PROPERTY IS ON THE RIGHT AT 1051 VAN ARSDALE STREET.

APPROVALS

SPRINT REPRESENTATIVE: _____
SPRINT RF ENGINEER: _____
SITE OWNER: _____

DRAWING INDEX

DRAWING NO.	DRAWING TITLE	REV. NA.	REV. DATE
T1	TITLE SHEET	3	9/21/04
C1	GENERAL NOTES AND LEGEND	0	5/24/04
	SURVEY	-	-
C2	(NOT USED)	0	5/24/04
C3	SITE PLAN	1	9/21/04
C4	DETAILED PLAN AND ELEVATION	2	9/21/04
C4.1	GRADING PLAN	2	9/21/04
C5	ANTENNA DETAILS	1	6/22/04
C6	SITE DETAILS	0	5/24/04
C7	SITE DETAILS AND CONCRETE NOTES	0	5/24/04
C8	SITE DETAILS	0	5/24/04
C9	FENCE DETAILS	1	9/21/04
C10	SITE DETAILS	0	5/24/04
C11	SITE DETAILS	0	5/24/04
L1	LANDSCAPE PLAN	2	9/21/04
L2	LANDSCAPE DETAILS	0	5/24/04
E1	UTILITY NOTES AND SYMBOLS	0	5/24/04
E2	UTILITY PLAN	1	6/22/04
E3	GROUNDING PLAN	2	7/26/04
E4	ELECTRICAL DETAILS	0	5/24/04
E5	ELECTRICAL DETAILS	0	5/24/04
E6	GROUNDING DIAGRAM	0	5/24/04
E7	ELECTRICAL DETAILS	0	5/24/04
E8	ELECTRICAL DETAILS	0	5/24/04
E9	ELECTRICAL DETAILS	0	5/24/04
E10	ELECTRICAL DETAILS	0	5/24/04

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME



UNDERGROUND
SERVICE ALERT
CALL TOLL FREE
1-800-432-4770

48 HOURS BEFORE YOU DIG

PROJECT NO: 1611.516
DRAWN BY: TJP
CHECKED BY: JD

REV	DATE	DESCRIPTION
3	9/21/04	REVISED FENCE
2	7/26/04	REVISED GROUNDING
1	06/22/04	REVISED PER COMMENTS
D	05/24/04	ISSUED FOR CONSTRUCTION
A	04/21/04	ISSUED FOR REVIEW

SEP 23 2004
EMMANUEL POULIN
FL. P.E. #10723

IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER THIS DOCUMENT UNLESS EXPLICITLY AGREED TO BY ALCOA WIRELESS. UNLESS EXPLICITLY AGREED TO BY ALCOA WIRELESS ALL LIABILITY ASSOCIATED WITH THE DESIGN, ALTERATION OR MODIFICATION OF THE CONTENTS HEREIN.

OR60XC516A
WHITE STALLION
1051 VAN ARSDALE STREET
OVIDEO, FL 32789
RAW LAND - MONOPOLE

SHEET TITLE

TITLE SHEET

SHEET NUMBER

T1

LEGEND

- △ CONTROL POINT
 - x EXISTING SPOT ELEVATION
 - x PROPOSED SPOT ELEVATION
 - ⊕ WATER VALVE
 - ⊕ SANITARY SEWER MANHOLE
 - 275 --- EXISTING CONTOURS
 - 275 — PROPOSED CONTOURS
 - x-x- EXISTING CHAINLINK FENCE
 - x-x- PROPOSED CHAINLINK FENCE
 - ~ ~ ~ EXISTING TREE LINE
 - ~ ~ ~ PROPOSED TREE LINE
 - PROPOSED EASEMENT
 - 8" SS --- EXISTING SANITARY SEWER
 - EXISTING NATURAL GAS LINE
 - PROPOSED SILT FENCE
 - --- PROPOSED TREE PROTECTION FENCE
 - PROPOSED DRAINAGE SWALE
-
- 1 REPRESENTS DETAIL #
 - STND --- REPRESENTS DETAIL LOCATED IN STANDARD SPECIFICATIONS AND DETAILS
 - 1 REPRESENTS DETAIL #
 - C7 --- REPRESENTS DETAIL LOCATION (SHEET NUMBER)
-
- CONSTRUCTION EXIT
 - EXISTING UNDERGROUND ELECTRIC/TELEPHONE
 - PROPOSED UNDERGROUND ELECTRIC/TELEPHONE
 - EXISTING OVERHEAD ELECTRIC/TELEPHONE
 - PROPOSED OVERHEAD ELECTRIC/TELEPHONE
 - PROPERTY LINE
 - LEASE AREA LINE
 - BUILDING
 - * TREES, SHRUBS, BUSHES

DESIGN CRITERIA:

1. BUILDING CODE 2001 FBC W/ 2003 REVISION AND ASCE 7-98. WIND LOAD PER ASCE 7-98
 - A. BASIC WIND SPEED: 110 MPH (49 M/S), 3 SEC GUST
 - B. WIND IMPORTANCE FACTOR: 1.0 UNMANNED TELECOMMUNICATIONS FACILITY BUILDING CATEGORY II
 - C. WIND EXPOSURE: C
 - D. WIND PRESSURE COMPONENT & CLADDING
 - 34 PSF (TOTAL LATERAL)
2. DEAD LOAD.
 - A. EQUIPMENT WEIGHT PER MANUFACTURER DATA
3. LIVE LOAD, 2 CASES
 - A. 20 PSF COMBINED W/ EQUIPMENT
 - B. 100 PSF NOT COMBINED W/ EQUIPMENT
4. SEISMIC LOAD DOES NOT GOVERN THIS DESIGN

GENERAL NOTES:

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLAN SHEETS AND SPECIFICATIONS AND COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS TO ENSURE THAT WORK PROGRESSION IS NOT INTERRUPTED
2. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A NEAT AND ORDERLY SITE, YARD AND GROUNDS, REMOVE AND DISPOSE OFF SITE ALL RUBBISH, WASTE MATERIALS, LITTER, AND ALL FOREIGN SUBSTANCES. REMOVE PETROCHEMICAL SPILLS, STAINS AND OTHER FOREIGN DEPOSITS. RAKE GROUNDS TO A SMOOTH EVEN-TEXTURED SURFACE.
3. THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES, ABOVE-GROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST IN THE WORKING AREA, EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATIONS INDICATED, IN PARTICULAR, THE CONTRACTOR IS WARNED THAT THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPELINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE AREA MAY BE SHOWN OR MAY NOT BE SHOWN; AND IT SHALL BE HIS RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK. 48 HOURS BEFORE YOU DIG, DRILL OR BLAST, CALL THE UNDERGROUND SERVICES ALERT NUMBER ON SHEET T1
4. THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED APPROVAL OF THE OWNER OR THE OWNER'S REPRESENTATIVE.
5. THE CONTRACTOR IS INSTRUCTED TO COOPERATE WITH ANY AND ALL OTHER CONTRACTORS PERFORMING WORK ON THIS JOB SITE DURING THE PERFORMANCE OF THIS CONTRACT.
6. THE CONTRACTOR SHALL RESTORE ALL PUBLIC OR PRIVATE PROPERTY DAMAGED OR REMOVED TO AT LEAST AS GOOD OF CONDITION AS BEFORE DISTURBED AS DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE.
7. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PERMITS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, AND INCURRING THE COST OF ALL REQUIRED PERMITS, INSPECTIONS, CERTIFICATIONS, ETC.
9. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR.
10. ALL TRENCH EXCAVATION AND ANY REQUIRED SHEETING AND SHORING SHALL BE DONE IN ACCORDANCE WITH OSHA REGULATIONS FOR CONSTRUCTION.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF WORK.
12. ALL UTILITY WORK INVOLVING CONNECTIONS TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE OWNER OR OWNER'S REPRESENTATIVE AND THE UTILITY OWNER BEFORE EACH AND EVERY CONNECTION TO EXISTING SYSTEMS IS MADE.
13. MAINTAIN FLOW FOR ALL EXISTING UTILITIES.
14. ALL SITE FILL SHALL MEET SELECTED FILL STANDARDS AS DEFINED BY THE OWNER OR OWNER'S REPRESENTATIVE ON THE DRAWINGS OR GEOTECHNICAL REPORT RECOMMENDATIONS.
15. CONTRACTOR TO GRADE ALL AREAS ON THE SITE TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING OR EQUIPMENT PAD AND THE TOWER.
16. PROPOSED TOWER FOOTING/FOUNDATION DIMENSIONS (IF ANY) ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ACTUAL FOUNDATION DIMENSIONS WITH FINAL TOWER DESIGN AND FOUNDATION DESIGN AS PROVIDED BY TOWER MANUFACTURER.
17. IF NECESSARY, THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING AND REGRADING ROADWAY AND/OR FIELD FOLLOWING INSTALLATION OF UTILITIES.
18. NO COMMERCIAL MESSAGES TO BE DISPLAYED ON TOWER.
19. WATER AND SEWER SERVICES ARE NOT REQUIRED FOR THIS DEVELOPMENT.

FOUNDATION NOTES:

1. FOUNDATIONS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 2000 PSF AND AN ALLOWABLE LATERAL PASSIVE PRESSURE OF 150 PSF/FT OF DEPTH. GENERAL CONTRACTOR TO ALLOW FOR THIRD PARTY TESTING OF SOILS PRIOR TO PLACING CONCRETE. COORDINATE TESTING WITH ALCOA WIRELESS SERVICES CONSTRUCTION MANAGER.
2. REFER TO CIVIL SHEETS FOR EXACT LOCATION AND ORIENTATION OF FOUNDATIONS.



5580 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251



ALCOA Wireless
Services, Inc.
485 NORTH KELLER ROAD
SUITE 100
MARIETTA, FL 32781
OFFICE (407) 861-1783
FAX (407) 861-1788

PROJECT NO: 1811.518
DRAWN BY: TJP
CHECKED BY: JD

REV	DATE	DESCRIPTION
0	05/24/04	ISSUED FOR CONSTRUCTION
A	04/21/04	ISSUED FOR REVIEW

[Signature]
JUN 24 2004
EMMANUEL POULIN
FL P.E. #24073

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DR60XC516A
WHITE STALLION
1051 VAN ARSDALE STREET
OVIDO, FL 32789
RAW LAND - MONOPOLE

SHEET TITLE
GENERAL NOTES
AND
LEGEND

SHEET NUMBER
C1

BOUNDARY AND TOPOGRAPHIC SURVEY

IN SECTION 01, TOWNSHIP 20 SOUTH, RANGE 31 EAST,
SEMIHOLE COUNTY, FLORIDA
FOR: SPRINTCOM

PROPERTY DESCRIPTIONS

PARENT PARCEL
PER OFFICIAL RECORD BOOK 2838, PAGE 2013

WEST 1/2 OF LOT 437, THE VAN ARSDALE OSBORNE BROSSEWAGE CO.'S ADD. TO BLACK HAMMOCK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 31, PUBLIC RECORDS OF SEMIHOLE COUNTY, FLORIDA.

SPRINTCOM LEASE PARCEL
(PREPARED BY THIS OFFICE)

THAT PART OF THE WEST 1/2 OF LOT 437, THE VAN ARSDALE OSBORNE BROSSEWAGE CO.'S ADD. TO BLACK HAMMOCK, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 31, PUBLIC RECORDS OF SEMIHOLE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SECTION 01, TOWNSHIP 21 SOUTH, RANGE 31 EAST, SEMIHOLE COUNTY, FLORIDA, THENCE SOUTH 89°59'10" WEST ALONG THE SOUTH LINE OF SAID SECTION 01 AND ALONG THE SOUTH LINE OF SAID LOT 437, THE VAN ARSDALE OSBORNE BROSSEWAGE CO.'S ADD. TO BLACK HAMMOCK, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 31, OF THE PUBLIC RECORDS OF SEMIHOLE COUNTY, FLORIDA, 25.2 FEET; THENCE NORTH 89°59'10" WEST FOR 244.22 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°59'10" WEST FOR 30.00 FEET; THENCE SOUTH 89°59'10" EAST FOR 30.00 FEET; THENCE SOUTH 89°59'10" WEST FOR 30.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 2,500 SQUARE FEET, MORE OR LESS.
INGRESS, EGRESS AND UTILITY EASEMENT
(PREPARED BY THIS OFFICE)

THAT PART OF THE WEST 1/2 OF LOT 437, THE VAN ARSDALE OSBORNE BROSSEWAGE CO.'S ADD. TO BLACK HAMMOCK, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 31, OF THE PUBLIC RECORDS OF SEMIHOLE COUNTY, FLORIDA, LYING WITHIN 10 FEET OF BOTH SIDES OF A CENTERLINE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SECTION 01, TOWNSHIP 21 SOUTH, RANGE 31 EAST, SEMIHOLE COUNTY, FLORIDA, THENCE SOUTH 89°59'10" WEST ALONG THE SOUTH LINE OF SAID SECTION 01 AND ALONG THE SOUTH LINE OF SAID LOT 437, THE VAN ARSDALE OSBORNE BROSSEWAGE CO.'S ADD. TO BLACK HAMMOCK, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 31, OF THE PUBLIC RECORDS OF SEMIHOLE COUNTY, FLORIDA, 25.2 FEET; THENCE NORTH 89°59'10" WEST FOR 244.22 FEET; THENCE NORTH 89°59'10" WEST FOR 30.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°59'10" WEST FOR 30.00 FEET TO AN INTERSECTION WITH A LINE THAT BEARS SOUTH 89°59'10" EAST AND NORTH 89°59'10" WEST RESPECTIVELY, FROM SAID POINT OF BEGINNING; THENCE SOUTH 89°59'10" WEST FOR 46.99 FEET; THENCE SOUTH 89°59'10" WEST FOR 31.11 FEET; THENCE SOUTH 89°59'10" WEST FOR 256.36 FEET; THENCE SOUTH 89°59'10" WEST FOR 22.87 FEET TO AN INTERSECTION WITH THE EAST RIGHT OF WAY LINE OF VAN ARSDALE STREET (60 FEET WIDE RIGHT OF WAY), AND THE POINT OF TERMINUS OF THE HEREIN DESCRIBED CENTERLINE.

CONTAINING 11,154 SQUARE FEET, OR (0.25 ACRES), MORE OR LESS.

SURVEYOR'S NOTES

1. BEARINGS AND DISTANCES ARE REFERENCED TO THE ASSUMED BEARING OF S 89°59'10" W ALONG THE SOUTH LINE OF SECTION 01, TOWNSHIP 21 SOUTH, RANGE 31 EAST, SEMIHOLE COUNTY, FLORIDA.
2. NO ABOVE-GROUND OR BELOW-GROUND UTILITIES OR IMPROVEMENTS WERE LOCATED EXCEPT AS SHOWN HEREON.
3. THE BOUNDARY AND TOPOGRAPHIC SURVEY SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS AND OBSERVATIONS DATED FEBRUARY 25, 2004.
4. REPRODUCTIONS OF THIS SURVEY ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RUBBER SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
5. THE PURPOSE OF THIS SURVEY IS TO ESTABLISH AND DESCRIBE A LEASE PARCEL AND ASSOCIATED EASEMENTS. THIS IS NOT A BOUNDARY SURVEY OF THE PARENT PARCEL.
6. LATITUDE AND LONGITUDE VALUES INDICATED HEREON WERE ESTABLISHED WITH A TRIMBLE 5800 GPS RECEIVER EQUIPPED WITH A CHART GUARD OCEAN RECEIVER FOR REAL TIME CORRECTION.
7. ELEVATIONS INDICATED HEREON AREA BASED UPON GPS OBSERVATIONS MADE WITH AN ASHTON LEICA RECEIVER THAT WERE POST PROCESSED WITH CORP DATA FILES AND ARE REFERENCED TO NAD83.
8. THE PARCEL SHOWN IN THIS SURVEY LIES ENTIRELY WITHIN THE DESCRIBED PARENT PARCEL, AND THE SPRINTCOM LEASE PARCEL SHOWN IN THIS SURVEY LIES ENTIRELY WITHIN THE DESCRIBED TOWER PARCEL.
9. THE SURVEYOR HAS REVIEWED THE TITLE SEARCH REPORT ISSUED BY US TITLE SEARCH, INC. NO. 2937, WITH AN EFFECTIVE DATE 12/20/03. ALL PLUTABLE MATTERS OF RECORD TITLE REVEALED IN THAT TITLE SEARCH REPORT THAT ARE PERTINENT TO THE SPRINTCOM LEASE PARCEL, AND ITS ACCESS AND UTILITY EASEMENTS, APPLICABLE, HAVE BEEN SHOWN ON THIS SURVEY. THE SURVEYOR RELIED SOLELY UPON THAT TITLE SEARCH REPORT WITH RESPECT TO EASEMENTS, RIGHTS-OF-WAY, SETBACK REQUIREMENTS, RESERVATIONS AND OTHER SIMILAR MATTERS.
10. BASED UPON THE SUBJECT TITLE SEARCH REPORT, THE EASTERLY BOUNDARY OF VAN ARSDALE CORP. (A PUBLIC RIGHT OF WAY) IS CONTIGUOUS WITH THE WESTERLY BOUNDARY OF THE PARENT PARCEL. RELEVANT TO THESE EASEMENTS OR OTHER RIGHTS OF THIRD PARTIES DISCLOSED BY THAT TITLE SEARCH REPORT WOULD PRECLUDE ACCESS OVER THE PARENT PARCEL FROM THE SPRINTCOM LEASE PARCEL TO THAT PUBLIC RIGHT OF WAY.

COMPILED BY: SPRINTCOM

GEOLINE SURVEYING, INC., LLI 1002

DAVID G. SHORT, P.L.S.
FLORIDA PROFESSIONAL SURVEYOR AND
LICENSED OR REGISTERED PROFESSIONAL ENGINEER

GEOLINE SURVEYING, INC.
Professional Land Surveyors
4856 NE 43rd Street, Suite 20
Gainesville, Florida 32608
(352)371-3000 Fax (352)373-9300
geoline@geolineinc.com

PROJECT: R. Adams
DRAWN: R. Adams
CHECKED: DAVID SHORT

SCALE: AS SHD
DATE: FEBRUARY 28
PROJECT #: 232-85

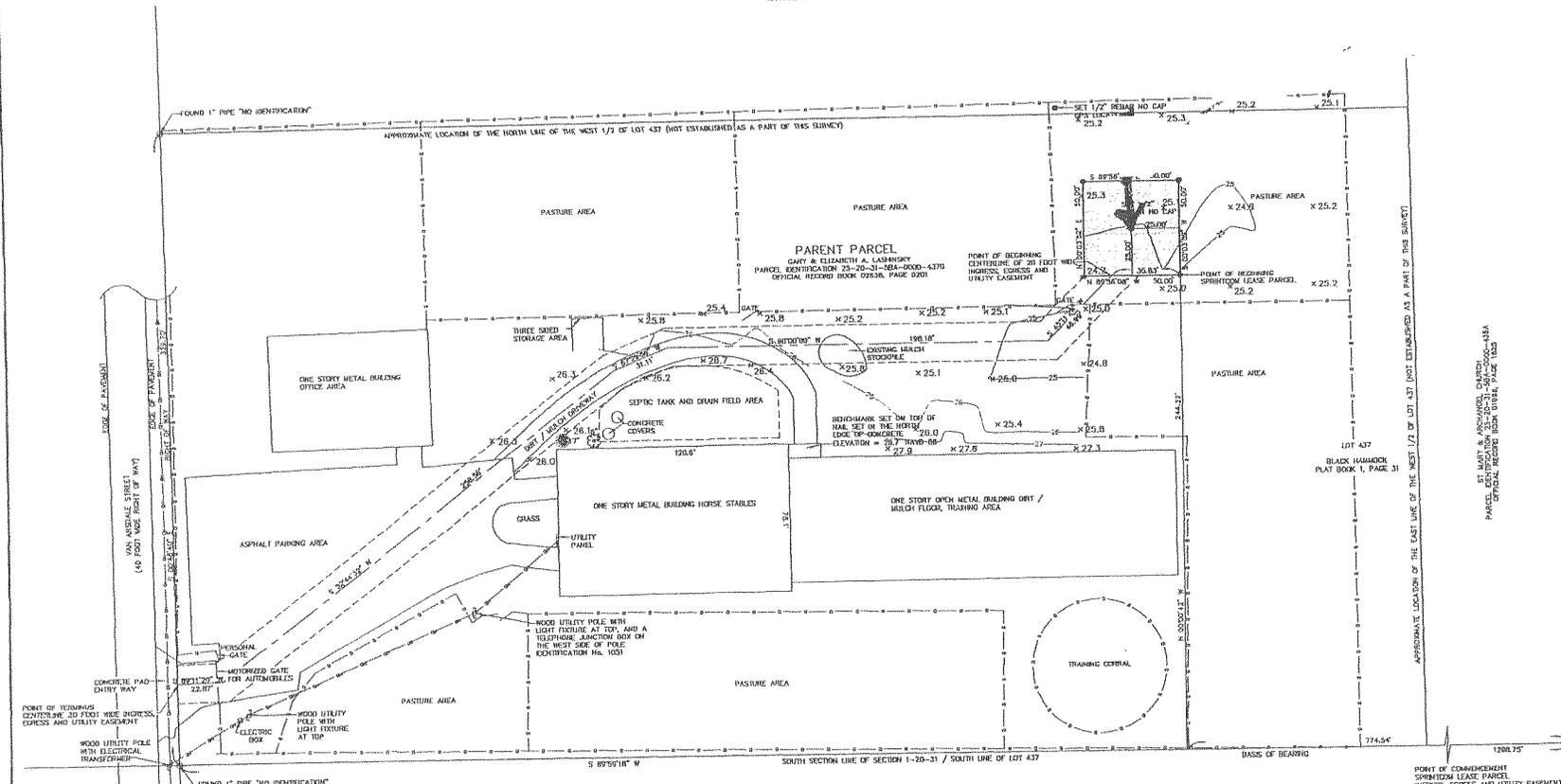
SPRINTCOM SITE # 0R60XC516A
WHITE STALLION SITE, SEMIHOLE COUNTY, FLA

DATE: 232-85 ALCOA WELSHEN SHEET 1 OF

HAMMOCK G. HARRISON, JR. & RENEE
PARCEL IDENTIFICATION 25-20-31-504-0000-138A
OFFICIAL RECORD BOOK 0175, PAGE 1952

PARENT PARCEL
GARY & ELIZABETH A. LASBERRY
PARCEL IDENTIFICATION 25-20-31-504-0000-4370
OFFICIAL RECORD BOOK 0236, PAGE 0201

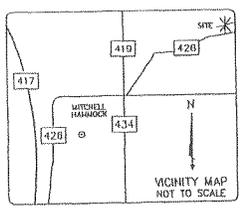
JANE GAYDOS
PARCEL IDENTIFICATION 12-21-31-501-0000-0000
OFFICIAL RECORD BOOK "NOT ON FILE"



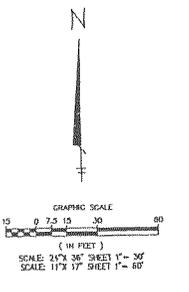
FLOOD NOTE
ACCORDING TO MY INTERPRETATIONS OF CORALCASTLE PANEL NO. 121370 0110 C OF THE FLOOD INSURANCE RATE MAP FOR SEMIHOLE COUNTY, FLORIDA, DATED 04/17/99 THE SUBJECT PROPERTY IS IN FLOOD ZONE "X" OR "AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOOD PLAIN".

TITLE SEARCH REPORT REVIEW NOTE
I HAVE REVIEWED THE TITLE SEARCH REPORT PREPARED BY US TITLE SEARCH, INC. DATED FEBRUARY 25, 2004. THE REPORT IS CORRECT WITH RESPECT TO THE SINGLE ITEM LISTED IN THE "EASEMENTS/RIGHT OF WAY/AGREEMENT PORTION" OF SAID REPORT.

DESTRUCTION EASEMENT RECORDED IN OFFICIAL RECORD BOOK 3565, PAGE 956 AFFECTING ALL OF THE PARENT PARCEL. PROVIDING FOR 10 FOOT WIDE EASEMENTS CENTERED ON EXISTING AS WELL AS FUTURE FLOOD PUMP CONNECTION UTILITY INSTALLATIONS ON THE PARENT PARCEL.



- LEGEND**
- INDICATES PLACED 1/2" REDBAR WITH GEOLINE LB 7082 CAP
 - INDICATES IRON PIN FOUND AS NOTED
 - INDICATES OVER HEAD UTILITY LINES
 - ⊥ INDICATES WOOD UTILITY POLE
 - — — INDICATES THREE (3) FOOT BOARD FENCE
 - — — INDICATES RECORD DESCRIPTION DATA
 - INDICATES SPOT ELEVATION
 - ☉ INDICATES PALM TREE AS NOTED
 - ☉ INDICATES OAK TREE AS NOTED
 - NOTE: INDICATED TREE SIZE IS TRUNK DIAMETER IN INCHES, 4-5 FOOT ABOVE GROUND



PROPOSED CENTER OF TOWER LOCATION INFORMATION

NAD 83
LATITUDE = 28°14'08.94" N 150°
LONGITUDE = 81°09'37.07" W 150°

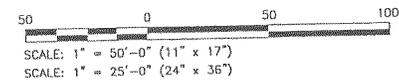
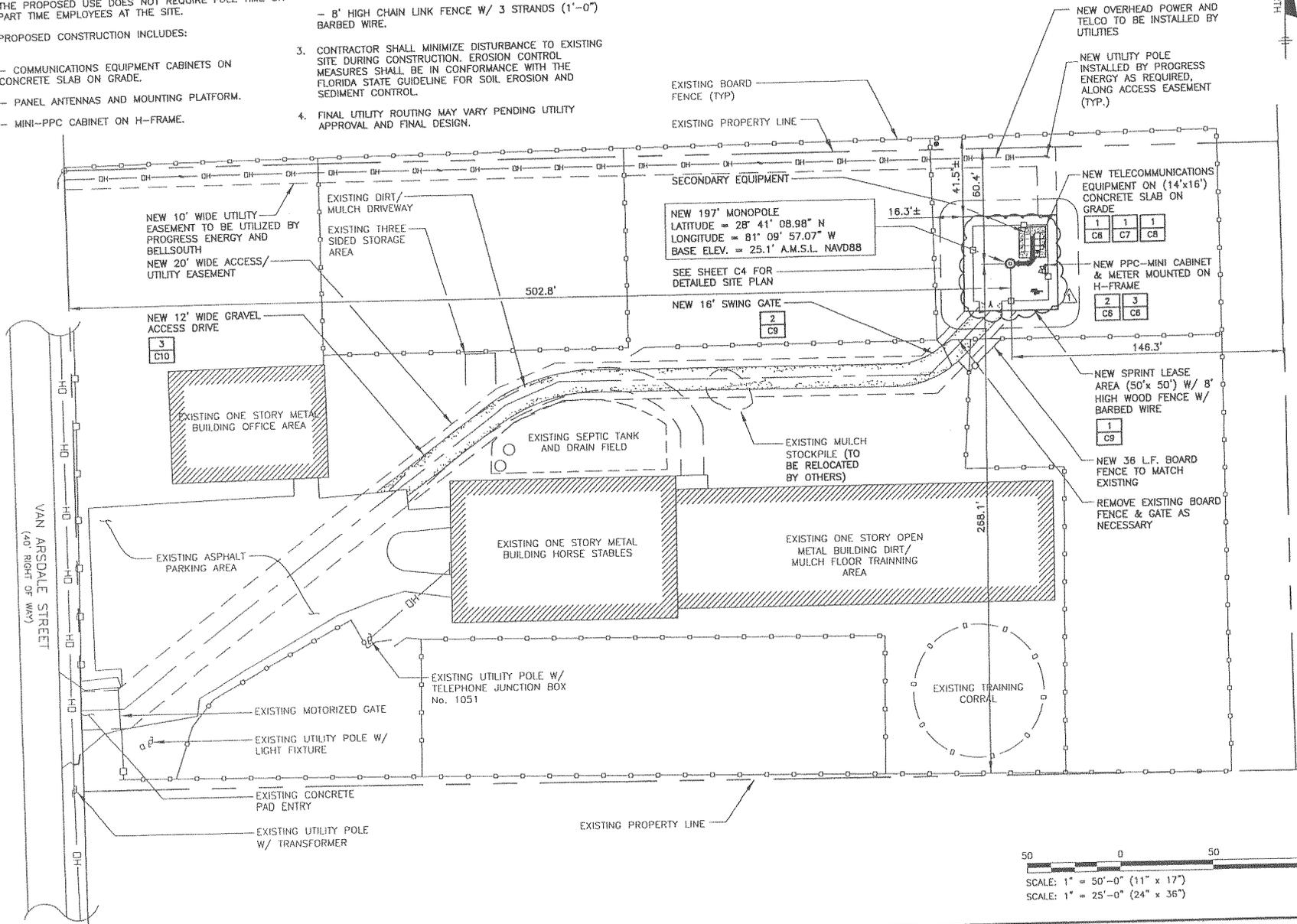
NAD 27
LATITUDE = 28°14'08.00" N 150°
LONGITUDE = 81°09'37.04" W 150°

GROUND ELEVATION AT BASE OF PROPOSED TOWER = 281.4 20' HIGHER
GROUND ELEVATION AT BASE OF PROPOSED TOWER = 251.2 20' HIGHER

GENERAL NOTES:

1. THE PROPOSED USE DOES NOT REQUIRE FULL TIME OR PART TIME EMPLOYEES AT THE SITE.
2. PROPOSED CONSTRUCTION INCLUDES:
 - COMMUNICATIONS EQUIPMENT CABINETS ON CONCRETE SLAB ON GRADE.
 - PANEL ANTENNAS AND MOUNTING PLATFORM.
 - MINI-PPC CABINET ON H-FRAME.
3. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE IN CONFORMANCE WITH THE FLORIDA STATE GUIDELINE FOR SOIL EROSION AND SEDIMENT CONTROL.
4. FINAL UTILITY ROUTING MAY VARY PENDING UTILITY APPROVAL AND FINAL DESIGN.

- 197' MONOPOLE ON CONCRETE FOUNDATION.
- MULTI-TENANT SERVICE STAND.
- 8' HIGH CHAIN LINK FENCE W/ 3 STRANDS (1'-0") BARBED WIRE.



6580 SPRINT PARKWAY
 OVERLAND PARK, KANSAS 66251

ALCOA Wireless Services, Inc.
 485 NORTH HOLLER ROAD
 SUITE 100
 WILMINGTON, FL 32251
 OFFICE (407) 681-1745
 FAX (407) 681-1748

PROJECT NO: 1811.518
 DRAWN BY: TJP
 CHECKED BY: JD

REV	DATE	DESCRIPTION
1	09/20/04	REVISED FENCE
0	05/24/04	ISSUED FOR CONSTRUCTION
A	04/21/04	ISSUED FOR REVIEW

EMMANUEL PONDUN
 FL P.E. #94073

SEP 23 2004

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OR60XC516A
 WHITE STALLION
 1051 VAN ARSDALE STREET
 OVIEDO, FL 32789
 RAW LAND - MONOPOLE

SHEET TITLE
 SITE PLAN

SHEET NUMBER
 C3



6500 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251



ALCOA Wireless
Services, Inc.
485 NORTH KELLER ROAD
SUITE 100
MARIANNA, FL 32751
OFFICE (407) 641-1765
FAX (407) 641-1764

PROJECT NO: 1811.516
DRAWN BY: TJP
CHECKED BY: JD

REV	DATE	DESCRIPTION
2	09/20/04	REVISED FENCE
1	06/22/04	RELOCATED METER RACK
0	05/24/04	ISSUED FOR CONSTRUCTION
A	04/21/04	ISSUED FOR REVIEW

EMMANUEL JOULIN
FL. P.E. #54074

SEP 23 2004

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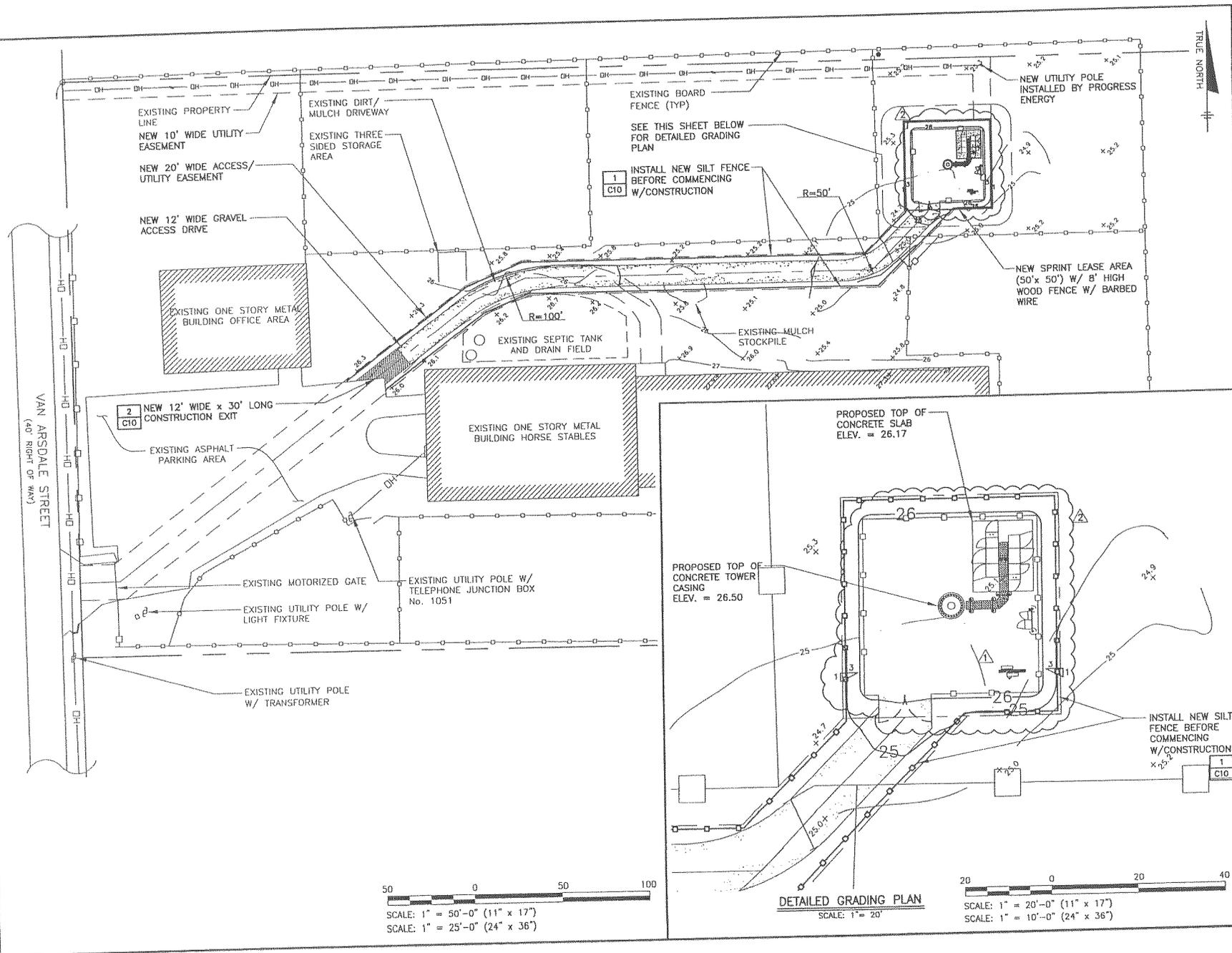
OR60XC516A
WHITE STALLION
1051 VAN ARSDALE STREET
OVIDO, FL 32789
RAW LAND - MONOPOLE

SHEET TITLE

GRADING PLAN

SHEET NUMBER

C4.1





6580 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251



ALCOA Wireless
Services, Inc.
485 NORTH KELLER ROAD
SUITE 100
MARIETTA, GA 30251
PHONE (407) 861-1765
FAX (407) 861-1766

PROJECT NO: 1611.516
DRAWN BY: TJP
CHECKED BY: JD

REV	DATE	DESCRIPTION
1	06/22/04	REVISED FOR COMMENTS
0	05/24/04	ISSUED FOR CONSTRUCTION
A	04/21/04	ISSUED FOR REVIEW

[Signature]
JUN 24 2004

EMMANUEL POULIN
FL, P.E. 354973
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OR60XC516A
WHITE STALLION
1051 VAN ARSDALE STREET
OVIEDO, FL 32789
RAW LAND - MONOPOLE

SHEET TITLE
ANTENNA DETAILS

SHEET NUMBER
C5

SITE ID: OR60XC516A

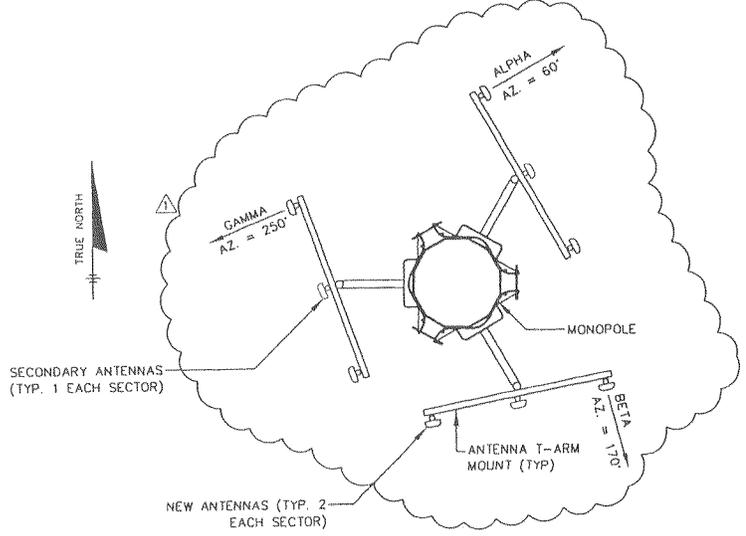
ANTENNA MODEL NO.	SECTOR 1 - ALPHA			SECTOR 2 - BETA			SECTOR 3 - GAMMA			GPS ANTENNA	
	(2) DECIBEL 950G6SRCE-M AZIMUTH = 60° MECHANICAL DOWNTILT = 0° ELECTRICAL DOWNTILT = 2°			(2) DECIBEL 950G6SRCE-M AZIMUTH = 170° MECHANICAL DOWNTILT = 0° ELECTRICAL DOWNTILT = 2°			(2) DECIBEL 950G6SRCE-M AZIMUTH = 250° MECHANICAL DOWNTILT = 0° ELECTRICAL DOWNTILT = 2°			COAX CABLE TYPE/SIZE	LENGTH (FT)
FROM/TO	COAX CABLE TYPE/SIZE	LENGTH (FT.)		COAX CABLE TYPE/SIZE	LENGTH (FT.)		COAX CABLE TYPE/SIZE	LENGTH (FT.)		GPS	LENGTH (FT)
		POS. 1 LINE 1	POS. 2 LINE 2		POS. 3 LINE 1	POS. 4 LINE 2		POS. 5 LINE 1	POS. 6 LINE 2		
FROM ANTENNA TO MAIN COAX	1/2"	6	6	1/2"	6	6	1/2"	6	6	N/A	N/A
FROM TOP JUMPER TO BOTTOM JUMPER	1 5/8"	230	230	1 5/8"	230	230	1 5/8"	230	230	1/2"	30
CABLE COLOR CODE		Y	Y		R	R		G	G		
		BR	OR		BR	OR		BR	OR		
		WH	WH		WH	WH		WH	WH		

COAXIAL CABLE SCHEDULE
NOT TO SCALE

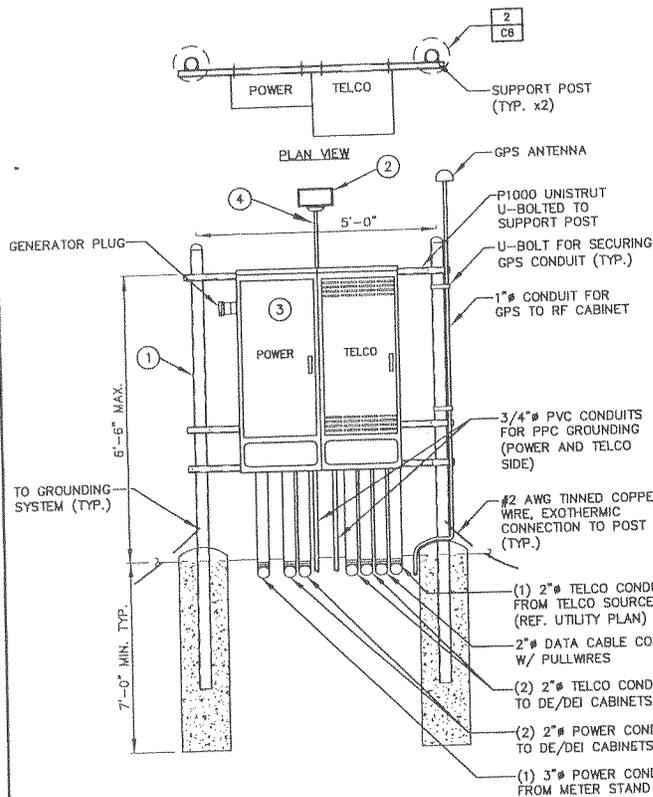
RF DATA OBTAINED FROM
"RF SITE DESIGN FORM"
DATED 1/14/04. REVISED RF
DATA OBTAINED FROM RF
COMMENTS DATED 4/27/04.

NOTES:

1. TYPE AND SIZE OF THE ANTENNA CABLES ARE BASED ON ESTIMATED LENGTH. PRIOR TO ORDERING CABLE, CONTRACTOR TO VERIFY ACTUAL LENGTH BASED ON CONSTRUCTION LAYOUT AND NOTIFY ENGINEER IF ACTUAL LENGTH EXCEEDS ESTIMATED LENGTHS.
2. AS-BUILT DRAWINGS TO BE COMPLETED BY FIELD ENGINEER WITH ACTUAL LENGTHS.
3. AZIMUTHS ARE ORIENTED CLOCKWISE FROM TRUE NORTH.
4. UPON SUCCESSFUL COMPLETION OF THE SWEEP TEST, THE CONTRACTOR SHALL PROVIDE A WEATHERTIGHT SEAL ON THE COAX CABLES.
5. ADD CONNECTORS TO COAX CABLES AT TOP AND BOTTOM.



ORIENTATION PLAN
NOT TO SCALE

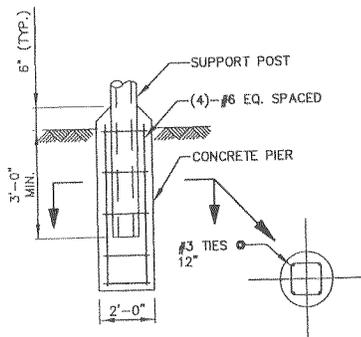


ELEVATION VIEW

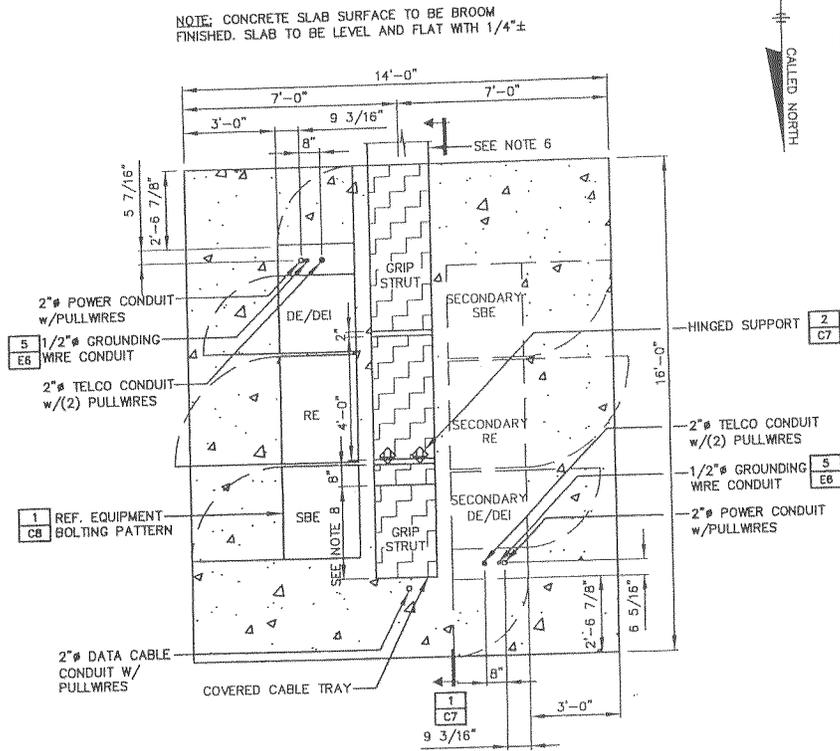
3 PPC RACK DETAIL
NOT TO SCALE

NOTES:

- EQUIPMENT RACK SUPPORT POSTS SHALL BE 3" GALVANIZED STEEL PIPE W/CAP. CROSS MEMBERS SHALL BE UNISTRUT, ANCHORED TO POSTS W/ 3/8" U-BOLTS AND STAINLESS STEEL NUTS AND WASHERS.
- PROVIDE 500 WATT QUARTZ, 120 VOLT, LITHONIA MODEL #TQ500120LPIM12 (OR APPROVED EQUIVALENT). AIM FLOODLIGHT AT EQUIPMENT. LIGHT TO BE OPERATED WITH A MANUAL SWITCH.
- PROVIDE COMBO LOCKS FOR PPC AND BTS CABINETS.
- ROUTE 3" CONDUIT W/(2) #12 + (1) #12 G. FROM BREAKER ON PPC-MINI CABINET TO GALVANIZED 90° ELBOW FOR EQUIPMENT LIGHTING. U-BOLT CONDUIT TO UNISTRUT (MIN. 2 PLACES).



2 SUPPORT POST FOOTING
NOT TO SCALE



NOTE: CONCRETE SLAB SURFACE TO BE BROOM FINISHED. SLAB TO BE LEVEL AND FLAT WITH 1/4"±

NOTES:

- FOUNDATIONS SHOWN ARE TO BE USED AS A GUIDELINE ONLY. FOUNDATION SYSTEM SHALL BE COORDINATED WITH ACTUAL SITE CONDITIONS AS TO IMPACT OF EXISTING TOPOGRAPHY, FINISH GRADES AND GEOTEXTILE REQUIREMENTS.
- FOUNDATIONS HAVE NOT BEEN DESIGNED FOR SEISMIC LOADS. ENGINEER SHALL MODIFY SLAB DESIGN IN LOCATIONS WITH SEISMIC LOADS.
- REFER TO SITE PLAN FOR SLAB LOCATION AND ORIENTATION.
- ALL TRAY AND CONDUIT LOCATED ABOVE GRADE ACROSS A WALKING SURFACE SHALL BE MARKED WITH BLACK AND YELLOW HAZARD TAPE.
- INSTALL CONDUITS AND CUT FLUSH WITH SLAB AND PLUG, TYPICAL FOR FUTURE NORTEL METROCELL EQUIPMENT.
- TERMINATE COAX CABLE AT RE CABINET OR AS SPECIFIED BY SPRINT CONSTRUCTION MANAGER
- ADD CONNECTORS TO COAX CABLES AT TOP AND BOTTOM.
- INSTALL GRIP STRUT & CABLE TRAY TO ADEQUATELY COVER ALL CABLES.

1 EQUIPMENT SLAB
NOT TO SCALE



8580 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251



ALCOA Wireless
Services, Inc.
400 NORTH KELLER ROAD
SUITE 100
MAITLAND, FL 32751
OFFICE (407) 881-1785
FAX (407) 881-1788

PROJECT NO: 1611.516
DRAWN BY: TJP
CHECKED BY: JD

REV	DATE	DESCRIPTION
0	05/24/04	ISSUED FOR CONSTRUCTION
A	04/21/04	ISSUED FOR REVIEW

[Signature]
JUN 24 2004

ELMANNUEL POURLIN
FL P.E. 654073

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OR60XC516A
WHITE STALLION
1051 VAN ARSDALE STREET
OVIDO, FL 32789
RAW LAND - MONOPOLE

SHEET TITLE

SITE DETAILS

SHEET NUMBER

C6

CONCRETE NOTES:

1. DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWING APPLICABLE CODES:
ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS";
ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
2. MIX DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING CONCRETE.
3. CONCRETE SHALL BE NORMAL WEIGHT, WITH A MAXIMUM 4" SLUMP, AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI UNLESS OTHERWISE NOTED.
4. MAXIMUM AGGREGATE SIZE SHALL BE 1".
5. THE FOLLOWING MATERIALS SHALL BE USED:

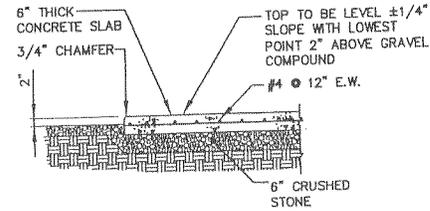
PORTLAND CEMENT:	ASTM C 150, TYPE I
REINFORCEMENT:	ASTM A 185
NORMAL WEIGHT AGGREGATE:	ASTM C 33
WATER:	POTABLE
AD MIXTURES:	NON-CHLORIDE CONTAINING
6. REINFORCING DETAILS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 315.
7. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 183 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, UNO.
8. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:

CONCRETE CAST AGAINST EARTH.....	3 IN.
CONCRETE EXPOSED TO EARTH OR WEATHER:	
#6 AND LARGER	2 IN.
#5 AND SMALLER & WWF	1 1/2 IN.

CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND: SLAB AND WALL	3/4 IN.
BEAMS AND COLUMNS	1 1/2 IN.
9. A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNO, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
10. INSTALLATION OF CONCRETE ANCHORS, SHALL BE PER MANUFACTURERS WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE.

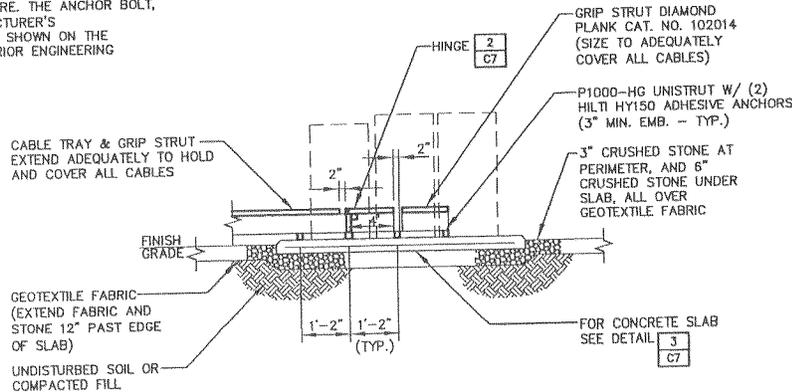
CONCRETE NOTES: (CONT'D)

11. CURING COMPOUNDS SHALL CONFORM TO ASTM C-309.
12. ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN ACI-301.
13. DO NOT WELD OR TACKWELD REINFORCING STEEL.
14. ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, GROUNDS AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
15. LOCATE ADDITIONAL CONSTRUCTION JOINTS REQUIRED TO FACILITATE CONSTRUCTION AS ACCEPTABLE TO ENGINEER. PLACE REINFORCEMENT CONTINUOUSLY THROUGH JOINT.
16. REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
17. PLACE CONCRETE IN A UNIFORM MANNER TO PREVENT THE FORMATION OF COLD JOINTS AND OTHER PLANES OF WEAKNESS. VIBRATE THE CONCRETE TO FULLY EMBED REINFORCING. DO NOT USE VIBRATORS TO TRANSPORT CONCRETE THROUGH CHUTES OR FORMWORK.
18. DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
19. DO NOT ALLOW CONCRETE SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD, OR FOR A MINIMUM OF 14 DAYS AFTER PLACEMENT.
20. FOR COLD-WEATHER AND HOT-WEATHER CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM, SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 7 DAYS MINIMUM.

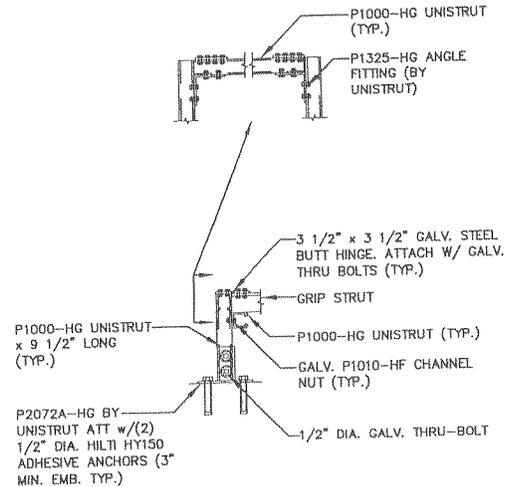


NOTE:
CONCRETE SHALL BE AIR ENTRAINED WITH THE NEUTRALIZED VNSOL SERIN, DAREX AEA OR SIK AEA. THE AIR ENTRAINED AGENT SHALL COMPLY WITH ASTM C260, LATEST EDITION WITH MINIMUM ENTRAINED AIR OF 3% TO 5%.

3 EQUIPMENT PAD/SLAB ON GRADE
NOT TO SCALE



1 EQUIPMENT SLAB ELEVATION



2 HINGE DETAIL
NOT TO SCALE



6580 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251



ALCOA Wireless
Services, Inc.
445 NORTH WELLS ROAD
SUITE 100
MAITLAND, FL 32751
OFFICE (407) 661-1765
FAX (407) 661-1766

PROJECT NO:	1811518
DRAWN BY:	TJP
CHECKED BY:	JD

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0	05/24/04	ISSUED FOR CONSTRUCTION
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Emmanuel Poulin
JUN 24 2004
EMMANUEL POULIN
P.E. 234872

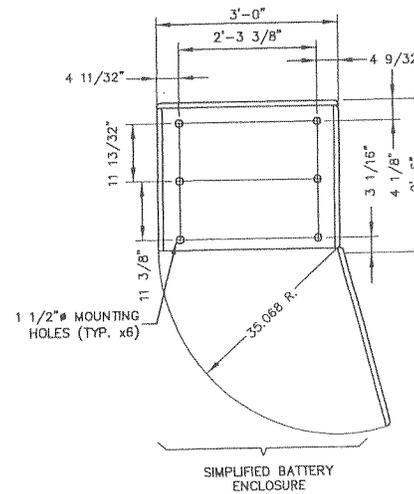
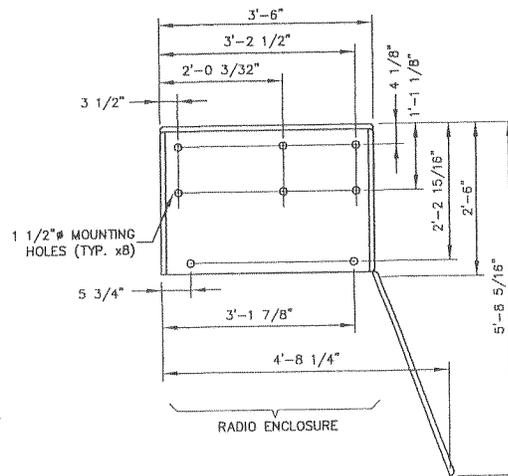
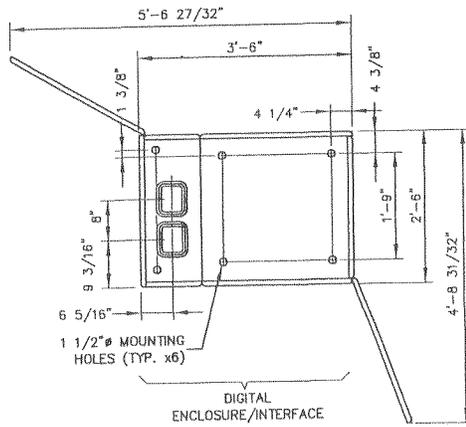
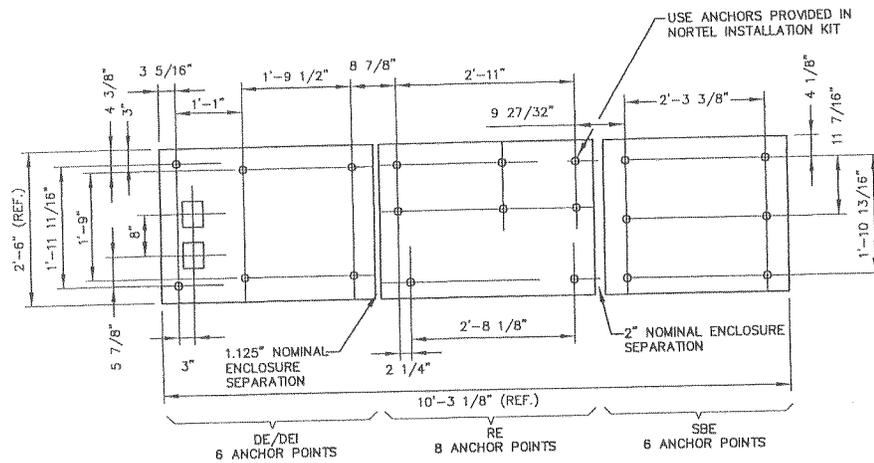
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WHITE STALLION
1051 VAN ARSDALE STREET
OVIEDO, FL 32789
RAW LAND - MONOPOLE

SHEET TITLE
SITE DETAILS
AND
CONCRETE NOTES

SHEET NUMBER

C7



1 NORTEL "METROCELL" BTS BOLT PATTERN
NOT TO SCALE



6580 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251



ALCOA Wireless
Services, Inc.
485 NORTH ELLER ROAD
SUITE 100
MARIANNA, FL 32781
OFFICE (407) 661-1788
FAX (407) 661-1786

PROJECT NO: 1011.516
DRAWN BY: TJP
CHECKED BY: JO

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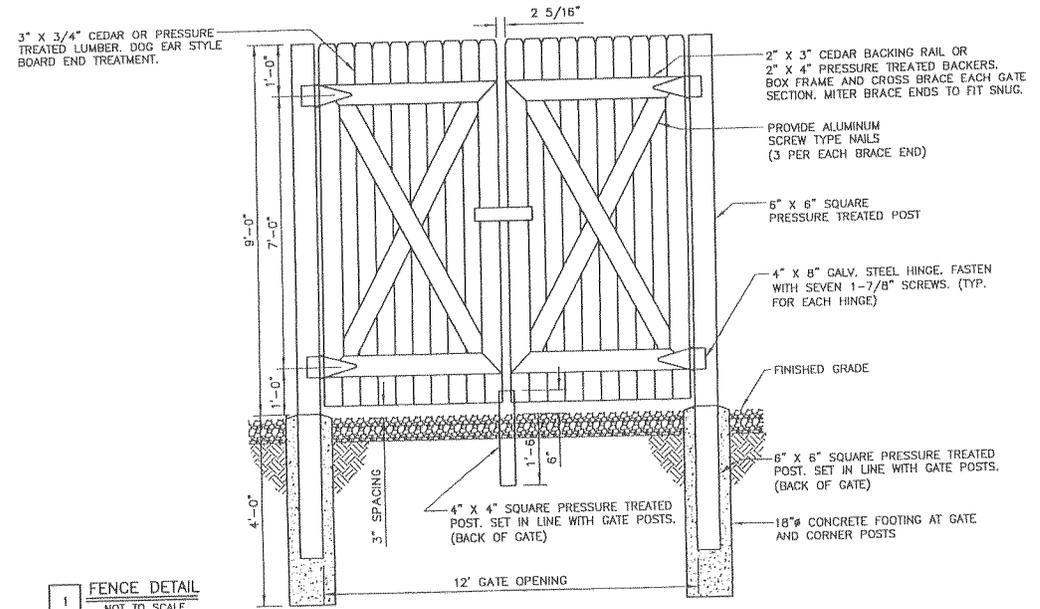
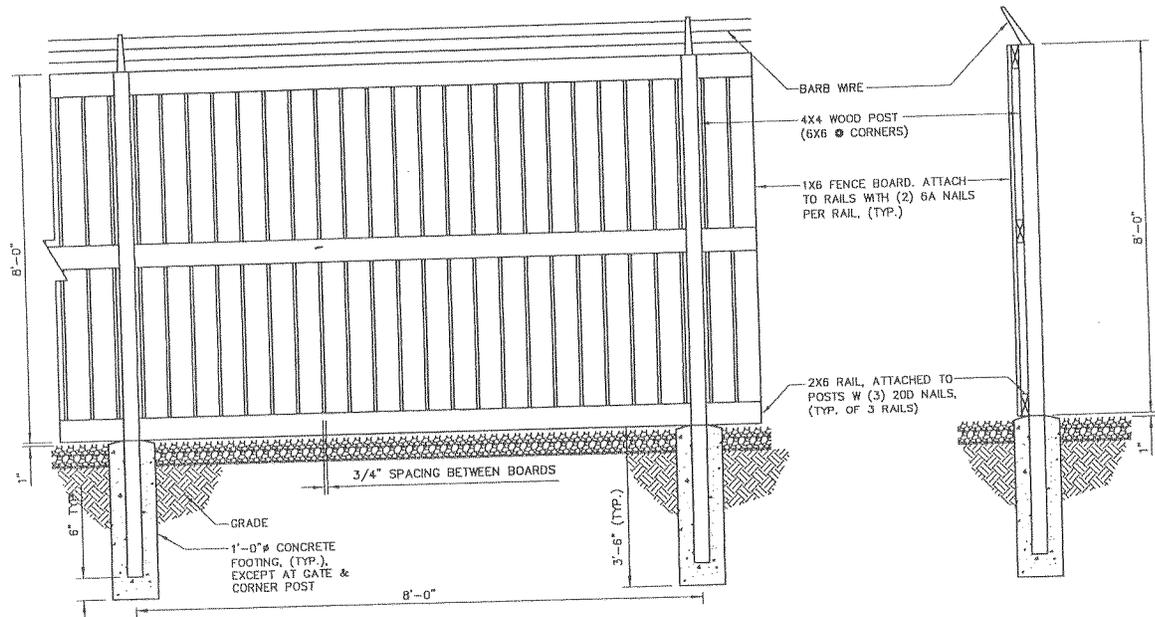
[Signature]
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EMANUEL POSULIN
FL P.E. #24973
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RAW LAND - MONOPOLE

SHEET TITLE
SITE DETAILS

SHEET NUMBER
C8



1 FENCE DETAIL
NOT TO SCALE



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Services, Inc.
485 NORTH KELLER ROAD
SUITE 100
MAITLAND, FL 32751
OFFICE (407) 561-1785
FAX (407) 561-1744

PROJECT NO: 1811.516
DRAWN BY: TJP
CHECKED BY: JD

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1	09/20/04	REVISED FENCE
0	09/24/04	ISSUED FOR CONSTRUCTION
A	04/21/04	ISSUED FOR REVIEW

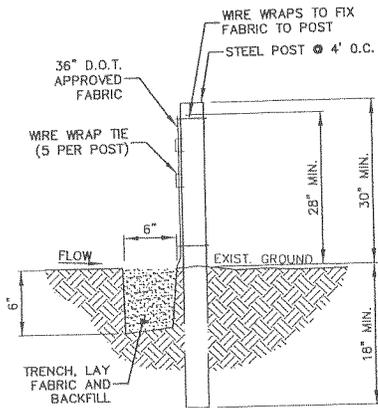
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SEP 23 2004
EMANUEL POLJUN
P.E. #54073

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OVIEDO, FL 32789
RAW LAND - MONOPOLE

SHEET TITLE
FENCE DETAILS

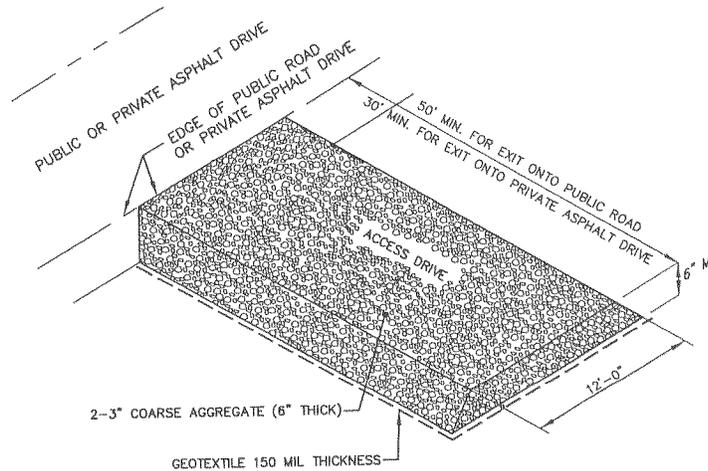
SHEET NUMBER
C9



1 SILT FENCE DETAIL
NOT TO SCALE

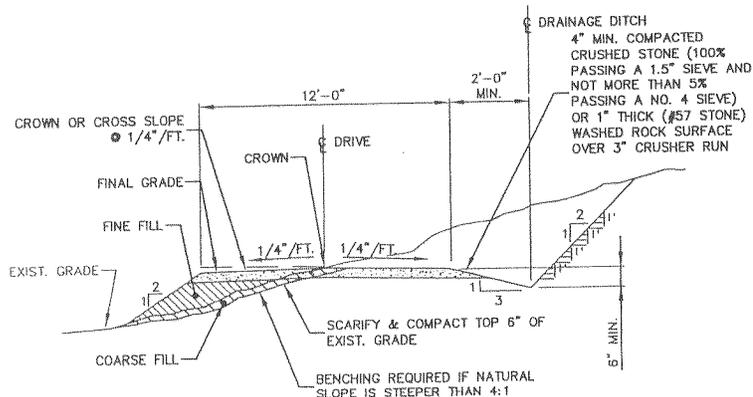
SILT FENCE NOTES:

1. THE FILTER FABRIC USED SHALL BE TYPE I OR II AND SHALL COMPLY W/ ALL NATIONAL, STATE AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (A.H.).
2. SILT FENCE HEIGHT SHALL BE A MINIMUM OF 2.5 FEET ABOVE GROUND HEIGHT.
3. CONSTRUCT SILT FENCE OF A CONTINUOUS ROLL CUT THE LENGTH OF THE BARRIER TO AVOID JOINTS. FABRIC TO BE FASTENED SECURELY TO FENCE POSTS WITH 1 INCH STAPLES OR TIE WIRES.
4. SUPPORT FABRIC WITH WOVEN WIRE MESH (TOP AND BOTTOM WIRES SHALL BE 10 GA., OTHER WIRES SHALL BE AT LEAST 12.5 GA.) OPENING SHALL BE 6" MAX. SPACING. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO POSTS WITH 1" STAPLES, NAILS OR TIE WIRES.
5. POST FOR SILT FENCE SHALL BE STEEL.
6. FENCE POST SPACING SHALL NOT EXCEED 4 FEET O.C.
7. EXCAVATE A TRENCH APPROXIMATELY 6 INCHES WIDE AND 6 INCHES DEEP ALONG THE PROPOSED LINE OF POSTS AND UP SLOPE FROM THE BARRIER. BACK FILL THE TRENCH WITH #57 STONE PLACED OVER THE FILTER FABRIC.
8. DO NOT ATTACH FILTER FABRIC TO EXISTING FENCES, TREES, ETC.
9. REMOVE FENCING FOLLOWING STABILIZATION OF SLOPES AND ALL DISTURBED AREAS.



2 CONSTRUCTION EXIT DETAIL
NOT TO SCALE

NOTES:
IT IS THE RESPONSIBILITY OF THE SITE CONTRACTOR TO PROVIDE BUFFER AREA WHERE VEHICLES CAN DROP THEIR MUD AND SEDIMENT TO AVOID TRANSPORTING IT ONTO PUBLIC ROADS OR ADJACENT PRIVATE ASPHALT DRIVES.



3 GRAVEL DRIVE SECTION
NOT TO SCALE

EROSION & SEDIMENT CONTROL NOTES:

1. ADDITIONAL EROSION CONTROL MEASURES SHALL BE EMPLOYED WHERE DETERMINED NECESSARY BY ACTUAL SITE CONDITIONS.
2. PRIOR TO COMMENCING LAND DISTURBING ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS.
3. THE CONSTRUCTION OF THE SITE SHALL INITIATE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL SHALL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED.
4. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
5. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
6. THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN THE SILT IS WITHIN 12" OF THE TOP OF THE SILT FENCE.
7. SILT BARRIERS TO BE PLACED AT DOWNSTREAM TOE OF ALL CUT AND FILL SLOPES.
8. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 7 DAYS SHALL BE STABILIZED WITH SEEDING.



6580 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251



ALCOA WireMesh
Services, Inc.
485 NORTH KELLER ROAD
SUITE 100
MAYLAND, FL 32751
OFFICE (407) 861-1785
FAX (407) 981-1788

PROJECT NO: 1611.516
DRAWN BY: TJP
CHECKED BY: JD

REV	DATE	DESCRIPTION
0	05/24/04	ISSUED FOR CONSTRUCTION
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JUN 24 2004
DAN MARLEY, P.O.U.L.N.
FL P.E. #54073
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1051 VAN ARSDALE STREET
OWIEDO, FL 32789
RAW LAND - MONOPOLE

SHEET TITLE
SITE DETAILS

SHEET NUMBER
C10

TEMPORARY STABILIZATION (MULCHING)

WHEN SEEDING WILL NOT HAVE A SUITABLE GROWING SEASON
TEMPORARY STABILIZATION MAY BE ACCOMPLISHED WITH:

STRAW OR HAY—2.5 TONS/ACRE WOOD WASTE,
BARK, SAWDUST—2-3" DEEP (APPROX. 6-9
TONS/ACRE)

TEMPORARY SEEDING

SEEDING SCHEDULE			
SPECIES	RATE/1000 S.F.	DATES	LIME
WINTER RYE	1.5 - 2 LBS.	9/1-11/1, 3/1-8/1	1 TON/ACRE
*WEeping LOVEGRASS	2 - 3 LBS.	3/1 - 8/1	1 TON/ACRE

*HYDROSEED ON ALL 2:1 (H:V) SLOPES.

FERTILIZER (LBS./ACRE)			
SPECIES	N2	P202	K2 O2
WINTER RYE	60 - 90	120 - 180	120 - 180
*WEeping LOVEGRASS	60 - 90	120 - 180	120 - 180

PERMANENT SEEDING

SEEDING SCHEDULE			
SPECIES	RATE/1000 S.F.	DATES	LIME
HULLED BERMUDA	2 LBS.	10/1 - 3/1	1 TON/ACRE
UNHULLED BERMUDA	2 LBS.	2/15 - 6/15	1 TON/ACRE
FESCUE	5 - 10 LBS.	9/1 - 11/1	1 TON/ACRE

FERTILIZER (LBS./ACRE)			
SPECIES	N2	P202	K2 O2
HULLED BERMUDA	60 - 90	120 - 180	120 - 180
UNHULLED BERMUDA	60 - 90	120 - 180	120 - 180
FESCUE	60 - 90	120 - 180	120 - 180

2 STABILIZATION DETAIL
NOT TO SCALE

ACTIVITY SCHEDULE

DESCRIPTION	WEEK					
	1	2	3	4	5	6
SEDIMENT CONTROL—TREE PROTECTION	█	█	█	█	█	█
CLEARING, GRUBBING, GRADING,	█	█	█			
TEMPORARY GRASSING					█	█
MAINT. OF EROSION CONTROL DEVICES	█	█	█	█	█	█
FINAL SURFACE COURSE					█	█
DISPOSITION OF SEDIMENT DEVICES						█
BUILDING CONSTRUCTION			█	█	█	█
CLEARING OF STORM DRAINS						█
FINAL LANDSCAPING						█

THIS SCHEDULE IS TO BE USED FOR PERMITTING PURPOSES ONLY. REFER TO APPROVED PROJECT SCHEDULE FOR EXACT CONSTRUCTION SEQUENCING.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

1 ACTIVITY SCHEDULE
NOT TO SCALE



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ALCOA Wireless
Services, Inc.
145 NORTH HELLER ROAD
SUITE 100
MATHIAS, FL 32751
OFFICE (407) 841-1785
FAX (407) 861-1794

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P.E. 256023
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1051 VAN ARSDALE STREET
OVIDO, FL 32789
RAW LAND - MONOPOLE

SHEET TITLE

SITE DETAILS

SHEET NUMBER

C11

PLANTING LIST			
SCIENTIFIC NAME	COMMON NAME	SIZE (HEIGHT)	SPACING
PINUS ELLIOTTI	SPLASH PINE	8 FT	10'-0" O.C.
CAPRIFOLIACEAE	VIBERNUM	3 FT	30" O.C.

NEW SPRINT LEASE
COMPOUND (50' x 50')

NEW VIBERNUM,
30" O.C. (TYP.)

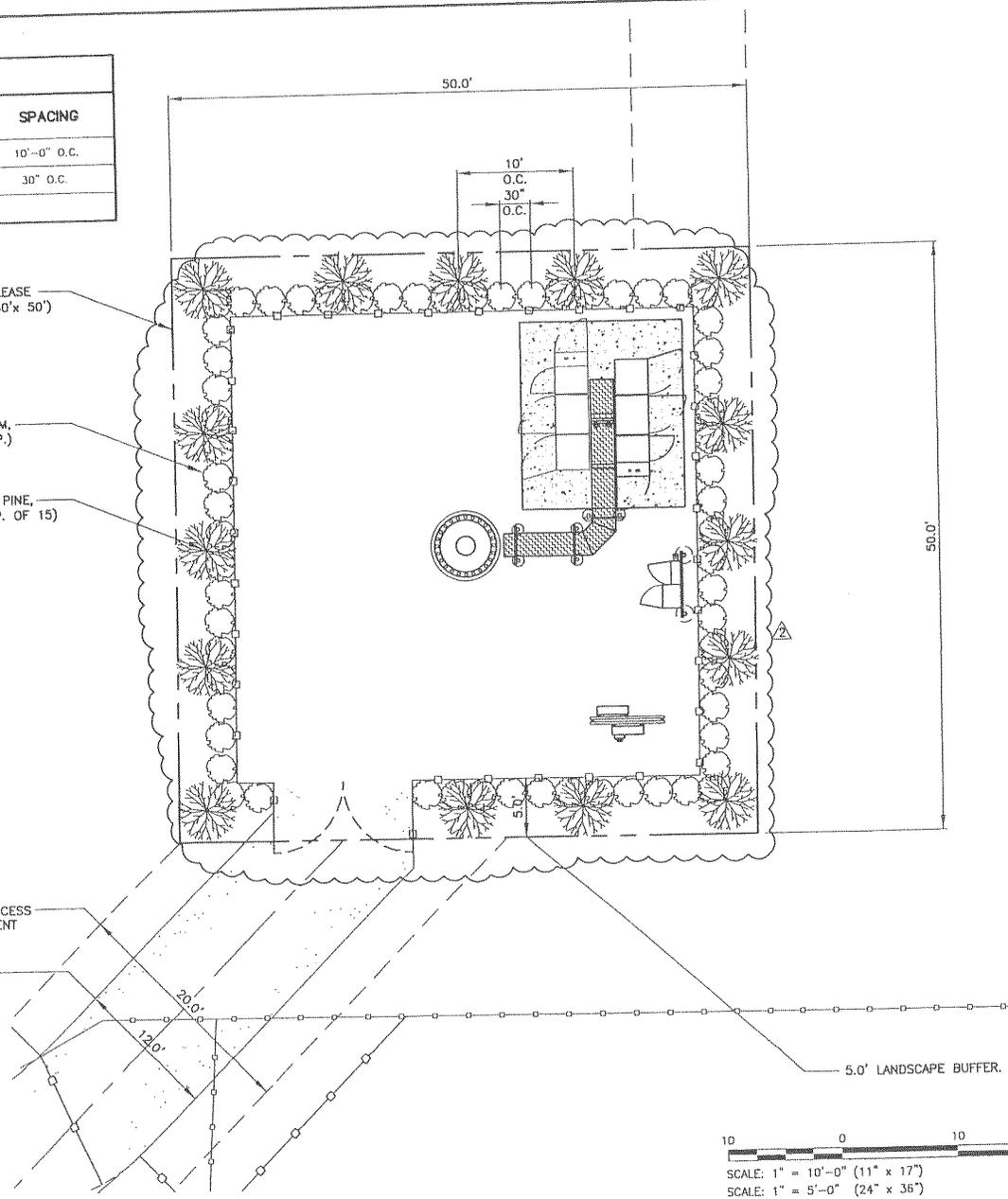


NEW SPLASH PINE,
10' O.C. (TYP. OF 15)



NEW 20' WIDE ACCESS
& UTILITY EASEMENT

NEW 12' WIDE
GRAVEL ACCESS
DRIVE



Sprint
6580 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251

ALCOA
ALCOA Wireless
Services, Inc.
483 NORTH KELLER ROAD
SUITE 100
MARIETTA, FL 32751
OFFICE (407) 661-1765
FAX (407) 661-1766

PROJECT NO: 1611.518
DRAWN BY: TJP
CHECKED BY: JD

REV	DATE	DESCRIPTION
2	09/20/04	REVISED FENCE
1	06/22/04	RELOCATED METER RACK
0	05/24/04	ISSUED FOR CONSTRUCTION
A	04/21/04	ISSUED FOR REVIEW

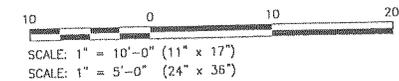
(Signature)
SEP 23 2004

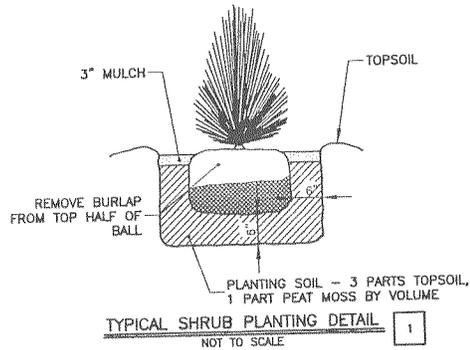
EMMANUEL POBLIN
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RAW LAND - MONOPOLE

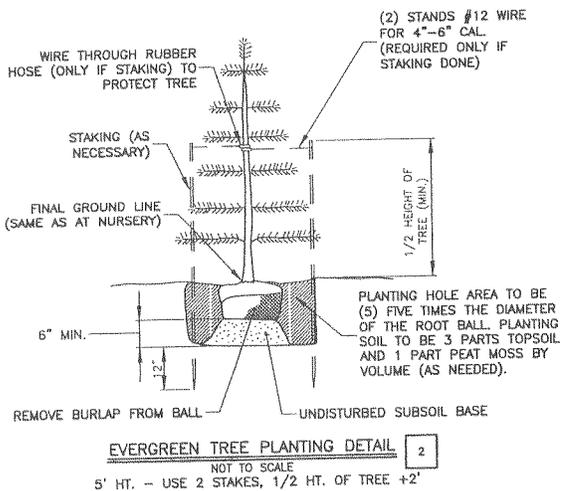
SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
L1





TYPICAL SHRUB PLANTING DETAIL 1
NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL 2
NOT TO SCALE
5' HT. - USE 2 STAKES, 1/2 HT. OF TREE + 2'

LANDSCAPE NOTES

A. PROJECT INCLUDES

1. FURNISH, INSTALL, AND MAINTAIN LANDSCAPE WORK AS SHOWN ON THESE CONTRACT DRAWINGS OR AS IDENTIFIED HEREIN.
 - A. TREES, SHRUBS, AND GROUND COVER.
 - B. LAWNS.
 - C. TOPSOIL AND SOIL AMENDMENTS.
 - D. INITIAL MAINTENANCE OF INSTALLED LANDSCAPE MATERIALS.
 - E. PRUNING AND RELOCATION OF EXISTING PLANT MATERIALS.
 - F. RECONDITIONING EXISTING LAWNS AFFECTED BY CONSTRUCTION ACTIVITIES.

B. QUALITY ASSURANCE

1. PLANTS AND TREES: BALLED AND BURLAPED PLANTS AND TREES SHALL BE GRADED TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1.
2. TESTING: LABORATORY TESTING OF EXISTING SOILS AND FILL MATERIALS FOR SUITABLE SOIL AMENDMENTS AND FERTILIZER SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR.
3. CONTRACTOR SHALL PREPARE THE SURFACE OF DISTURBED AREAS PRIOR TO SEEDING.
4. FERTILIZER AND SEED SHALL BE APPLIED AT UNIFORM RATES AS DETERMINED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.
5. CONTRACTOR SHALL WATER SEEDED AREAS AS OFTEN AS REQUIRED TO OBTAIN GERMINATION AND TO OBTAIN AND MAINTAIN SATISFACTORY GROWTH.
6. THE STAND OF VEGETATIVE COVER RESULTING FROM SEEDING SHALL NOT BE CONSIDERED SATISFACTORY UNTIL ACCEPTED BY THE ENGINEER. IF AREAS ARE DETERMINED TO BE UNACCEPTABLE, THE MULCH WILL BE REMOVED AND ALL AREAS SHALL BE RESEED, REFERTILIZED AND REMULCHED PER RECOMMENDED APPLICATION PROCEDURES AT THE CONTRACTORS EXPENSE.
7. THE CONTRACTOR SHALL BEGIN MAINTENANCE PERIOD IMMEDIATELY AFTER PLANTING OF VEGETATIVE COVER.
8. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER AREA, FOR THE PERIODS REQUIRED TO ESTABLISH AN ACCEPTABLE GROWTH, BUT NOT LESS THAN 60 DAYS AFTER THE COMPLETION OF PLANTING OF VEGETATIVE COVER. IF SEEDING IN THE FALL AND NOT GIVEN A FULL 60 DAYS OF MAINTENANCE, OR IF NOT CONSIDERED ACCEPTABLE BY THE ENGINEER AT THAT TIME, CONTINUE MAINTENANCE DURING THE FOLLOWING SPRING UNTIL ACCEPTABLE VEGETATIVE COVER STAND IS ESTABLISHED.

C. PRODUCTS

1. PLANT MATERIALS SHALL BE AS SHOWN ON THESE CONTRACT DRAWINGS AND MAY BE ANY COMBINATION OF THE FOLLOWING:
 - A. DECIDUOUS TREES.
 - B. DECIDUOUS SHRUBS.
 - C. CONIFEROUS AND BROAD LEAFED EVERGREEN TREES AND SHRUBS.
 - D. GROUND COVER.
 - E. PLANTS.
2. LAWNS: LAWN MAY BE ANY OF THE FOLLOWING, AS APPROVED BY THE ENGINEER: SEED; NEW CROP SEED MIXTURE; SOD, STRONGLY ROOTED, 2 YEARS OLD; OR SOD PLUGS AND SPRIGS.
3. TOPSOIL: FERTILE, FRIABLE TOPSOIL FROM OFFSITE, OR FROM SITE STOCKPILE WITH ADDITIONAL MIXED-IN FERTILE, FRIABLE TOPSOIL FROM LOCAL SUPPLIERS OF TOPSOIL.
4. SOIL AMENDMENTS: THE SOIL AMENDMENTS MAY BE ANY OF THE FOLLOWING, AS REQUIRED OR INDICATED IN THE LABORATORY TESTING REPORTS.
 - A. LIME: DOLOMITIC LIMESTONE.
 - B. ALUMINUM SULFATE: COMMERCIAL GRADE.
 - C. PEAT HUMUS: FINELY DIVIDED PEAT.
 - D. SUPERPHOSPHATE: 20 PERCENT AVAILABLE PHOSPHORIC ACID.
 - E. SAND: CLEAN, WASHED SAND.
 - F. PERLITE: NBS PS 23.
 - G. SAWDUST: ROTTED SAWDUST FREE OF CHIPS AND STONES.
 - H. MANURE: ROTTED STABLE MANURE.
 - I. COMMERCIAL FERTILIZER: NEUTRAL CHARACTER FOR PLANT MATERIALS AND LAWNS.
 - J. MULCH: SHREDDED HARDWOOD MULCH.
5. LANDSCAPE MATERIALS: THE LANDSCAPE MATERIALS MAY BE ANY OF THE FOLLOWING, AS SHOWN ON THESE CONTRACT DRAWINGS.
 - A. GRAVEL: WATER-WORN GRAVEL.
 - B. ANTI-EROSION MULCH: SEED-FREE SALT HAY OR THRESHED STRAW.
 - C. ANTI-DESICCANT: EMULSION TYPE, FILM-FORMING.
 - D. PLASTIC SHEET: BLACK POLYETHYLENE, 8 MILS.
 - E. FILTRATION FABRIC: WATER PERMEABLE FIBERGLASS OR POLYPROPYLENE FABRIC.
 - F. WRAPPING: TREE-WRAP TAPE.
 - G. STAKES AND GUYS: NEW HARDWOOD, TREATED SOFTWOOD, OR REDWOOD.
 - H. METAL EDGING: COMMERCIAL STEEL EDGING.
 - I. WOOD HEADERS AND EDGING: ALL HEART REDWOOD OR PRESSURE TREATED SOUTHERN YELLOW PINE.



6580 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251



ALCOA Wireline
Solutions, Inc.
465 NORTH KELLER ROAD
SUITE 100
MAYLAND, FL 32701
OFFICE (407) 641-1788
FAX (407) 641-1788

PROJECT NO: 1611.516
DRAWN BY: TJP
CHECKED BY: JD

REV	DATE	DESCRIPTION
D	05/24/04	ISSUED FOR CONSTRUCTION
A	04/21/04	ISSUED FOR REVIEW

[Signature]
JUN 24 2004

EMMANUEL POULIN
P.E. #34073
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WHITE STALLION
1051 VAN ARSDALE STREET
OVIEDO, FL 32789
RAW LAND - MONOPOLE

SHEET TITLE
LANDSCAPE DETAILS

SHEET NUMBER
L2

INCOMING POWER AND TELEPHONE SERVICE NOTES:

1. THE LOCATION SHOWN FOR THE UTILITY POLE, CONNECTION TO EXISTING UTILITIES AND INCOMING POWER AND TELEPHONE SERVICES IS FOR CONCEPTUAL USE ONLY. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION WITH THE ELECTRIC AND TELEPHONE UTILITIES AND SPRINT.
2. THE CONTRACTOR IS RESPONSIBLE FOR MAKING ARRANGEMENTS WITH THE ELECTRIC AND TELEPHONE UTILITIES RELATIVE TO A TIMELY INSTALLATION OF THE INCOMING POWER AND TELEPHONE SERVICES. SPRINT WILL OBTAIN AN ELECTRIC SERVICE ORDER (ESO) FOR THIS SITE PRIOR TO THE CONTRACTOR INITIATING ANY WORK ON-SITE.
3. THE INCOMING ELECTRIC SERVICE SHALL BE INSPECTED BY THE AUTHORITY HAVING JURISDICTION AND A CERTIFICATE OF SUCH INSPECTION SHALL BE FURNISHED TO SPRINT WITH A COPY FORWARDED TO THAT UTILITY.
4. ANY UTILITY CHARGES ASSOCIATED WITH THIS SITE SHALL BE PAID BY SPRINT AND NO CHARGES, THEREFORE SHALL ACCRUE TO THE CONTRACTOR.
5. FOR INCOMING UNDERGROUND TELEPHONE SERVICE, THE CONTRACTOR SHALL INSTALL THE CONDUIT INCLUDING PULLWIRES BETWEEN UTILITY POLE (OR PEDESTAL, WHERE APPLICABLE) AND POWER PROTECTION CABINET (PPC), AT THE PROPOSED UTILITY POLE EXTEND TELEPHONE CONDUIT UP POLE APPROXIMATELY 1'-0" AND SEAL.
6. COORDINATE METER SOCKET REQUIREMENTS WITH SPRINT AND ELECTRIC UTILITY.
7. INCOMING ELECTRIC SERVICES SHALL BE IN CONFORMANCE WITH THE UTILITIES STANDARDS (LATEST EDITION).
8. THIS SITE INCLUDES EXISTING CRITICAL UNDERGROUND ELECTRIC, TELEPHONE AND OTHER SERVICES IN THE VICINITY OF THE NEW UNDERGROUND SERVICES AND EQUIPMENT SUPPORTS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID SERVICE DISRUPTION TO THESE FACILITIES. THE CONTRACTOR SHALL ALSO CONTACT ELECTRIC AND TELEPHONE, AND ALL OTHER APPROPRIATE AGENCIES PRIOR TO EXCAVATION AT THIS SITE. ALL EXCAVATION IN THE IMMEDIATE VICINITY OF EXISTING UTILITY POLE SHALL BE PERFORMED BY HAND.
9. ALL UNDERGROUND CONDUIT TO BE PVC AND ALL ABOVE GRADE CONDUIT TO BE RGS. SEE DETAILS 2 AND 3 ON DRAWING E9 FOR CONVERSION FROM PVC TO RGS.

ELECTRICAL SYMBOLS

-  CHEMICAL GROUND ROD
-  GROUND ROD
-  CADWELD TYPE CONNECTION
-  COMPRESSION TYPE CONNECTION
-  DISCONNECT BREAKER SWITCH
-  METER
-  CIRCUIT BREAKER
-  GENERATOR
-  GENERATOR RECEPTACLE
-  GROUNDING WIRE
-  REPRESENTS DETAIL NUMBER
-  REF. DRAWING NUMBER

ABBREVIATIONS

- AHJ AUTHORITY HAVING JURISDICTION
- AWG AMERICAN WIRE GAUGE
- BCW BARE COPPER WIRE
- BTS BASE TRANSMISSION SYSTEM
- CIGBE COAX ISOLATED GROUND BAR EXTERNAL
- DE/DEI DIGITAL ENCLOSURE/DIGITAL ENCLOSURE INTERFACE
- DIA DIAMETER
- DWG DRAWING
- EMT ELECTRICAL METALLIC TUBING
- GEN GENERATOR
- GPS GLOBAL POSITIONING SYSTEM
- I WALKING BEAM INTERLOCK
- IGR INTERIOR GROUND RING (HALO)
- MIGB MASTER ISOLATED GROUND BAR
- NEC NATIONAL ELECTRIC CODE
- PCS PERSONAL COMMUNICATION SYSTEM
- PPC POWER PROTECTION CABINET (SOMETIMES REFERED TO AS A PPC-MINI)
- PVC POLY VINYL CHLORIDE
- RE RADIO ENCLOSURE
- RGS RIGID GALVANIZED STEEL
- RWY RACEWAY
- SBE SIMPLIFIED BATTERY ENCLOSURE
- SCI SPRINT COMMUNICATIONS INCORPORATED
- SS STAINLESS STEEL
- SSLP SPRINT SPECTRUM LIMITED PARTNERSHIP
- THWN THERMAL HEAT WATER NYLON
- TYP. TYPICAL
- Ø DIAMETER OF CONDUIT

SYMBOLS & ABBREVIATIONS

NOT TO SCALE



8580 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251



ALCOA Wireless
Services, Inc.
465 NORTH KELLER ROAD
SUITE 100
MAITLAND, FL 32751
OFFICE (407) 841-1795
FAX (407) 841-1786

PROJECT NO: 1811.516
DRAWN BY: TJP
CHECKED BY: JD

REV	DATE	DESCRIPTION
0	05/24/04	ISSUED FOR CONSTRUCTION
A	04/21/04	ISSUED FOR REVIEW

Warren Henson
9.22.04

WARREN HENSON
P.E. #18184

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WHITE STALLION
1051 VAN ARSDALE STREET
DVIDEO, FL 32789
RAW LAND - MONOPOLE

SHEET TITLE
UTILITY NOTES
AND
SYMBOLS

SHEET NUMBER

E1

MATCH LINE "A"

DETAIL REFERENCE

4	5	1	2
E5	E5	E7	E7

4	5	1	2
E5	E5	E7	E7

4	5	2
E5	E5	E9

KEY

- ROUTE POWER CONDUIT FROM PPC-MINI CABINET TO DE/DEI CABINET
(1) 2" PVC w/(3) #2 + #8G.
- ROUTE TELCO CONDUIT FROM PPC-MINI CABINET TO DE/DEI CABINET
(1) 2" PVC w/(2) PULLSTRINGS
- ROUTE POWER & TELCO CONDUITS FOR SECONDARY EQUIPMENT. STUB-UP, CUT FLUSH WITH TOP OF SLAB, PLUG AND LABEL CONDUITS
(2) 2" w/(2) PULLSTRINGS PER CONDUIT
- LABEL AS "SPRINT" EQUIPMENT

DESCRIPTION

CALLED NORTH



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ALCOA Wireless
Services, Inc.
480 NORTH HELLER ROAD
SUITE 100
MARIANNA, FL 32781
OFFICE (407) 961-1785
FAX (407) 961-1788

PROJECT NO: 1611.016
DRAWN BY: TJP
CHECKED BY: JD

1	06/22/04	RELOCATE METER RACK
0	05/24/04	ISSUED FOR CONSTRUCTION
A	04/21/04	ISSUED FOR REVIEW
REV	DATE	DESCRIPTION

Warren Heinson
9.22.04

WARREN HEINSON
FL P.E. #1884
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RAW LAND - MONOPOLE

SHEET TITLE

UTILITY PLAN

SHEET NUMBER

E2

NEW TELECOMMUNICATIONS EQUIPMENT ON (14'x16') CONCRETE SLAB ON GRADE

SECONDARY EQUIPMENT

(1) NEW UNDERGROUND 2" PVC CONDUIT W/ PULLSTRING FOR ANTENNA DATA CABLE FROM STUB-UP TO PPC-MINI CABINET

1
E4

NEW CABLE TRAY

NEW 197' MONOPOLE

NEW ANTENNA DATA CABLES TO RUN ALONG CABLE TRAY FROM PPC-MINI CABINET TO ANTENNA

NEW UNDERGROUND 2" PVC TELCO CONDUIT W/PULLSTRING FROM PPC-MINI CABINET TO NEW MULTI-TENANT SERVICE STAND.

4	5	2
E5	E5	E9

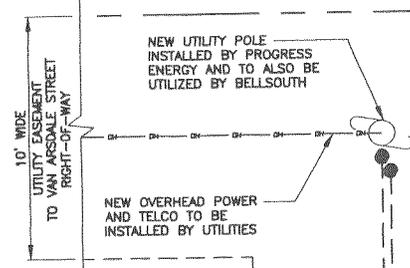
NEW UNDERGROUND 3" PVC POWER CONDUIT W/CONDUCTORS FROM PPC-MINI CABINET TO NEW METER AT MULTI-TENANT SERVICE STAND.

4	5	2
E5	E5	E9

NEW MULTI-TENANT SERVICE STAND

1
E10

NOTE:
PROGRESS ENERGY TO INSTALL ADDITIONAL UTILITY POLES, AS REQUIRED, AND RUN OVERHEAD POWER THE LENGTH OF 10' WIDE UTILITY EASEMENT TO VAN ARSDALE STREET RIGHT-OF-WAY. BELLSOUTH TO ALSO UTILIZE EASEMENT AND POLES FOR OVERHEAD TELCO.



NEW PPC-MINI CABINET MOUNTED TO H-FRAME

1	2
E7	E7

NEW UNDERGROUND 2" PVC TELCO CONDUIT W/PULLSTRING FROM MULTI-TENANT SERVICE STAND TO NEW SERVICE POLE W/ WEATHERHEAD. STUB-UP, CAP & LABEL AS "TELCO"

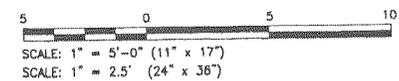
4	5	2
E5	E5	E9

NEW UNDERGROUND 3" PVC POWER CONDUIT W/CONDUCTORS FROM MULTI-TENANT SERVICE STAND TO NEW SERVICE POLE. STUB-UP, CAP & LABEL AS "POWER"

4	5	2
E5	E5	E9

10.0' UTILITY EASEMENT

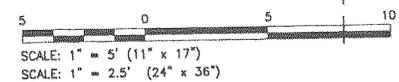
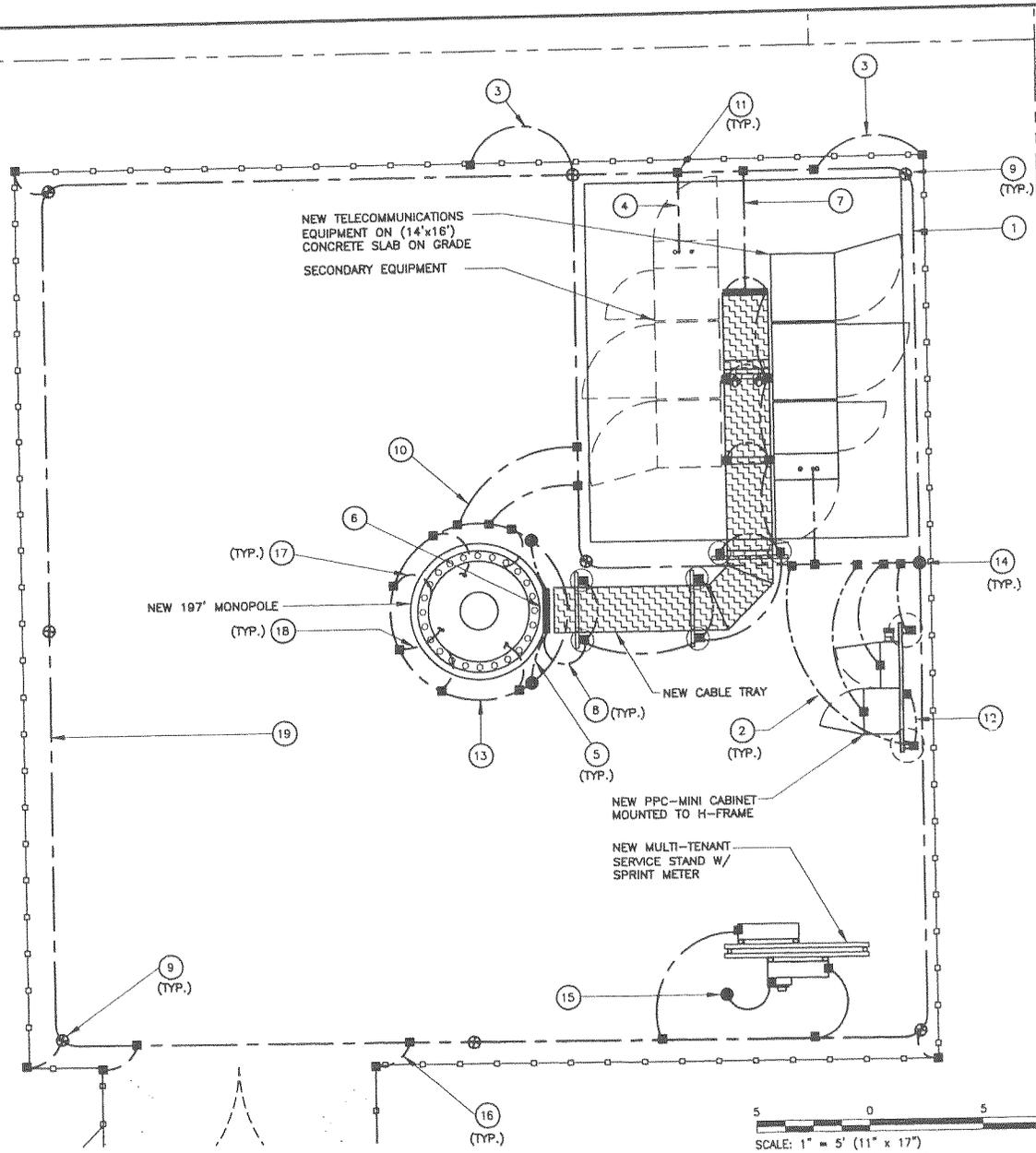
MATCH LINE "A"



DETAIL
REF.

GROUNDING KEY

- ① #2 AWG SOLID TINNED BCW GROUND RING AROUND EQUIPMENT AT A DEPTH OF 30"
- ② BOND TO MINI-PPC CABINET & SUPPORT FRAME (TYP. x3)
- ③ BOND TO FENCE POSTS
- ④ #2 AWG BOND MIB ON BTS EQUIPMENT TO GROUND RING WITH ONE LEAD EACH. ROUTE 1/2" PVC UP THRU SLAB.
- ⑤ BOND LOWER CIGBE TO TOWER GROUND RING
- ⑥ LOWER CIGBE
- ⑦ #2 AWG BOND GROUND BAR ON CABLE TRAY TO EQUIPMENT GROUND RING
- ⑧ CABLE TRAY GROUNDING (TYP.)
- ⑨ COPPER GROUND ROD (TYP.)
- ⑩ BOND EQUIPMENT GROUND RING TO TOWER GROUND RING (2 PLACES)
- ⑪ CADWELD CONNECTION
- ⑫ ROUTE GROUND LEAD THROUGH 1/2" PVC CONDUIT FROM EQUIPMENT GROUND RING TO 3" GALVANIZED CONDUIT FOR EQUIPMENT LIGHTING ASSEMBLY ON PPC-MINI
- ⑬ #2 AWG SOLID TINNED BCW TOWER GROUND RING.
- ⑭ GROUND ROD WITH INSPECTION WELL
- ⑮ SERVICE ENTRANCE GROUND ROD
- ⑯ BOND TO NEW GATES & FENCE POSTS
- ⑰ BOND TO REBAR IN TOWER FOUNDATION (TYP. x 3)
- ⑱ BOND TOWER TO TOWER GROUND RING (TYP. x 3)
- ⑲ #2 AWG SOLID TINNED BCW GROUND RING AROUND COMPOUND AT A DEPTH OF 30"



CALLED NORTH

6580 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251

ALCOA Wireless
Services, Inc.
485 NORTH KOLLER ROAD
SUITE 100
MAITLAND, FL 32751
OFFICE (407) 841-1765
FAX (407) 841-1768

PROJECT NO:	1811.01R
DRAWN BY:	TJP
CHECKED BY:	JD

REV	DATE	DESCRIPTION
2	7/28/04	REVISED GROUNDING
1	06/22/04	RELOCATED METER RACK
D	05/24/04	ISSUED FOR CONSTRUCTION
A	04/21/04	ISSUED FOR REVIEW

Warren Henson
9.22.04

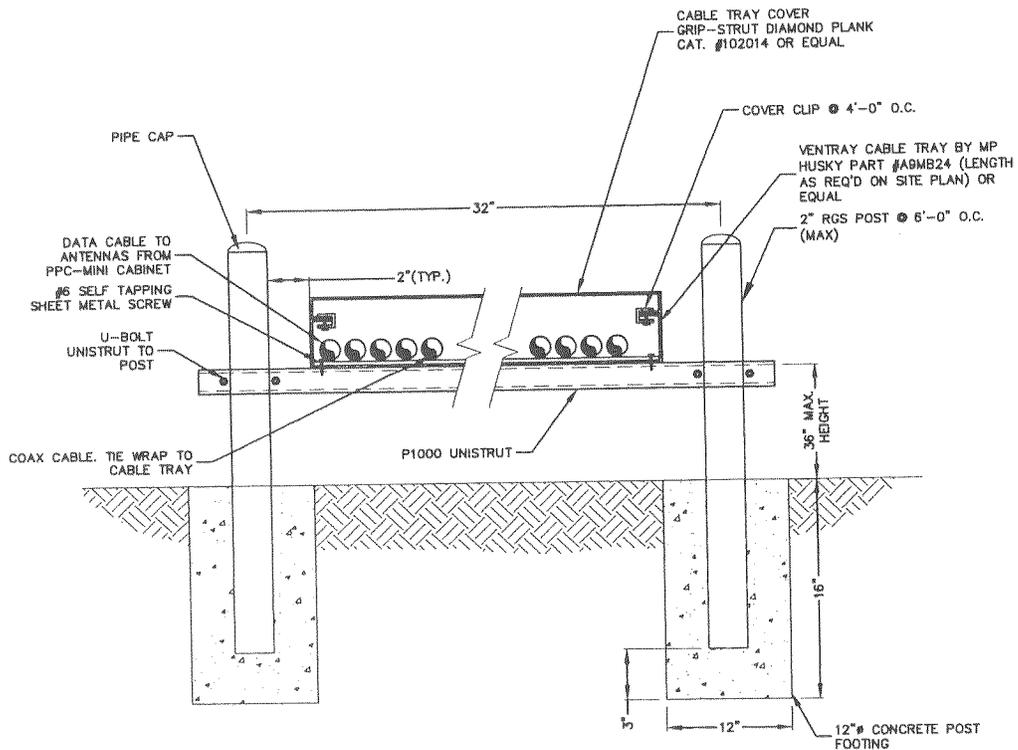
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P.E. #21884

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WHITE STALLION
1051 VAN ARSDALE STREET
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RAW LAND - MONOPOLE

SHEET TITLE
GROUNDING PLAN

SHEET NUMBER
E3



1 CABLE TRAY MOUNTING DETAIL
NOT TO SCALE

ANTENNA CABLE AND ACCESSORY NOTES AND REQUIREMENTS:

1. GENERAL: PROVIDE ALL LABOR, EQUIPMENT, AND MATERIALS NECESSARY FOR RECEIVING, INSTALLING, TESTING, AND ADJUSTING ANTENNA CABLES FROM THE ANTENNA TO THE CONNECTIONS AT THE BASE TRANSMISSION SYSTEM (BTS). THIS SHALL INCLUDE ALL EQUIPMENT SHOWN OR REQUIRED FOR A COMPLETE OPERATING SYSTEM. ANTENNA, ANTENNA CABLES, CONNECTORS, AND FITTING SHALL BE THIRD PARTY FURNISHED COMPONENTS AS SHOWN ON THE BILL OF MATERIALS.

2. MATERIALS

- A. ANTENNA CABLES: AS SCHEDULED
- B. ANTENNA CONNECTORS: AS SCHEDULED
- C. CABLE HANGERS: INSTALLED AT MAXIMUM 4' SPACING
- D. GROUNDING KITS - AS SPECIFIED

3. INSTALLATION

- A. ANTENNA CABLE LENGTHS SHALL BE FIELD MEASURED. INSTALLER SHALL NOTIFY SPRINT PRIOR TO PURCHASE OF CABLE OF THE OVERALL LENGTH REQUIRED.
- B. CABLES SHALL BE LABELED IN ACCORDANCE WITH SPRINT ELECTRICAL MATERIALS AND METHODS SPECIFICATIONS.
- C. ALL CABLE CONNECTIONS OUTSIDE SHALL BE COVERED WITH WEATHERPROOFING TAPE.
- D. THE MINIMUM BENDING RADIUS FOR ALL ANTENNA CABLES SHALL BE AS SHOWN BELOW OR PER THE MANUFACTURER, WHICHEVER IS MORE CONSERVATIVE:

CABLE	IN AIR OR CABLE TRAY	IN CONDUIT
1/2"	5"	10"
7/8"	10"	18"
1-5/8"	20"	28"

- E. CABLES SHALL BE INSTALLED WITH THE MINIMUM NUMBER OF BENDS. CABLE SHALL NOT BE LEFT UNTERMINATED IN THE FIELD.
- F. GROUNDING KITS - AFTER INSTALLATION OF GROUND STRAPS, THE CONNECTIONS SHALL BE MADE WEATHER TIGHT USING WEATHERPROOF KITS AS IDENTIFIED ABOVE. GROUND PIGTAILS SHALL BE BROUGHT OUT IN THE DOWNWARD DIRECTION FROM THE CONNECTION TO THE ANTENNA CABLE WITHOUT ANY SHARP BENDS (MINIMUM RADIUS 10") AND CONNECTION SHALL BE MADE TO GROUNDING SYSTEM.



5580 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251



ALCOA Wireless
Services, Inc.
400 NORTH HELLER ROAD
SUITE 100
MAITLAND, FL 32751
OFFICE (407) 681-1785
FAX (407) 681-1788

PROJECT NO: 1611.516
DRAWN BY: TJP
CHECKED BY: JD

REV	DATE	DESCRIPTION
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A	04/21/04	ISSUED FOR REVIEW

W. H. Hanson
9.22.04

WARREN HANSON
P.E. #21884
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WHITE STALLION
1051 VAN ARSDALE STREET
OVEDO, FL 32780
RAW LAND - MONOPOLE

SHEET TITLE
ELECTRICAL DETAILS

SHEET NUMBER
E4



6580 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251



ALCOA Wireless
Services, Inc.
406 NORTH HELLER ROAD
SUITE 100
MAYLAND, FL 32791
OFFICE (407) 861-1783
FAX (407) 861-1788

PROJECT NO: 1811.518
DRAWN BY: TJP
CHECKED BY: JD

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Warren
9.22.04

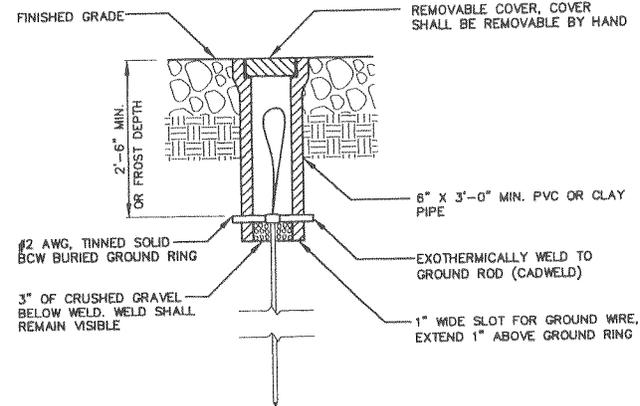
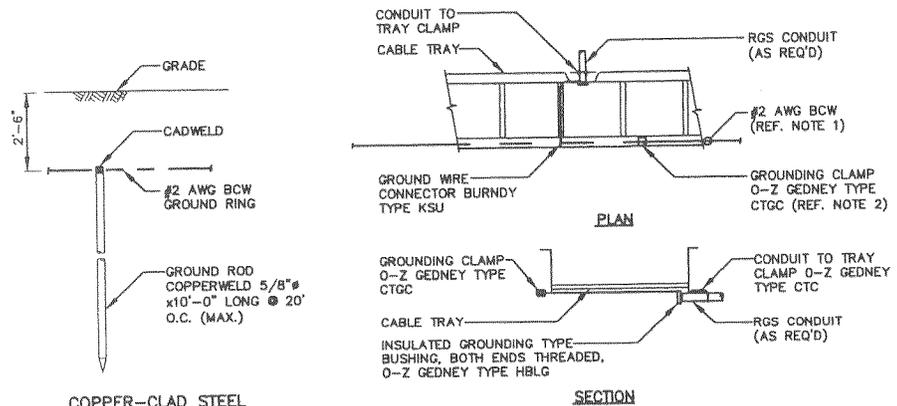
WARREN HENSON
ELECTRICAL ENGINEER
FL REG. # 1886

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WHITE STALLION
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RAW LAND - MONOPOLE

SHEET TITLE
ELECTRICAL DETAILS

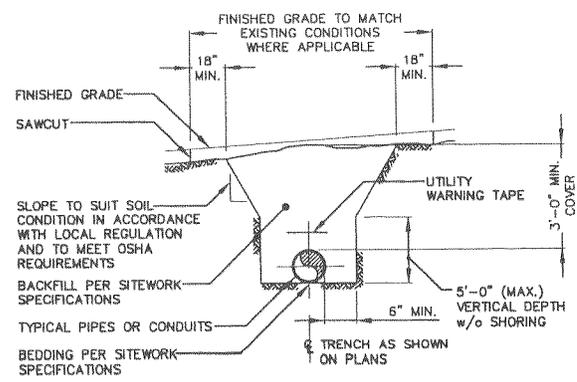
SHEET NUMBER
E5



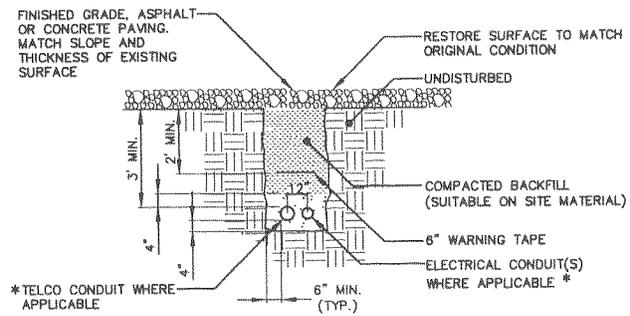
NOTES:
1. GROUND WIRE CONNECTED TO GROUND RING.
2. TYPICAL FOR EACH SECTION OF TRAY.
3. REFER TO GROUNDING DETAIL **E6** FOR ADDITIONAL GROUNDING.

2 TRAY GROUNDING & RGS CONDUIT RUN
NOT TO SCALE

3 GROUND INSPECTION TEST WELL
NOT TO SCALE



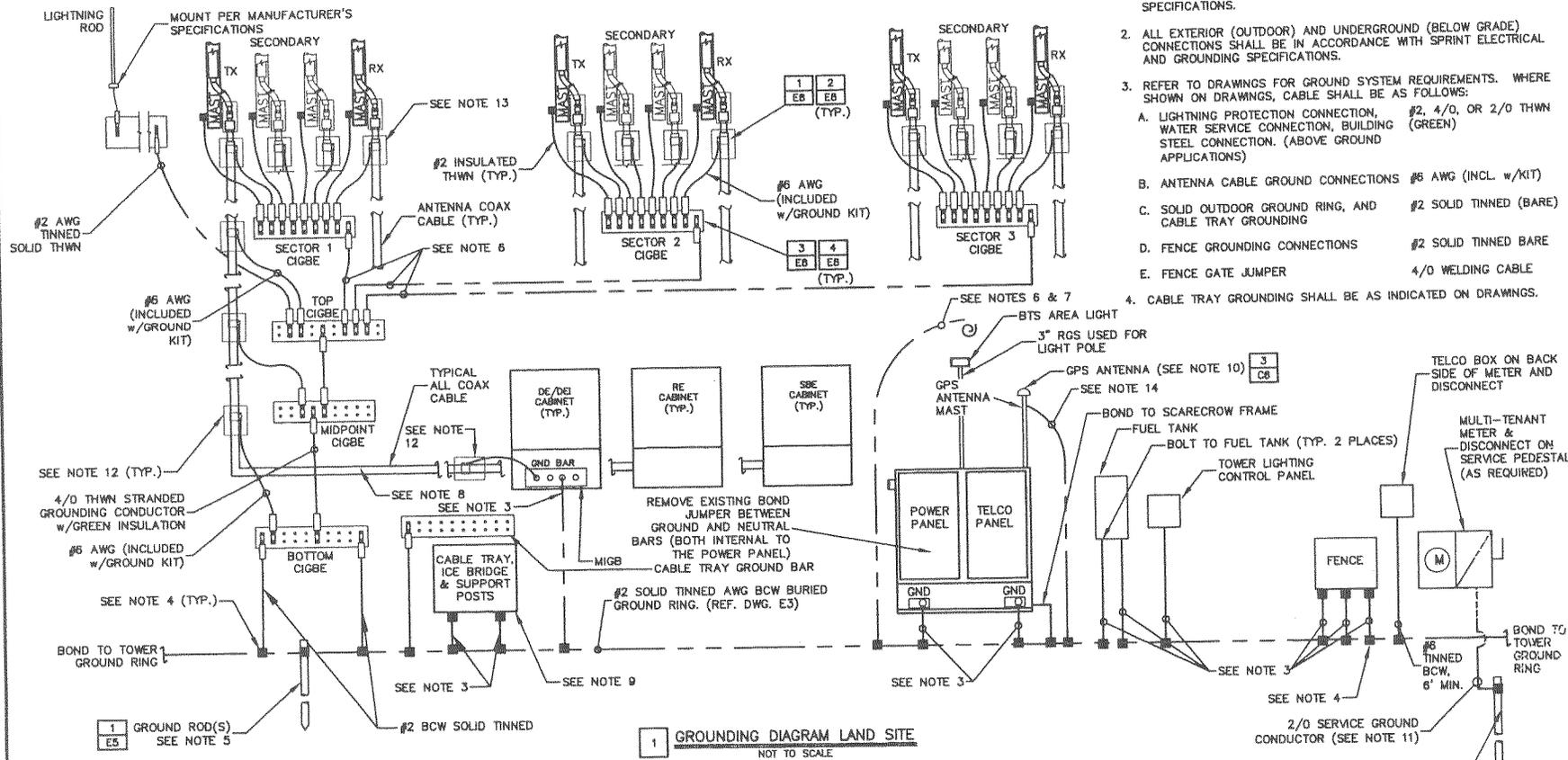
4 TYPICAL TRENCH
NOT TO SCALE



* TELCO CONDUIT WHERE APPLICABLE
* SEPARATION DIMENSION TO BE VERIFIED WITH LOCAL UTILITY CO. REQUIREMENTS

NOTES:
1. PROVIDE PVC CONDUIT BELOW GRADE EXCEPT AS NOTED BELOW.
2. PROVIDE RGS CONDUIT AND ELBOWS AT STUB UP LOCATIONS (i.e. SERVICE POLE, BTS EQUIPMENT, ETC.).
3. INSTALL UTILITY PULLBOXES PER NEC.

5 UNDERGROUND CONDUIT(S)
ELECTRIC/TELEPHONE
NOT TO SCALE



1 GROUNDING DIAGRAM LAND SITE
NOT TO SCALE

NOTES:

1. PROVIDE #2 AWG GROUNDING CONDUCTOR UNLESS NOTED OTHERWISE.
2. PROVIDE BONDING AND GROUNDING CONDUCTORS WITH GREEN TYPE THWN INSULATION UNLESS OTHERWISE NOTED.
3. PROVIDE SOLID #2 TINNED BARE COPPER GROUNDING CONDUCTOR.
4. CADWELD CONNECTION.
5. PROVIDE GROUNDING ELECTRODES IN QUANTITY, TYPE AND SIZE AS INDICATED ON SITE GROUNDING PLAN, DRAWING E3.

NOTES: (CONT'D)

6. PROVIDE & INSTALL A 4/0 THWN STRANDED GROUNDING CONDUCTOR.
7. LEAVE GROUND WIRE COILED UP FOR FUTURE EQUIPMENT, CAP END OF CONDUIT, SEE DETAIL 5 DRAWING E8.
8. ADD COAX GROUND KIT CONNECTION TO INTERMEDIATE CIGBE WHEN LENGTH OF CABLE TRAY (FROM TOWER TO EQUIPMENT) IS GREATER THAN 15 FEET.
9. ADD 2/0 GREEN INSULATED CONDUCTOR BETWEEN CABLE TRAY AND GRIPSTRUT/COVER, SEE DETAILS 1 & 3 DRAWING E5.
10. ADD 2/0 GREEN INSULATED CONDUCTOR TO 1" BELOW THREADS OF EACH GPS ANTENNA MAST, CONNECT OTHER END TO GROUND BUSS BAR IN TELCO OR POWER PANEL.
11. THE SERVICE GROUND CONDUCTORS SHALL GO DIRECTLY TO THE SERVICE GROUND ROD AND IS NOT TO BE CONNECTED TO ANYTHING ELSE.
12. ALL COAX CABLES ARE TO BE GROUND AT ITS SECTOR CIGBE, THE TOP CIGBE, MIDPOINT CIGBE IF REQUIRED, BOTTOM CIGBE, INTERMEDIATE CIGBE IF REQUIRED AND AT THE MIGB.
13. PROVIDE STANDARD COAX CABLE GROUNDING KIT OR FIELD FABRICATE TO SUIT CONDITIONS, TOTAL LENGTH OF GROUNDING CONDUCTOR SHALL NOT EXCEED 10'-0".
14. #2 STRANDED GREEN GROUND LEAD WITH CLAMP-ON CONNECTION TO GPS.

GENERAL GROUNDING SYSTEM NOTES:

1. THE CONTRACTOR SHALL VERIFY THAT THE SYSTEM IS EFFECTIVELY GROUNDING, MEETS NEC ARTICLE 250 REQUIREMENTS, IS ACCEPTABLE TO THE LOCAL UTILITY AND THE LOCAL AUTHORITY HAVING JURISDICTION, AND MEETS THE SPRINT ELECTRICAL AND GROUNDING SPECIFICATIONS.
2. ALL EXTERIOR (OUTDOOR) AND UNDERGROUND (BELOW GRADE) CONNECTIONS SHALL BE IN ACCORDANCE WITH SPRINT ELECTRICAL AND GROUNDING SPECIFICATIONS.
3. REFER TO DRAWINGS FOR GROUND SYSTEM REQUIREMENTS. WHERE SHOWN ON DRAWINGS, CABLE SHALL BE AS FOLLOWS:
 - A. LIGHTNING PROTECTION CONNECTION, WATER SERVICE CONNECTION, BUILDING STEEL CONNECTION. (ABOVE GROUND APPLICATIONS) #2, 4/0, OR 2/0 THWN
 - B. ANTENNA CABLE GROUND CONNECTIONS #6 AWG (INCL. w/KIT)
 - C. SOLID OUTDOOR GROUND RING, AND CABLE TRAY GROUNDING #2 SOLID TINNED (BARE)
 - D. FENCE GROUNDING CONNECTIONS #2 SOLID TINNED BARE
 - E. FENCE GATE JUMPER 4/0 WELDING CABLE
4. CABLE TRAY GROUNDING SHALL BE AS INDICATED ON DRAWINGS.



8550 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251



ALCOA Wireless
Services, Inc.
486 NORTH HELLER ROAD
SUITE 180
MAYLAND, FL 32751
OFFICE (407) 981-1785
FAX (407) 981-1788

PROJECT NO: 1611.616
DRAWN BY: TJP
CHECKED BY: JD

REV	DATE	DESCRIPTION
1	07/28/04	REVISED GROUNDING
0	05/24/04	ISSUED FOR CONSTRUCTION
A	04/21/04	ISSUED FOR REVIEW

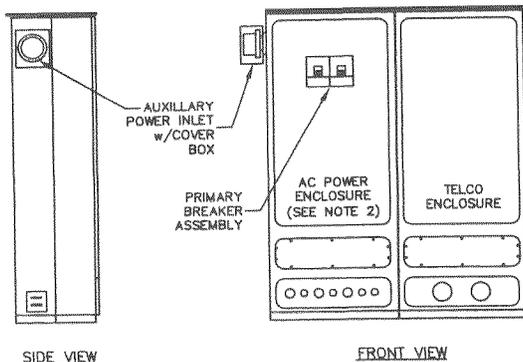
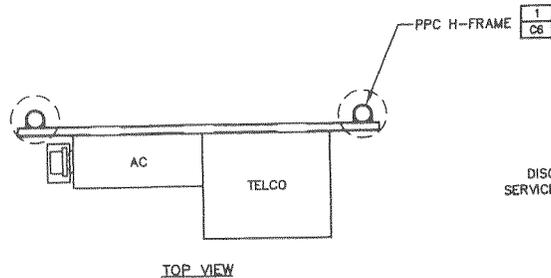
Warren Henson
9.22.04

WARREN HENSON
FL P.E. #18184
IT IS A VIOLATION OF LAW FOR ANY PERSON OTHER THAN THE ENGINEER UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER THIS DOCUMENT UNLESS EXPLICITLY AGREED TO BY ALCOA WIRELESS OR WRITING. ALCOA WIRELESS DISCLAIMS ALL LIABILITY ASSOCIATED WITH THE REUSE, ALTERATION OR MODIFICATION OF THE CONTENTS HEREIN.

OR60XC516A
WHITE STALLION
1051 VAN ARSDALE STREET
OVIDO, FL 32789
RAW LAND - MONOPOLE

SHEET TITLE
GROUNDING DIAGRAM

SHEET NUMBER
E6

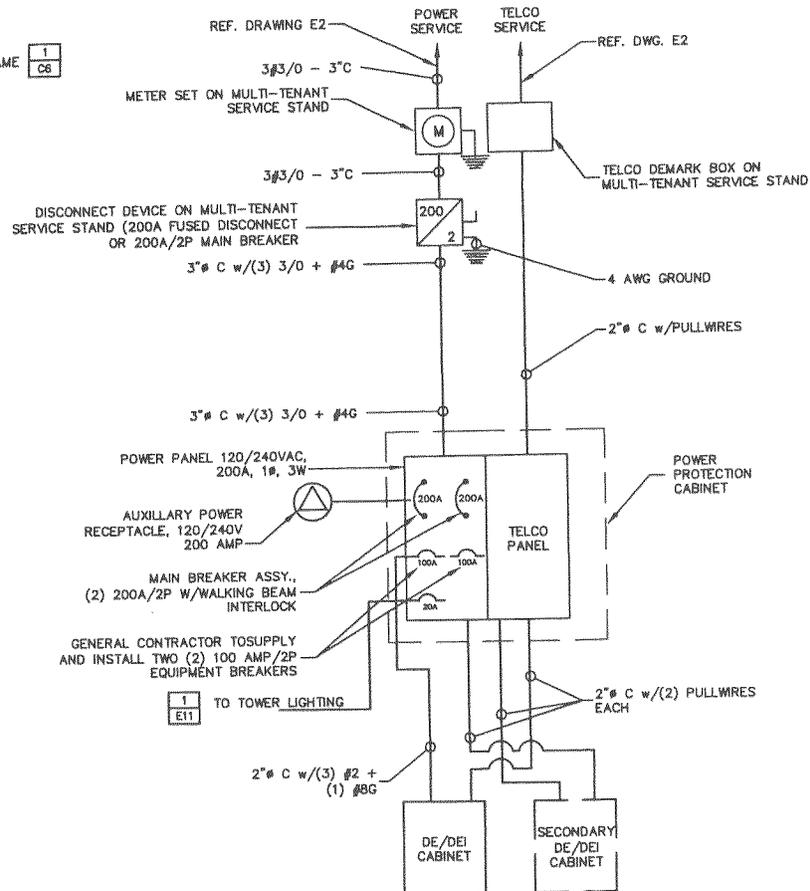


NOTES

1. AC POWER ENCLOSURE. 200 AMP, 240/120V, 1 ϕ , 3W W/ GROUND. 200A/2P MAIN CIRCUIT BREAKER.
2. ALL EQUIPMENT SHALL BE GROUNDED. PER LATEST EDITION OF NEC AND AS INDICATED.
3. ELECTRICAL EQUIPMENT SHALL BE MIN. 3"-0" FROM ANY ENERGIZED PART TO ANY STRUCTURE AND AS REQUIRED BY LOCAL UTILITY COMPANIES, AHJ AND NATIONAL ELECTRICAL CODE.

1 PPC-MINI DETAIL
NOT TO SCALE

FOR ORIENTATION SEE DRAWING E2



NOTES:

1. ELECTRICAL SERVICE SHALL BE RATED 200A, 2 POLE, 240/120V, 1 ϕ 3W.
2. CONTRACTOR TO VERIFY UTILITY CO. FAULT CURRENT AND ENSURE THAT ALL EQUIPMENT MEETS FAULT CURRENT. (AT A MIN. ALL EQUIPMENT TO BE 10,000 AIC).
3. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS PROVIDED BY PPC MANUFACTURER.
4. REMOVE BONDING JUMPER IN PPC AND BOND SERVICE DISCONNECT PER NEC REQUIREMENTS.
5. ALL CONDUIT INSTALLED ABOVE GROUND LEVEL TO BE RGS. CONTRACTOR SHALL TRANSITION RGS AT ELBOW LOCATION TO PVC UNDERGROUND.

2 POWER & TELCO DIAGRAM
NOT TO SCALE

3
E9



8580 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251



ALCOA Wireless
Services, Inc.
488 NORTH KELLER ROAD
SUITE 105
MAYLAND, FL 32751
OFFICE (407) 841-1788
FAX (407) 861-1788

PROJECT NO: 1811.518
DRAWN BY: TJP
CHECKED BY: JD

REV	DATE	DESCRIPTION
1	09/21/04	REVISED DETAILS
0	05/24/04	ISSUED FOR CONSTRUCTION
A	04/21/04	ISSUED FOR REVIEW

Warren Heison
9.22.04

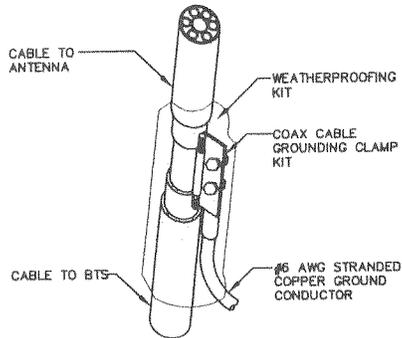
WARREN HEISON
P.E. #21984

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OR80XC516A
WHITE STALLION
1051 VAN ARSDALE STREET
OVIDO, FL 32789
RAW LAND - MONOPOLE

SHEET TITLE
ELECTRICAL DETAILS

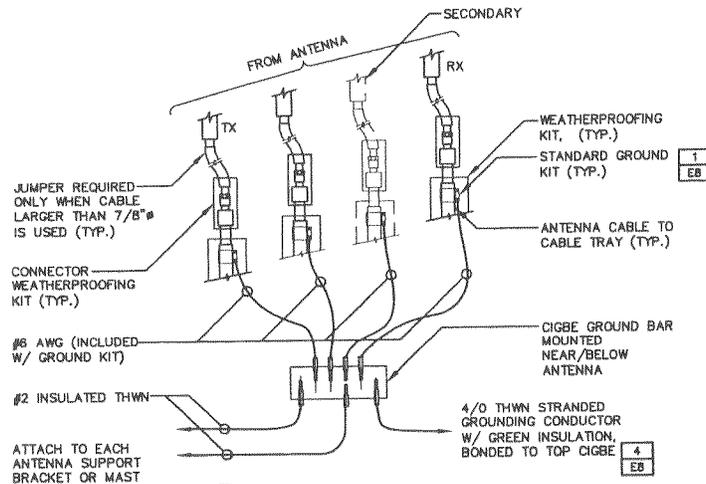
SHEET NUMBER
E7



NOTES:

1. DO NOT INSTALL CABLE GROUND KIT AT A BEND IN CABLE.
2. ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
3. 2-1/2" # MAX FOR TX/RX ANTENNA CABLES.
4. 1-1/4" # MAX FOR GPS ANTENNA CABLES.

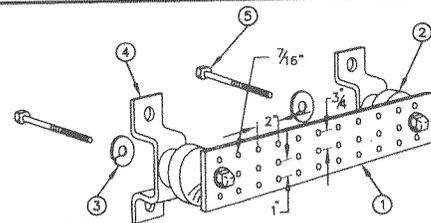
1 COAX CABLE GROUND
NOT TO SCALE



NOTE:

1. DO NOT INSTALL CABLE GROUND KIT AT A BEND.
2. ALWAYS DIRECT GROUND WIRE DOWN TO CIGBE.

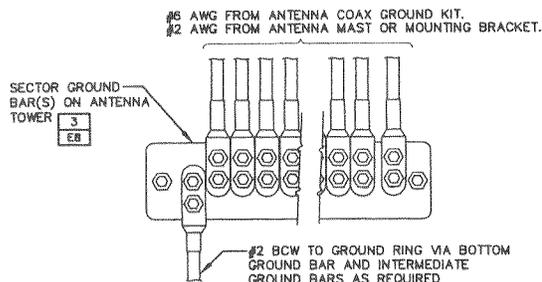
2 CONNECTION OF GROUND WIRES TO SECTOR CIGBE & ANTENNAS
NOT TO SCALE



LEGEND

- 1 - SOLID TINNED COPPER GROUND BAR, 1/4" x 4" x 20" MIN., NEWTON INSTRUMENT CO. CAT. #B-6142 w/PRE-DRILLED HOLE DIAMETERS AND SPACINGS TO MATCH NEMA DOUBLE LUG CONFIGURATION. GROUND BARS SHALL NEITHER BE FIELD FABRICATED NOR NEW HOLES DRILLED. GROUND LUGS SHALL MATCH THE HOLE SPACING ON THE BAR. HARDWARE DIAMETER SHALL BE 3/8" MINIMUM.
- 2 - INSULATORS, NEWTON INSTRUMENT CAT. NO. 3061-4
- 3 - 5/8" LOCKWASHERS, NEWTON INSTRUMENT CO. CAT. NO. 3015-B
- 4 - WALL MOUNTING BRACKET, NEWTON INSTRUMENT CO. CAT NO. A-6056
- 5 - 5/8-11 X 1" H.H.C.S. BOLTS, NEWTON INSTRUMENT CO. CAT NO. 3012-1
- 6 - SECTOR CIGBE GROUND BAR TO BE SIZED FOR (4) ANTENNAS AND (4) BRACKETS OR MASTS ALL OTHER GROUND BARS SHALL BE SIZED TO ACCOMMODATE ALL GROUNDING CONNECTIONS REQUIRED PLUS PROVIDE 50% SPARE CAPACITY.

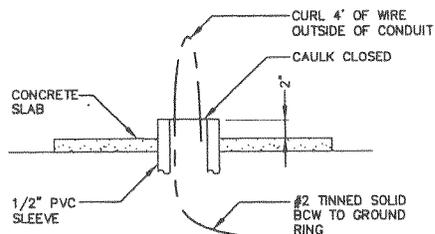
3 GROUND BAR FOR MIGB & CIGBE
NOT TO SCALE



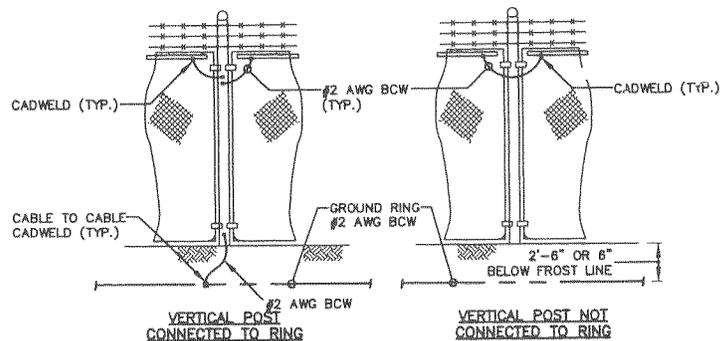
NOTE:

1. CONTRACTOR TO UTILIZE KOPR-SHIELD (THOMAS & BETTS) ON ALL LUG CONNECTIONS.
2. SIMILAR INSTALLATION FOR TOP AND BOTTOM TOWER GROUND BARS AND FOR COAX ENTRY PORT GROUND BARS.

4 GROUNDING WIRE INSTALLATION TO SECTOR CIGBE
NOT TO SCALE



5 GROUNDING WIRE STUB-OUT FOR FUTURE EQUIPMENT
NOT TO SCALE



NOTES:

1. VERTICAL POSTS SHALL BE BONDED TO THE RING AT EACH CORNER AND AT EACH GATE POST. AS A MINIMUM ONE VERTICAL POST SHALL BE BONDED TO THE GROUND RING IN EVERY 100 FOOT STRAIGHT RUN OF FENCE.
2. HORIZONTAL RAILS SHALL BE BONDED TO EACH OTHER.
3. BOND EACH HORIZONTAL RAIL/BRACE TO EACH OTHER AND TO EACH VERTICAL POST THAT IS BONDED TO THE EXTERIOR GROUND RING.

6 FENCE GROUNDING
NOT TO SCALE



8580 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251



ALCOA Wireless
Services, Inc.
480 NORTH WELLS ROAD
SUITE 100
MAITLAND, FL 32751
OFFICE (407) 861-1785
FAX (407) 861-1786

PROJECT NO: 1011.010
DRAWN BY: TJP
CHECKED BY: JD

REV	DATE	DESCRIPTION
0	05/26/04	ISSUED FOR CONSTRUCTION
A	04/21/04	ISSUED FOR REVIEW

W. J. Harrison
9.22.04

WARREN HENS ON
P.L. #E-1824

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OR60X516A
WHITE STALLION
1051 VAN ARSDALE STREET
OVIDO, FL 32789
RAW LAND - MONOPOLE

SHEET TITLE
ELECTRICAL DETAILS

SHEET NUMBER
E8



8580 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251



ALCOA Wireless
Services, Inc.
485 NORTH ROLLER ROAD
SUITE 100
MARTLAND, FL 32751
OFFICE (407) 681-1788
FAX (407) 681-1786

PROJECT NO: 1811.51B
DRAWN BY: TJP
CHECKED BY: JD

REV	DATE	DESCRIPTION
1	07/28/04	REVISED GROUNDING
0	05/24/04	ISSUED FOR CONSTRUCTION
A	04/21/04	ISSUED FOR REVIEW

Warren Henson
9.27.04

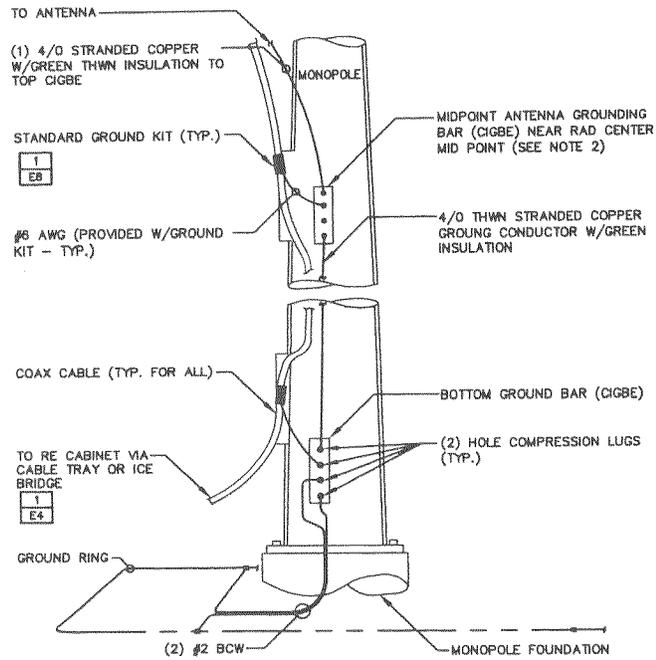
WARREN HENSON
P.E. #31894

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OR60XC518A
WHITE STALLION
1051 VAN ARSDALE STREET
OVEDO, FL 32789
RAW LAND - MONOPOLE

SHEET TITLE
ELECTRICAL DETAILS

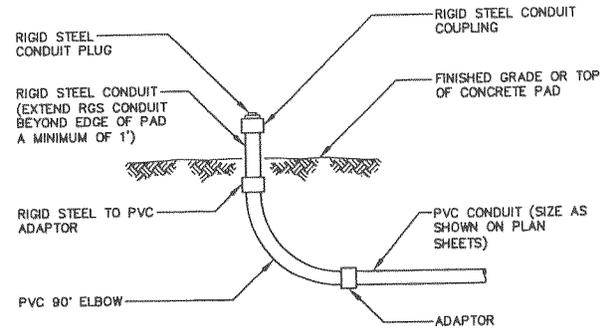
SHEET NUMBER
E9



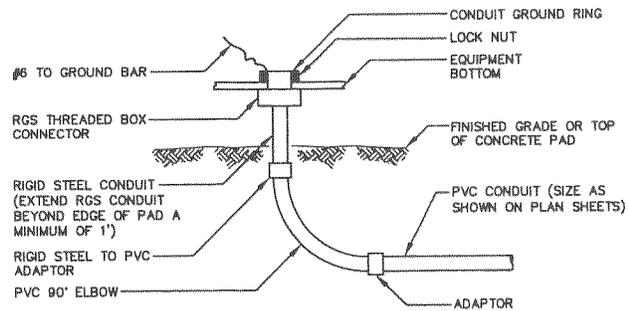
NOTES:

- CADWELD TO GROUND RING.
- INTERMEDIATE CIGBE IS ONLY REQUIRED WHEN RAD CENTER IS GREATER THAN 200 FEET ABOVE BOTTOM CIGBE.

1 ANTENNA CABLE GROUNDING TO GROUND BAR AND MONOPOLE
NOT TO SCALE



2 CONDUIT STUB-UP w/CAP
NOT TO SCALE



3 CONDUIT STUB-UP w/o CAP
NOT TO SCALE



6580 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251



ALCOA Wireless
Services, Inc.
485 NORTH KELLER ROAD
SUITE 100
MAYLAND, FL 32751
OFFICE (407) 861-1765
FAX (407) 861-1768

PROJECT NO: 1611.518
DRAWN BY: TJP
CHECKED BY: JD

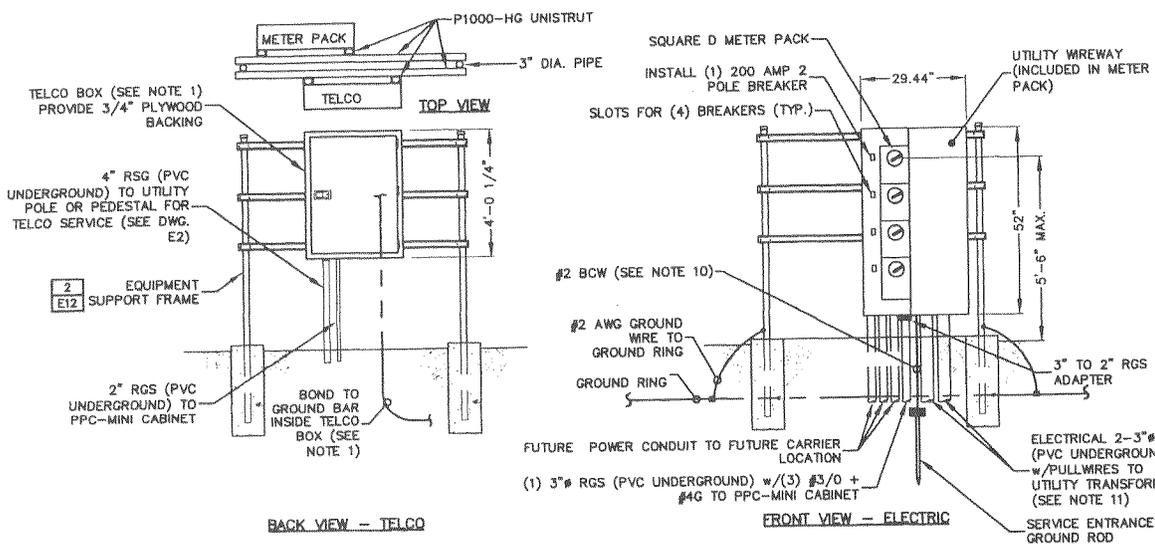
REV	DATE	DESCRIPTION
0	05/24/04	ISSUED FOR CONSTRUCTION
A	04/21/04	ISSUED FOR REVIEW

WARREN HENSON
P.E. #21884
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OR80XC516A
WHITE STALLION
1051 VAN ARSDALE STREET
DUNEDOO, FL 32789
RAW LAND - MONOPOLE

SHEET TITLE
ELECTRICAL DETAILS

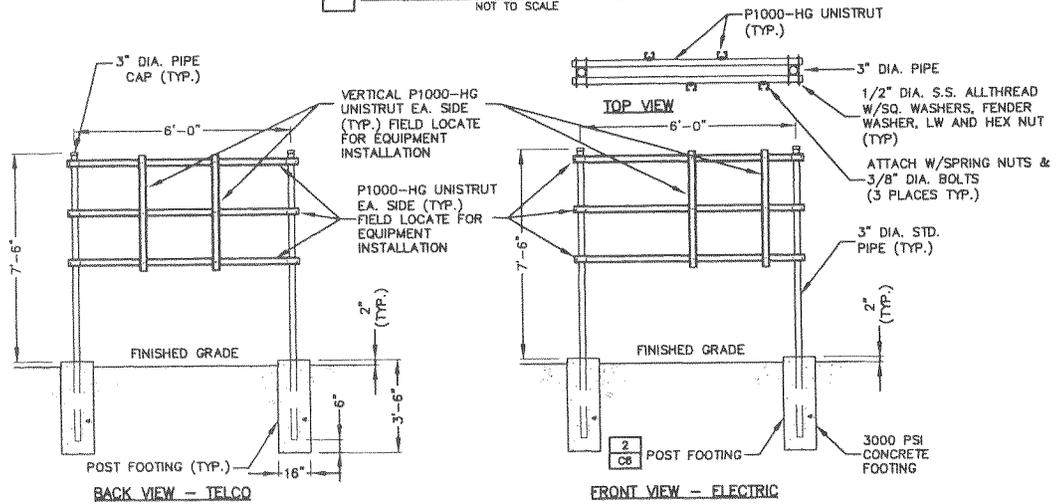
SHEET NUMBER
E10



BACK VIEW - TELCO

FRONT VIEW - ELECTRIC

1 EQUIPMENT SUPPORT FRAME DETAILS
NOT TO SCALE



BACK VIEW - TELCO

FRONT VIEW - ELECTRIC

2 EQUIPMENT SUPPORT FRAME DETAILS
NOT TO SCALE

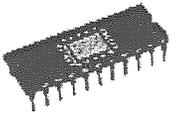
UTILITY METER ENCLOSURE
INSTALLATION TO BE
COORDINATED WITH THE
LOCAL ELECTRICAL PROVIDER

NOTES:

1. PROVIDE 1"x6" GROUND BAR IN TELCO BOX SUITABLE FOR CONNECTING TO #6 AWG STRANDED WIRE. PROVIDE 3'-0" SECTION OF #6 WIRE FOR USE BY TELEPHONE COMPANY.
2. PROVIDE 3'x4'x8" TELCO DISTRIBUTION PANEL (MINIMUM 50 PAIR TERMINAL) MOUNTED TO VERTICAL UNISTRUT ON EQUIPMENT SUPPORT FRAME OPPOSITE OF UTILITY METERS.
3. COORDINATE METER ENCLOSURE AND FUSED/BREAKER DISCONNECT SWITCH ACCEPTABILITY WITH LOCAL UTILITY COMPANY PRIOR TO ORDERING AND INSTALLATION.
4. METER ENCLOSURE SHALL BE SQUARE D OR APPROVED EQUIVALENT, AND SHALL INCLUDE ACCESSORIES AND MOUNTING BRACKETS SUITABLE FOR OUTDOOR INSTALLATION. ENCLOSURE SHALL BE MOUNTED TO THE VERTICAL UNISTRUT ATTACHED TO THE EQUIPMENT SUPPORT FRAME.
5. FUSED SERVICE DISCONNECT SWITCH SHALL BE SQUARE D OR APPROVED EQUIVALENT, 200A/2P, 250V IN A NEMA 3R ENCLOSURE. FUSES SHALL BE 200A RATED AND SHALL BE PER LOCAL UTILITY COMPANY REQUIREMENTS.
6. DETAIL DEPICTS SQUARE D PRODUCTS, AS DESCRIBED ABOVE. ACTUAL DIMENSIONS MAY VARY DEPENDING ON INSTALLED EQUIPMENT.
7. CONNECT NEUTRAL TERMINAL IN DISCONNECTING DEVICE TO SERVICE ENTRANCE GROUND ROD.
8. REFER TO ELECTRICAL SITE PLAN AND POWER & TELEPHONE DIAGRAM FOR CONDUIT AND CONDUCTOR REQUIREMENTS.
9. ALL WORK SHALL CONFORM TO NATIONAL ELECTRICAL CODE (NEC) AND THE LOCAL BUILDING CODES. ALL COMPONENTS SHALL BE U.L. APPROVED.
10. THE SERVICE ENTRANCE GROUND WIRE MUST GO DIRECTLY TO THE SERVICE ENTRANCE GROUND ROD WITHOUT CONNECTING TO ANYTHING ELSE. IF THE SERVICE ENTRANCE GROUND ROD IS PART OF THE GROUND RING, THEN THE GROUND RING WIRES CAN CONNECT TO THIS GROUND ROD ALSO; OTHERWISE, A #2 AWG GROUND WIRE IS TO CONNECT THIS GROUND ROD TO THE GROUND RING.
11. THESE CONDUITS WERE SHOWN FOR DESIGN CONCEPT ONLY. COORDINATE EXACT QUANTITY AND SIZE CONDUIT WITH THE ELECTRIC POWER UTILITY.

EXHIBIT 8

10/15/2004 10:20:18 AM



Greg Holcomb/Seminole
10/15/2004 09:44 AM

To Kathy Fall/Seminole@Seminole, Earnest
McDonald/Seminole@Seminole

cc

bcc

Subject Tower reviews

History:  This message has been forwarded.

I have reviewed the two applications for Special Exceptions submitted by Sprintcom, Inc. at the proposed locations of 1051 Van Arsdale Street Oviedo and 9913 Bear Lake Road Apopka. Both seem to be in order from the RF engineering and co-location perspective. You may want the applicant to insure they are building suitable co-locatable structures with space for future providers in the same area and their intent to allow such.

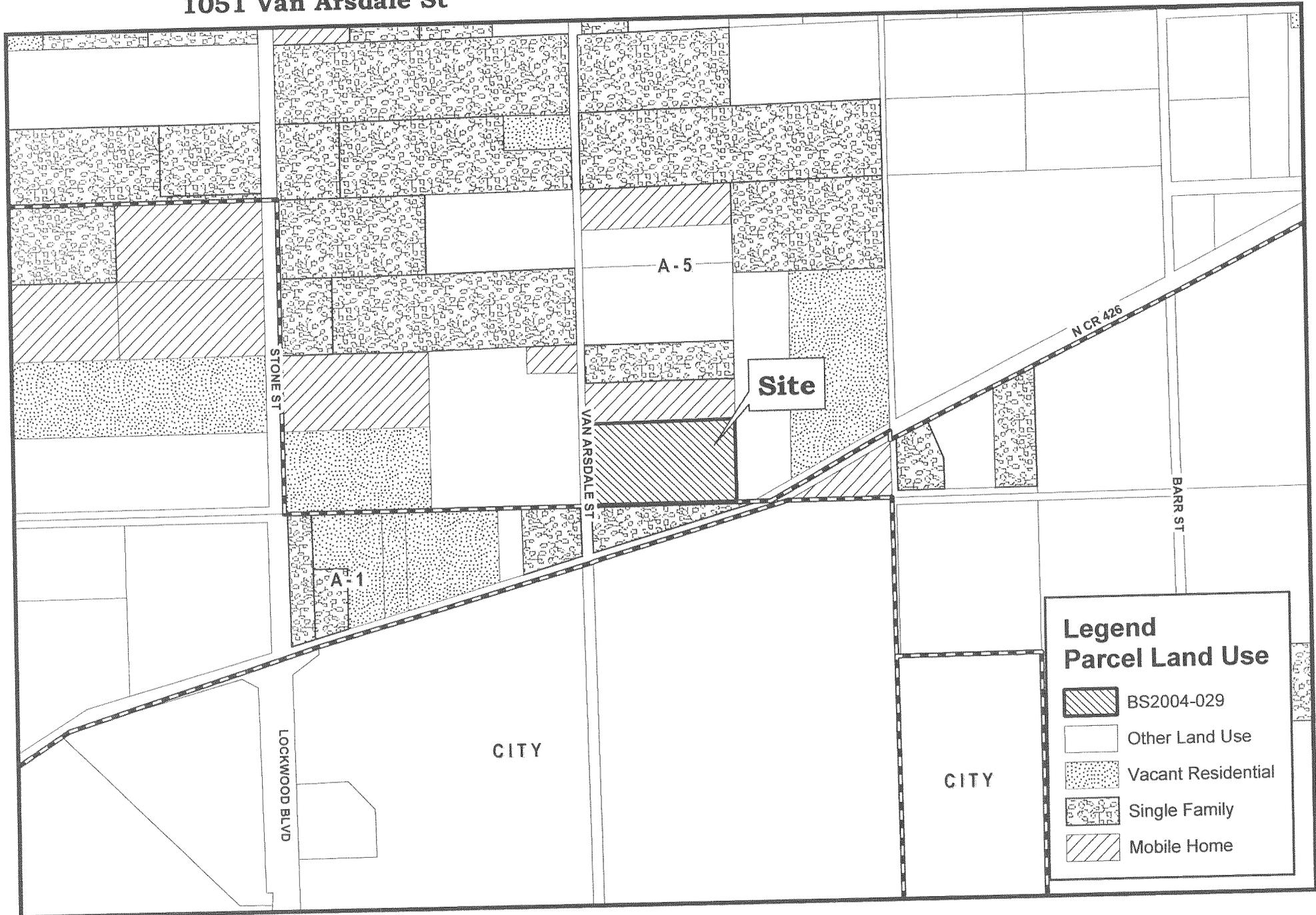
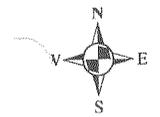
Let me know if you need any further information. Thanks.

--****Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. Seminole County policy does not differentiate between personal and business emails. E-mail sent on the County system will be considered public and will only be withheld from disclosure if deemed confidential pursuant to State Law.****

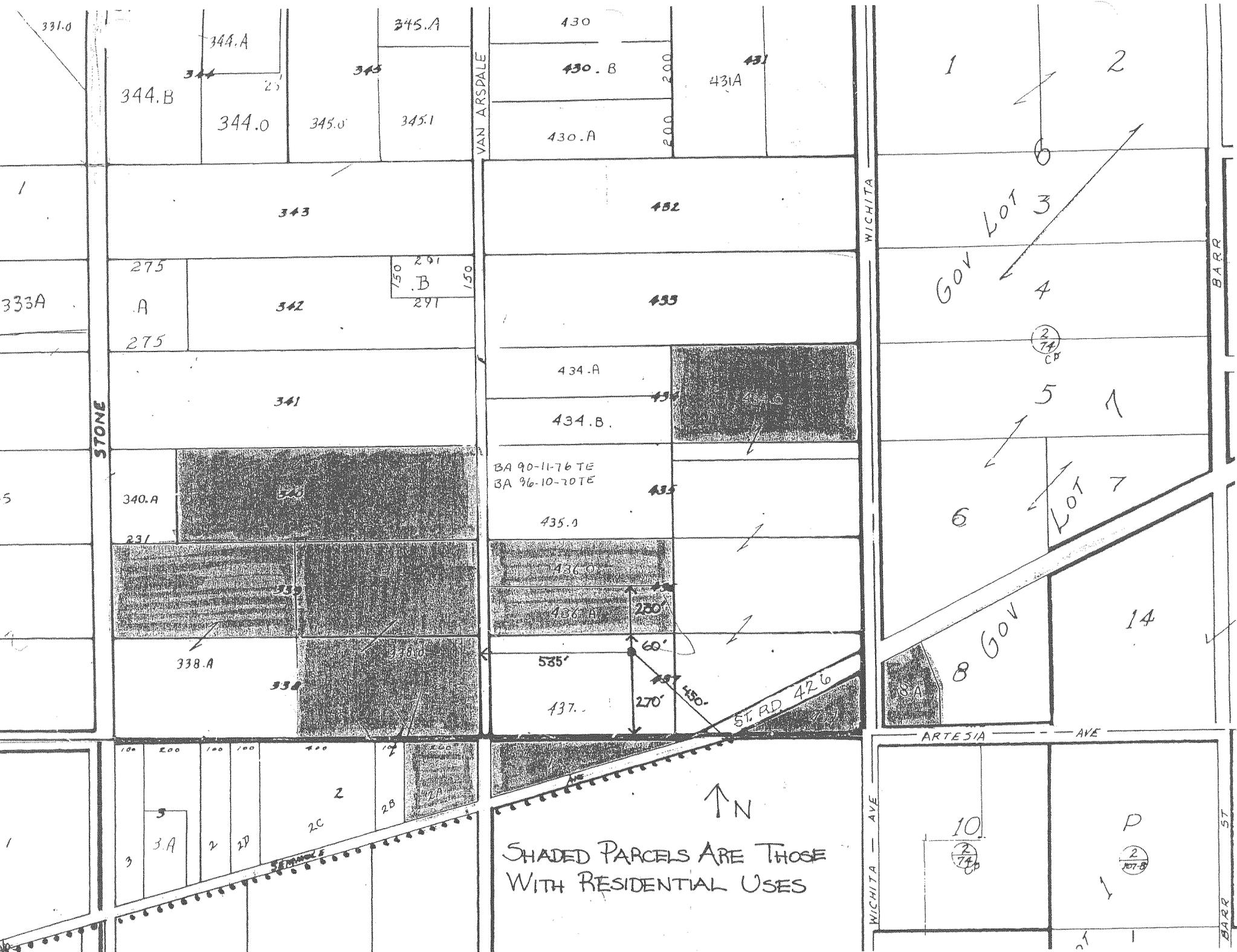
**Gary & Elizabeth Lashinsky
1051 Van Arsdale St**



Gary & Elizabeth Lashinsky
1051 Van Arsdale St



BS2004-029



331.0

344.A

345.A

430

431

344.B

344.0

345.0

345.1

430.A

431A

343

432

333A

275

291

.B

291

433

275

342

434.A

434.C

STONE

341

434.B

BA 90-11-76 TE
BA 96-10-70 TE

435

340.A

340

435.0

231

436.0

436.A

280'

338.A

338

437.0

60'

270'

SE RD 42.6

1
2
3
4
5
6
Gov Lot 3

1
2
3
4
5
6
Gov Lot 7

8 Gov

14

ARTESIA AVE

SHADED PARCELS ARE THOSE WITH RESIDENTIAL USES

↑ N

10

2
74b

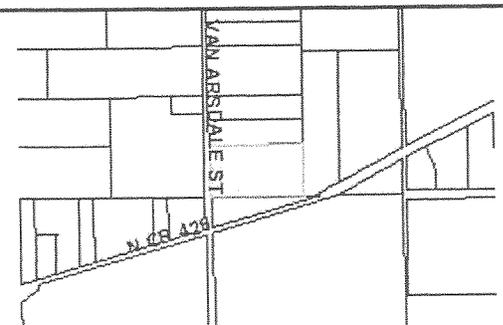
P

2
107-B

WICHITA AVE

BARR ST

Personal Property

 <p>Seminole County Property Appraiser Services 100 E. First St. Sanford FL 32771 407-663-7806</p>	<p>REAL ESTATE PERSONAL PROP. TAX ROLL SALES SEARCH</p> 	<p>◀ Back ▶</p>																														
<p style="text-align: center;">GENERAL</p> <p>Parcel Id: 25-20-31-5BA-0000-4370 Tax District: G1-AGRICULTURAL</p> <p>Owner: LASHINSKY GARY & ELIZABETH A Exemptions:</p> <p>Address: 4056 GILDER ROSE PL</p> <p>City,State,ZipCode: WINTER PARK FL 32792</p> <p>Property Address: 1051 VAN ARSDALE ST</p> <p>Facility Name:</p> <p style="text-align: center;">Dor: 60-GRAZING LAND</p>		<p style="text-align: center;">2004 WORKING VALUE SUMMARY</p> <p>Value Method: Market</p> <p>Number of Buildings: 2</p> <p>Depreciated Bldg Value: \$190,756</p> <p>Depreciated EXFT Value: \$72,375</p> <p>Land Value (Market): \$49,200</p> <p>Land Value Ag: \$10,882</p> <p>Just/Market Value: \$312,331</p> <p>Assessed Value (SOH): \$274,013</p> <p>Exempt Value: \$0</p> <p>Taxable Value: \$274,013</p> <p style="text-align: center;">2004 Notice of Proposed Property Tax</p>																														
<p style="text-align: center;">SALES</p> <table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>Deed</th> <th>Date</th> <th>Book</th> <th>Page</th> <th>Amount</th> <th>Vac/Imp</th> </tr> </thead> <tbody> <tr> <td>WARRANTY DEED</td> <td>08/1993</td> <td>02638</td> <td>0201</td> <td>\$85,000</td> <td>Improved</td> </tr> <tr> <td>WARRANTY DEED</td> <td>01/1985</td> <td>01605</td> <td>1515</td> <td>\$38,000</td> <td>Vacant</td> </tr> <tr> <td>WARRANTY DEED</td> <td>01/1973</td> <td>00967</td> <td>0307</td> <td>\$15,000</td> <td>Vacant</td> </tr> </tbody> </table> <p style="text-align: center;">Find Comparable Sales within this DOR Code</p>		Deed	Date	Book	Page	Amount	Vac/Imp	WARRANTY DEED	08/1993	02638	0201	\$85,000	Improved	WARRANTY DEED	01/1985	01605	1515	\$38,000	Vacant	WARRANTY DEED	01/1973	00967	0307	\$15,000	Vacant	<p style="text-align: center;">2003 VALUE SUMMARY</p> <p>2003 Tax Bill Amount: \$3,858</p> <p>2003 Taxable Value: \$265,884</p> <p style="text-align: center;">DOES NOT INCLUDE NON-AD VALOREM ASSESSMENTS</p>						
Deed	Date	Book	Page	Amount	Vac/Imp																											
WARRANTY DEED	08/1993	02638	0201	\$85,000	Improved																											
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WARRANTY DEED	01/1973	00967	0307	\$15,000	Vacant																											
<p style="text-align: center;">LAND</p> <table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>Land Assess Method</th> <th>Frontage</th> <th>Depth</th> <th>Land Units</th> <th>Unit Price</th> <th>Land Value</th> </tr> </thead> <tbody> <tr> <td>IMP PASTUR-</td> <td>0</td> <td>0</td> <td>3.920</td> <td>225.00</td> <td>\$882</td> </tr> <tr> <td>ACREAGE</td> <td>0</td> <td>0</td> <td>1.000</td> <td>10,000.00</td> <td>\$10,000</td> </tr> </tbody> </table>		Land Assess Method	Frontage	Depth	Land Units	Unit Price	Land Value	IMP PASTUR-	0	0	3.920	225.00	\$882	ACREAGE	0	0	1.000	10,000.00	\$10,000	<p style="text-align: center;">LEGAL DESCRIPTION PLAT</p> <p>LEG W 1/2 OF LOT 437 BLACK HAMMOCK PB 1 PG 31</p>												
Land Assess Method	Frontage	Depth	Land Units	Unit Price	Land Value																											
IMP PASTUR-	0	0	3.920	225.00	\$882																											
ACREAGE	0	0	1.000	10,000.00	\$10,000																											
<p style="text-align: center;">BUILDING INFORMATION</p> <table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>Bld Num</th> <th>Bld Class</th> <th>Year Blt</th> <th>Fixtures</th> <th>Gross SF</th> <th>Stories</th> <th>Ext Wall</th> <th>Bld Value</th> <th>Est. Cost New</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>STEEL/PRE ENG</td> <td>1996</td> <td>4</td> <td>4,800</td> <td>1</td> <td>METAL PREFINISHED - INSULATED</td> <td>\$123,818</td> <td>\$140,702</td> </tr> </tbody> </table>			Bld Num	Bld Class	Year Blt	Fixtures	Gross SF	Stories	Ext Wall	Bld Value	Est. Cost New	2	STEEL/PRE ENG	1996	4	4,800	1	METAL PREFINISHED - INSULATED	\$123,818	\$140,702												
Bld Num	Bld Class	Year Blt	Fixtures	Gross SF	Stories	Ext Wall	Bld Value	Est. Cost New																								
2	STEEL/PRE ENG	1996	4	4,800	1	METAL PREFINISHED - INSULATED	\$123,818	\$140,702																								
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FIREPLACE

1985

1

\$788

\$1,500

NOTE: Assessed values shown are NOT certified values and therefore are subject to change before being finalized for ad valorem tax purposes.

**** If you recently purchased a homesteaded property your next year's property tax will be based on Just/Market value.*

[BACK](#)

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HOME PAGE](#)

[CONTACT](#)

FILE NOS.:	BS2004-029 BV2004-149	DEVELOPMENT ORDER #	04-32000032
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SEMINOLE COUNTY APPROVAL DEVELOPMENT ORDER

On October 25, 2004, Seminole County issued this Development Order relating to and touching and concerning the following described property:

LEG W 1/2 OF LOT 437 BLACK HAMMOCK PB 1 PG 31

(The aforescribed legal description has been provided to Seminole County by the owner of the aforescribed property.)

FINDINGS OF FACT

Property Owner: GARY & ELIZABETH A. LASHINSKY
4056 GILDER ROSE PLACE
WINTER PARK, FL 32792

Project Name: VAN ARSDALE COMMUNICATION TOWER

Requested Development Approval:

1. SPECIAL EXCEPTION TO ESTABLISH A 197 FT TALL CAMOUFLAGE COMMUNICATION TOWER IN THE A-5 (RURAL ZONING CLASSIFICATION DISTRICT)
2. ASSOCIATED VARIANCES FROM 591 FEET TO 60 FEET, 591 FEET TO 230 FEET, 591 FEET TO 270 FEET, 591 FEET TO 450 FEET AND 591 FEET TO 535 FEET TO REDUCE THE MINIMUM DISTANCE SEPARATION FROM THE PROPOSED TOWER TO THE NEAREST PROPERTIES WITH SINGLE-FAMILY DWELLINGS

The Development Approval sought is consistent with the Seminole County Comprehensive Plan and will be developed consistent with and in compliance to applicable land development regulations and all other applicable regulations and ordinances.

The owner of the property has expressly agreed to be bound by and subject to the development conditions and commitments stated below and has covenanted and agreed to have such conditions and commitments run with, follow and perpetually burden the aforescribed property.

Prepared by: Earnest McDonald
1101 East First Street
Sanford, Florida 32771

Order

NOW, THEREFORE, IT IS ORDERED AND AGREED THAT:

(1) The aforementioned application for development approval is **GRANTED**.

(2) All development shall fully comply with all of the codes and ordinances in effect in Seminole County at the time of issuance of permits including all impact fee ordinances.

(3) The conditions upon this development approval and the commitments made as to this development approval, all of which have been accepted by and agreed to by the owner of the property are as follows:

1. THE PROPOSED TOWER SHALL NOT EXCEED 194 FEET, AS VERIFIED BY A RF (RADIO FREQUENCY) ENGINEER TO BE THE MINIMUM HEIGHT NEEDED TO FURTHER SPRINT'S IMMEDIATE WIRELESS COMMUNICATION GOALS IN THE AREA.
2. ANY IMPROVEMENTS AND/OR ADDITIONS TO THE PROPOSED TOWER SHALL BE SUBMITTED FOR APPROVAL TO THE COUNTY.
3. A LISTED SPECIES SURVEY SHALL BE PROVIDED PRIOR TO FINAL ENGINEERING APPROVAL.
4. PRIOR TO FINAL ENGINEERING APPROVAL, A WATER QUALITY SWALE SHALL BE PROVIDED.
5. PRIOR TO THE FINAL DEVELOPMENT ORDER / APPROVAL, AN APPLICATION FOR FULL CONCURRENCY MANAGEMENT SHALL BE PROVIDED.
6. ANY VARIANCE GRANTED SHALL APPLY ONLY TO THE PROPOSED COMMUNICATION TOWER DEPICTED ON THE ATTACHED SITE PLAN.
7. ANY VARIANCE GRANTED SHALL BE THE MINIMUM THAT WOULD MAKE POSSIBLE THE REASONABLE USE OF THE PROPERTY FOR SITING A COMMUNICATION TOWER.
8. ANY VARIANCE GRANTED SHOULD BE CONDITIONED UPON CERTIFICATION BY A STRUCTURAL ENGINEER OF THE PROPOSED TOWER'S SAFE PERFORMANCE IN THE EVENT OF STRUCTURAL FAILURE OR COLLAPSE.
9. ANY ADDITIONAL CONDITION(S) DEEMED APPROPRIATE BY THE BOARD, BASED ON INFORMATION PRESENTED AT THE PUBLIC HEARING.

(4) This Development Order touches and concerns the aforescribed property and the conditions, commitments and provisions of this Development Order shall perpetually burden, run with and follow the said property and be a servitude upon

and binding upon said property unless released in whole or part by action of Seminole County by virtue of a document of equal dignity herewith. The owner of the said property has expressly covenanted and agreed to this provision and all other terms and provisions of this Development Order.

(5) The terms and provisions of this Order are not severable and in the event any portion of this Order shall be found to be invalid or illegal then the entire order shall be null and void.

Done and Ordered on the date first written above.

By: _____
 Matthew West
 Planning Manager

STATE OF FLORIDA)
COUNTY OF SEMINOLE)

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared _____ who is personally known to me or who has produced _____ as identification and who executed the foregoing instrument.

WITNESS my hand and official seal in the County and State last aforesaid this _____ day of _____, 2004.

 Notary Public, in and for the County and State
 Aforementioned

My Commission Expires:

OWNER'S CONSENT AND COVENANT

COMES NOW, the owners, GARY & ELIZABETH A. LASHINSKY, on behalf of themselves and heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Development Order.

Witness

GARY LASHINSKY

Witness

ELIZABETH A. LASHINSKY

STATE OF FLORIDA)

)

COUNTY OF SEMINOLE)

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Insert Name who is personally known to me or who has produced _____ as identification and who did take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this _____ day of _____, 2004.

Notary Public, in and for the County and State
Aforementioned

My Commission Expires: