

**SEMINOLE COUNTY GOVERNMENT
AGENDA MEMORANDUM**

SUBJECT: Request for approval of the Final Master Plan and Developer's
Commitment Agreement for Cameron Heights PUD (Thomas Daly,
applicant)

DEPARTMENT: Planning & Development **DIVISION:** Planning

AUTHORIZED BY: Dan Matthys  **CONTACT:** Jeff Hopper **EXT** 7431

Agenda Date <u>10/11/05</u> Regular <input checked="" type="checkbox"/> Consent <input type="checkbox"/> Work Session <input type="checkbox"/> Briefing <input type="checkbox"/>
Public Hearing – 1:30 <input type="checkbox"/> Public Hearing – 7:00 <input type="checkbox"/>

MOTION/RECOMMENDATION:

1. APPROVE the Final Master Plan and Developer's Commitment Agreement for Cameron Heights PUD, located north of SR 46, south of Celery Ave., east of Sipes Ave. and west of SR 415 and authorize the Chairman to execute same, (Thomas Daly, applicant); or
2. DENY the Final Master Plan and Developer's Commitment Agreement for Cameron Heights PUD, located north of SR 46, south of Celery Ave., east of Sipes Ave. and west of SR 415 (Thomas Daly, applicant); or
3. CONTINUE the request until a time and date certain.

District 5 – Comm. Carey

Jeff Hopper, Senior Planner

BACKGROUND:

The applicant requests approval of the Final Master Plan and Developer's Commitment Agreement for Cameron Heights PUD, a multi-use development which includes single family and townhouse residences, light industrial and commercial uses. This development received approval in May 2005 as a rezone from Agriculture (A-1), Industrial (M-1), Retail Commercial (C-1) and Retail Commercial (C-2) to PUD and large scale land use amendment to the Vision 2020 Plan.

The applicant assembled 26 parcels within an area bounded by SR 46 on the south, Celery Ave. on the north, SR 415 on the east, and Sipes Ave. on the west, for a residential, commercial, and light industrial development. Approximately 265 acres in size, the project consists of 572 single family units, 330 townhouse units, a 6-acre retail commercial area, and an 8.4 acre "business park" which includes a mixture of office, light industrial, and commercial uses. In addition, the proposal includes a 30-acre elementary and middle school site serving the Midway area of Seminole County.

Reviewed by:  Co Atty: _____ DFS: _____ OTHER: _____ DCM: _____ CM: _____ File No. <u>rpdp05</u>
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The proposed development borders four rights of way, with the greatest amount of frontage, approximately 1,700', on Sipes Ave. In addition, the development has approximately ¼ mile of frontage and one access on Celery Ave. Other accesses include SR 415 and SR 46 (through the existing Cameron Ave.). Internal project circulation is provided by a combination of new and existing roads, with the east entrance on SR 415 serving 6 acres of commercial property.

As shown on the Final Master Plan, major components of the project are as follows:

1. **Single Family.** This component consists of six tracts totaling approximately 178 acres and serves as a transition from lower intensity uses to the north and west, to higher intensity uses on the east and south, in the vicinity of the Orlando-Sanford International Airport (OSIA). Maximum densities are 2.5 units per gross acre in Tract A (consistent with the Draft Celery Avenue Development Standards), 3.5 units per gross acre in Tracts B and D, and 4 units per gross acre in Tracts C, E and F. Development potentials are as follows:

Tract(s)	Acreage	Max. Gross Density	Total Units
A	44.1	2.5 units/acre	110
B, D	47.47	3.5 units/acre	147
C, E, F	86.21	4.0 units/acre	315

In approving the PUD and Preliminary Master Plan, the Board of County Commissioners adopted a limit of 4.0 units per net buildable acre for all single family tracts collectively. The proposed Final Master Plan complies with this requirement.

2. **Townhouse.** At a somewhat higher density and an internal location within the project, the applicant proposes townhouse units on a 33-acre site shown on the plan as Tract G. This tract is accessed by a new road serving the proposed commercial sites on SR 415 and is adjacent to proposed commercial and industrial tracts within the PUD and existing industrial land in the City of Sanford and Seminole County. Density approved by the Board is 10 units per net buildable acre. The proposed 330 units on the site meet this density requirement.
3. **Commercial.** A 6.0 acre tract is shown at the proposed intersection of the project entrance road and SR 415. This tract is configured as retail commercial, with C-1 uses permitted, including gas stations and car washes.
4. **Business Park.** A multi-use tract is established on 8.4 acres adjacent to SR 46 on the south side of the subject property. This tract is designated for light industrial, office, and/or commercial uses.
5. **School Site.** The applicant is providing the Seminole County School Board with a 30-acre site on the west side of Beardall Ave., to be used for an elementary school and middle school serving the Midway area. Engineering and permitting for the school site is the responsibility of the School Board, which is scheduled to begin construction of the elementary school at the first phase of the development.

The proposed development will bring significant changes to the area surrounding the subject property. Housing within the development ranges from low density single family to townhouses. In addition, the proposal provides a limited amount of retail commercial uses, which will primarily serve residents of the development, thus reducing the need for residents to travel outside the area for shopping. Finally, the project includes a mixed use component which is likely to add office and light industrial uses to the existing stock of heavy commercial development in and around the airport.

Public facilities have adequate capacity, or will have adequate capacity, to serve a development of this size at the time its impacts occur. All development within the PUD is required to connect to potable water and sewer service. The City of Sanford is the utility provider for the area. A letter of intent from the City of Sanford Utility Department was provided during the rezoning process.

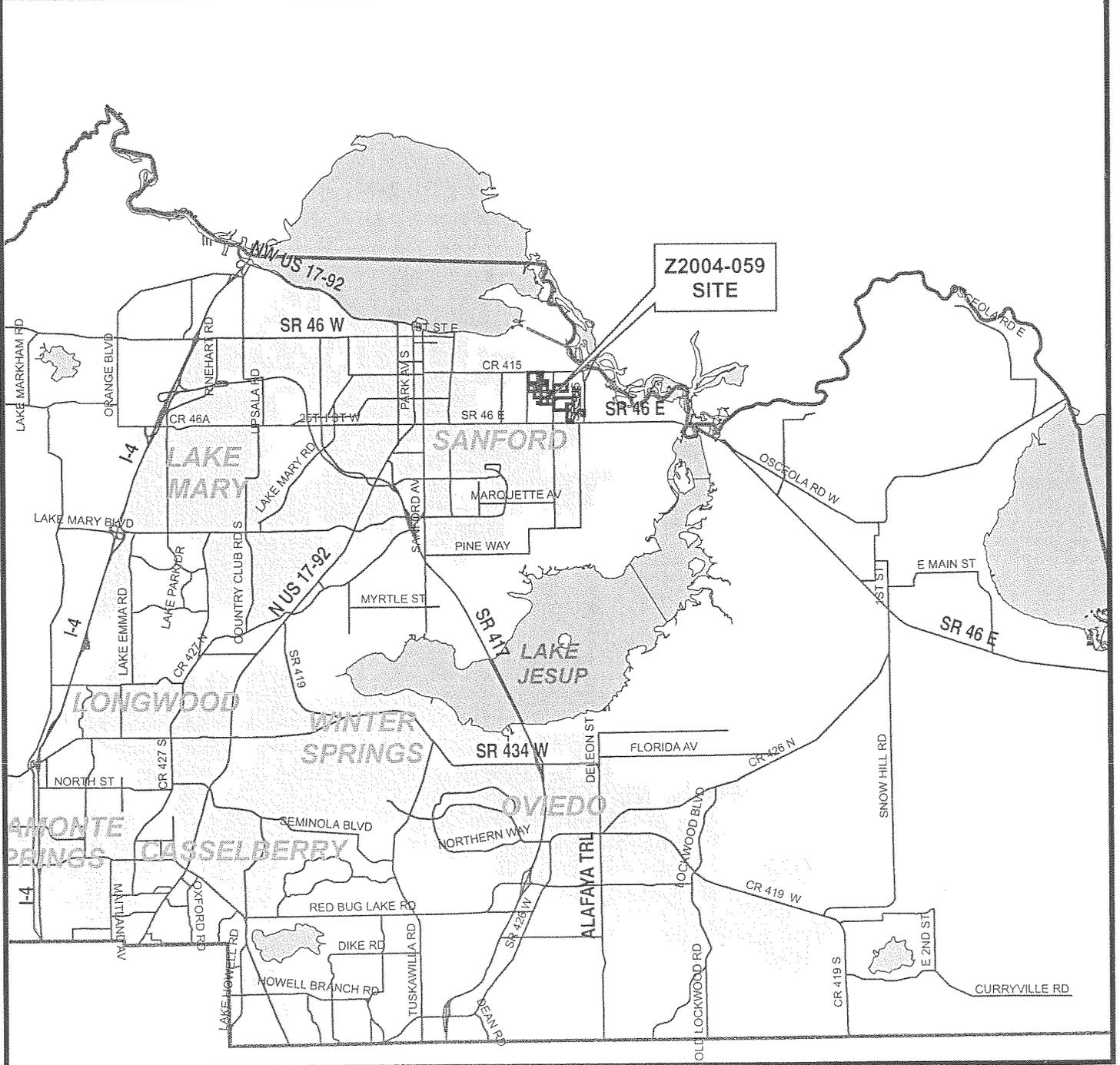
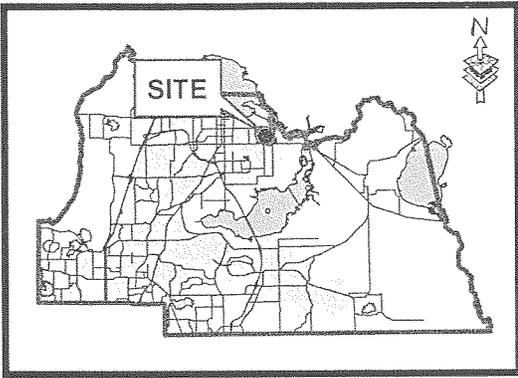
SR 46, the road providing primary access to the project, is a 2-lane facility currently operating below the adopted Level of Service (LOS) standard. Although its current capacity is limited, the widening of this road is now in the Planning, Design, and Engineering (PD & E) stage. In order to address this capacity limitation prior to completion of the widening of SR 46, the developer is required to obtain concurrency approval prior to construction of the development or any phase of it.

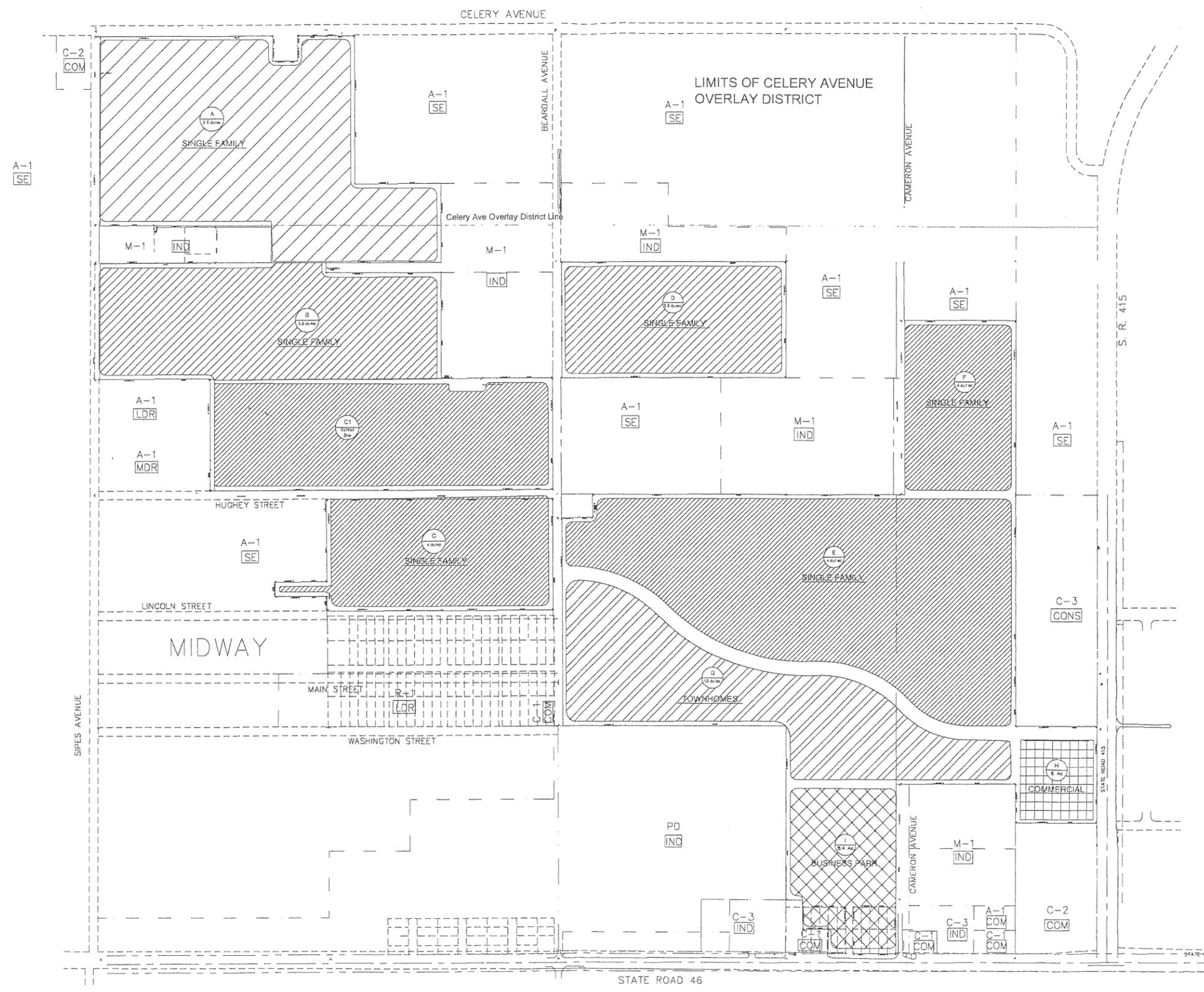
STAFF RECOMMENDATION:

Staff recommends APPROVAL of the Final Master Plan subject to conditions listed in the attached Developer's Commitment Agreement.

ATTACHMENTS:

Final Master Plan
Developer's Commitment Agreement
Development Order adopted by BCC on 5/20/05

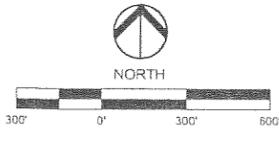
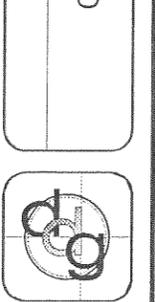




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 913 N. Pennsylvania Ave., Winter Park, Florida 32789 (407) 740-7373 www.dalydesign.com

REV	DATE	DESCRIPTION
1	09.07.05	Per Staff Comments Dated 09.23.05
2	09.13.05	Per Staff Comments Dated 09.12.05

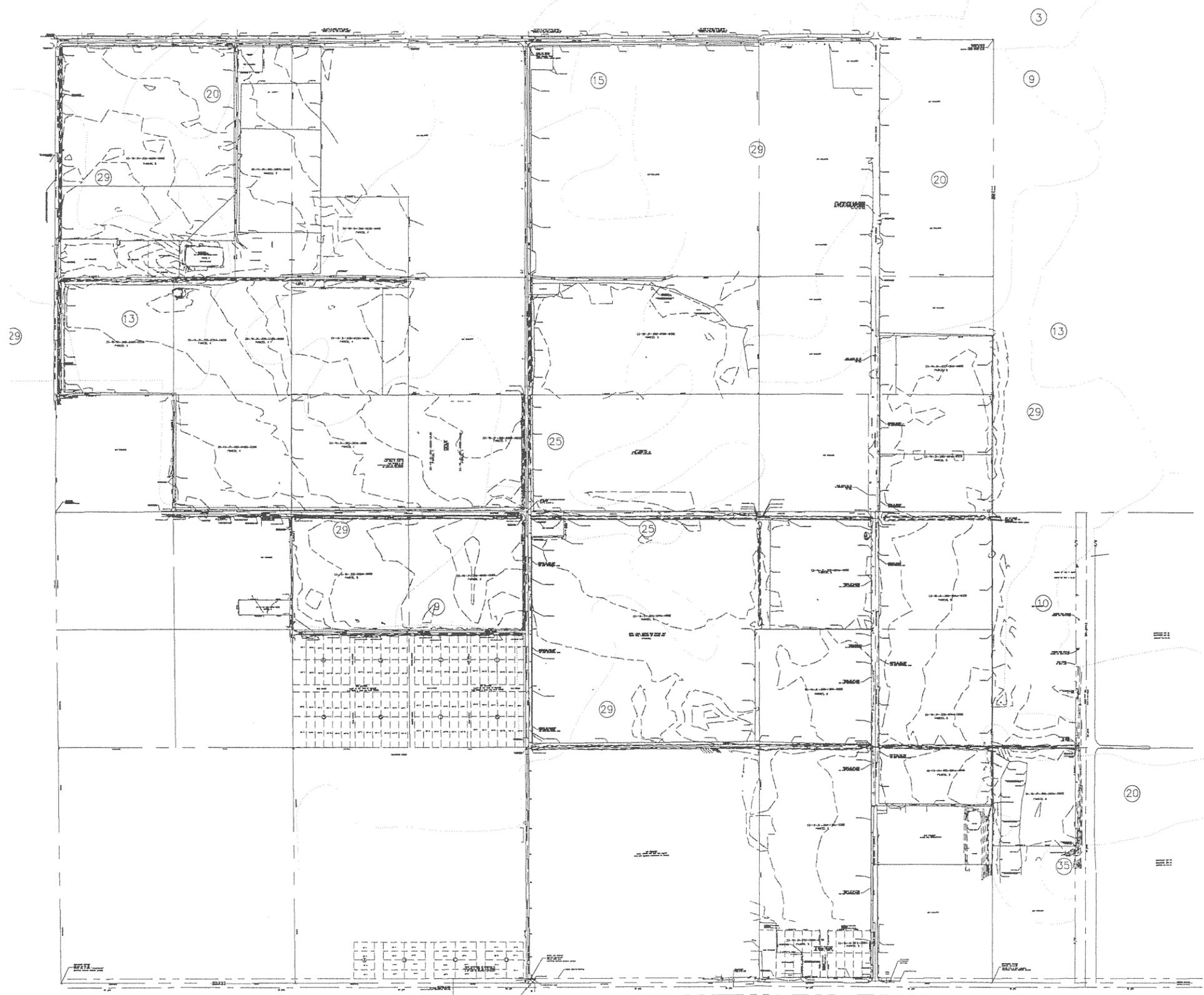
Key Sheet
 Final Master Plan
 Cameron Heights
 Seminole County, Florida



Date _____

PROJECT NO
2442
 SCALE
1"=300'
 DATE
July 2005
 SHEET
FMP2

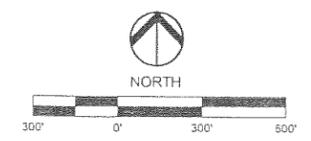
SEP 27 2005



LEGEND:

- Denotes utility pole
- Denotes guy wire/anchor
- Denotes telephone riser
- Denotes overhead utility line
- Denotes well
- Denotes 5/8" iron rod with cap or nail & disk PSM #5633
- Denotes licensed business
- Denotes professional surveyor and mapper

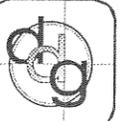
- 5 Astatula fine sand, 5 to 8 percent slopes
- 9 Basinger and Delray fine sands
- 10 Basinger, Samsula, and Hontoon soils, depressional
- 13 EauGallie and Immokalee fine sands
- 15 Felda and Manatee mucky fine sands, depressional
- 20 Myakka and EauGallie fine sands
- 25 Pineda fine sand
- 29 St. Johns and EauGallie fine sands



Topography and Soils Plan
Final Master Plan
Cameron Heights
Seminole County, Florida

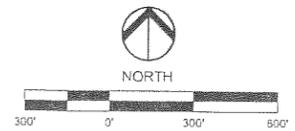
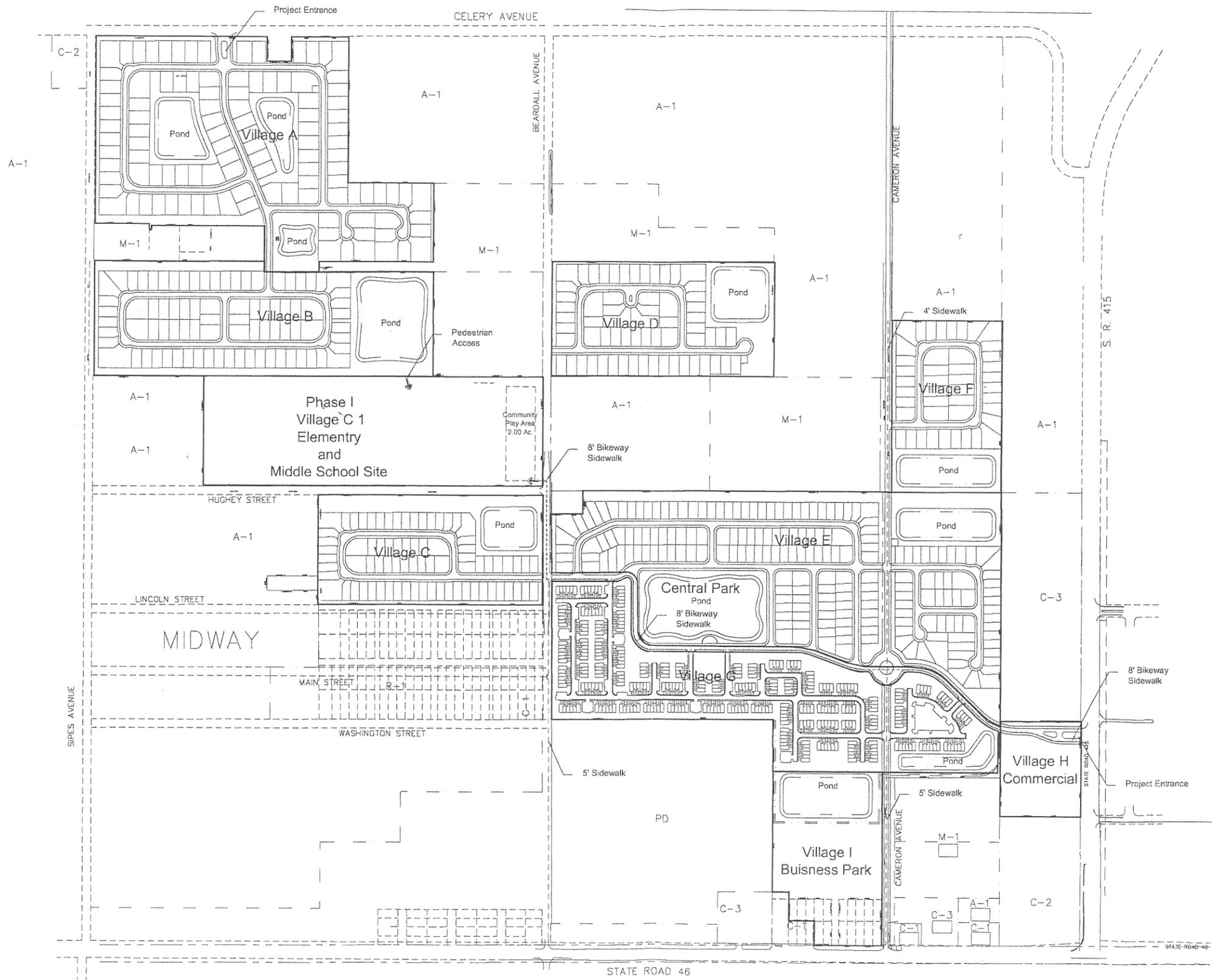
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PROJECT NO.
2442
SCALE
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DATE
July 2005
SHEET
FMP3

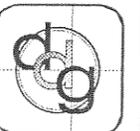
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REV.	DATE	DESCRIPTION	BY
2	09.13.05	Per Staff Comments Dated 09.12.05	WDM
1	09.07.05	Per Staff Comments Dated 09.12.05	WDM

Master Plan / Transportation Plan
 Final Master Plan
 Cameron Heights
 Seminole County, Florida



PROJECT NO.
2442
 SCALE
1"=300'
 DATE
July 2005
 SHEET
FMP4

Date: _____

SEP 27 2005

C-2

Proposed Storm Water

Proposed Reclaim Line

Proposed Fire Hydrant Max 800' from any Lot

4' Path

4' Path

Proposed Fire Hydrant Max 800' from any Lot

Proposed Fire Hydrant Max 800' from any Lot

Project Entrance

Project Sign Panel

Proposed Forcemain Stubout to Celery Ave

Proposed Lift Station

Proposed Sanitary Sewer

Proposed Fire Hydrant Max 800' from any Lot

Storm Water Easement Typ.

Proposed Water Area

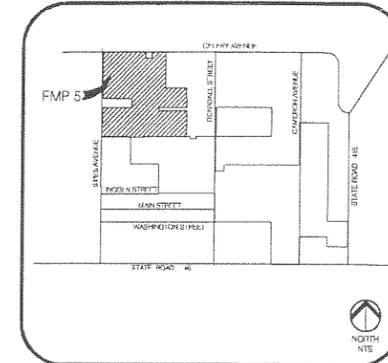
Proposed Fire Hydrant Max 800' from any Lot

Celery Ave Overlay District Limits Line

Proposed Fire Hydrant Max 800' from any Lot

Proposed Fire Hydrant Max 800' from any Lot

Proposed Fire Hydrant Max 800' from any Lot



Legend

- W — Proposed Watermain
- RW — Proposed Reclaim Watermain
- S — Proposed Storm Sewer
- SS — Proposed Sanitary Sewer
- Proposed Sanitary Manhole
- Proposed Storm Inlet
- Proposed Fire Hydrant
- Existing Overhead Utilities
- Existing Power Pole
- Existing Storm Inlet
- Existing Storm Manhole
- Existing Fire Hydrant

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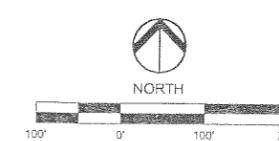
Per Staff Comments Dated 09/22/05
Per Staff Comments Dated 09/12/05
Per Staff Comments Dated 09/12/05

REV.	DATE	DESCRIPTION	BY
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2	09/13/05		
1	09/07/05		

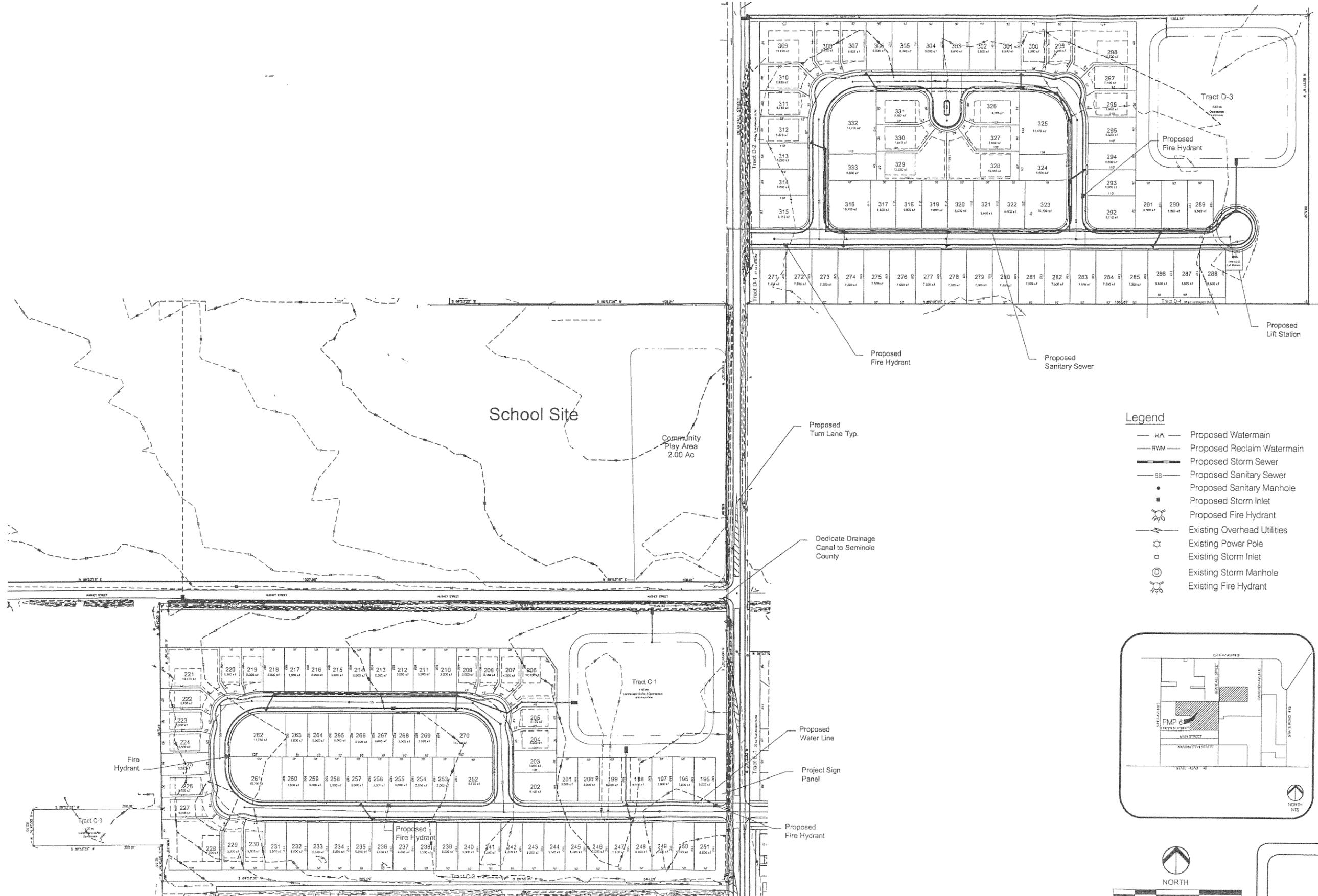
Village A and B Utility Plan
Final Master Plan
Cameron Heights
Seminole County, Florida



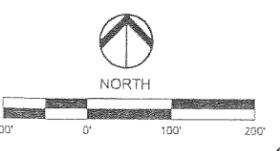
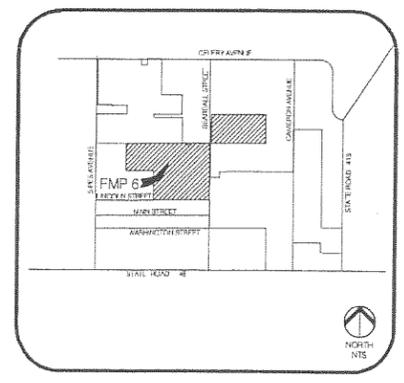
PROJECT NO. 2442
SCALE 1"=100'
DATE July 2005
SHEET FMP5



Date: _____



- Legend**
- W — Proposed Watermain
 - RWM — Proposed Reclaim Watermain
 - SSS — Proposed Storm Sewer
 - SS — Proposed Sanitary Sewer
 - Proposed Sanitary Manhole
 - Proposed Storm Inlet
 - ⊕ Proposed Fire Hydrant
 - Existing Overhead Utilities
 - ⊙ Existing Power Pole
 - Existing Storm Inlet
 - ⊕ Existing Storm Manhole
 - ⊕ Existing Fire Hydrant



School Site

Community Play Area
2.00 Ac

Tract D-3

Proposed Fire Hydrant

Proposed Lift Station

Proposed Fire Hydrant

Proposed Sanitary Sewer

Proposed Turn Lane Typ.

Dedicate Drainage Canal to Seminole County

Proposed Water Line

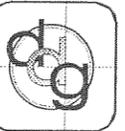
Project Sign Panel

Proposed Fire Hydrant

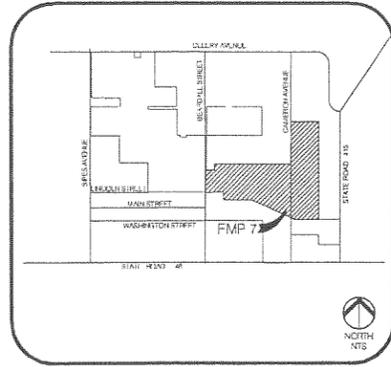
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REV	DATE	DESCRIPTION
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2	09.19.05	Per Staff Comments Dated 09.12.05
1	09.07.05	Per Staff Comments Dated 09.12.05

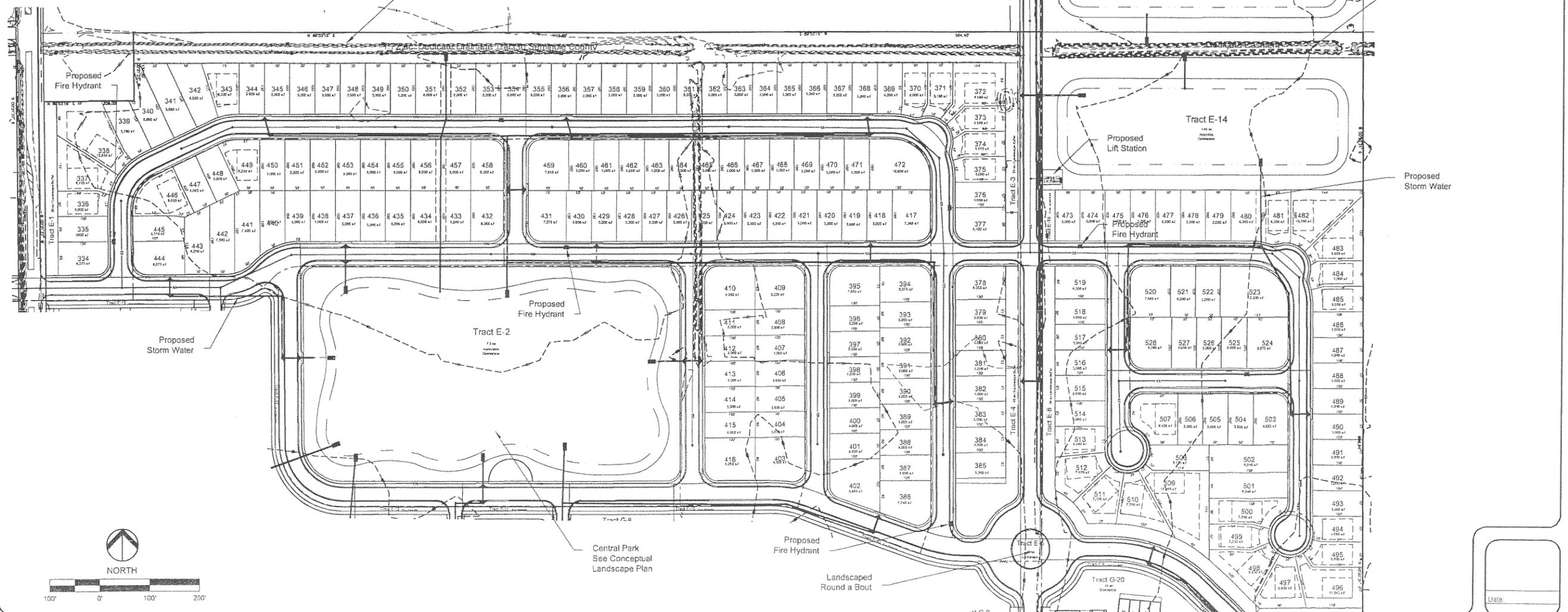
Village C and D Utility Plan
Final Master Plan
Cameron Heights
Seminole County, Florida



PROJECT NO.
2442
SCALE
1" = 100'
DATE
July 2005
SHEET
FMP6



- Legend**
- WA — Proposed Watermain
 - RWM — Proposed Reclaim Watermain
 - SSS — Proposed Storm Sewer
 - SS — Proposed Sanitary Sewer
 - Proposed Sanitary Manhole
 - Proposed Storm Inlet
 - Proposed Fire Hydrant
 - Existing Overhead Utilities
 - ⊙ Existing Power Pole
 - Existing Storm Inlet
 - ⊕ Existing Storm Manhole
 - ⊗ Existing Fire Hydrant

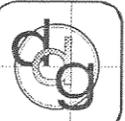


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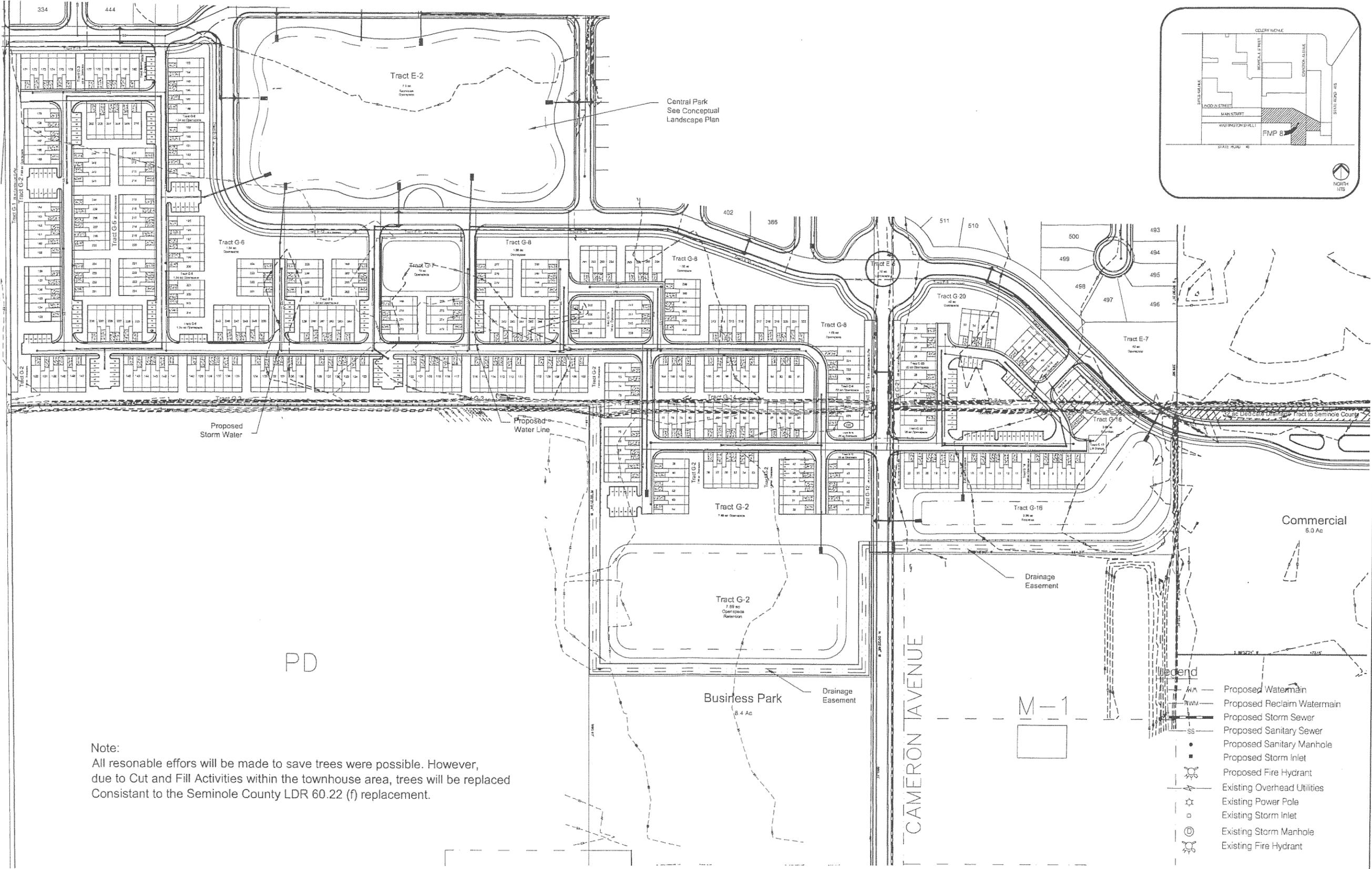
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3	09/26/05	Per Staff Comments Dated 09/22/05	
2	09/13/05	Per Staff Comments Dated 09/12/05	
1	09/07/05	Per Staff Comments Dated 08/12/05	

Village E and F Utility Plan
 Final Master Plan
 Cameron Heights
 Seminole County, Florida

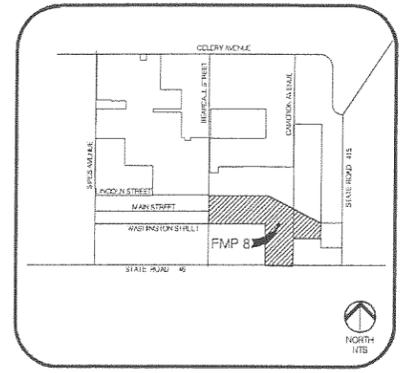


PROJECT NO.
2442
 SCALE
1"=100'
 DATE
July 2005
 SHEET
FMP-7

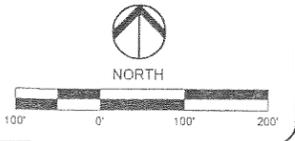
SEP 27 2005



Note:
 All reasonable efforts will be made to save trees where possible. However, due to Cut and Fill Activities within the townhouse area, trees will be replaced consistent to the Seminole County LDR 60.22 (f) replacement.



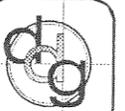
- Legend
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 - RW — Proposed Reclaim Watermain
 - SS — Proposed Storm Sewer
 - S — Proposed Sanitary Sewer
 - — Proposed Sanitary Manhole
 - — Proposed Storm Inlet
 - ⊕ — Proposed Fire Hydrant
 - — Existing Overhead Utilities
 - ⊙ — Existing Power Pole
 - — Existing Storm Inlet
 - ⊙ — Existing Storm Manhole
 - ⊕ — Existing Fire Hydrant



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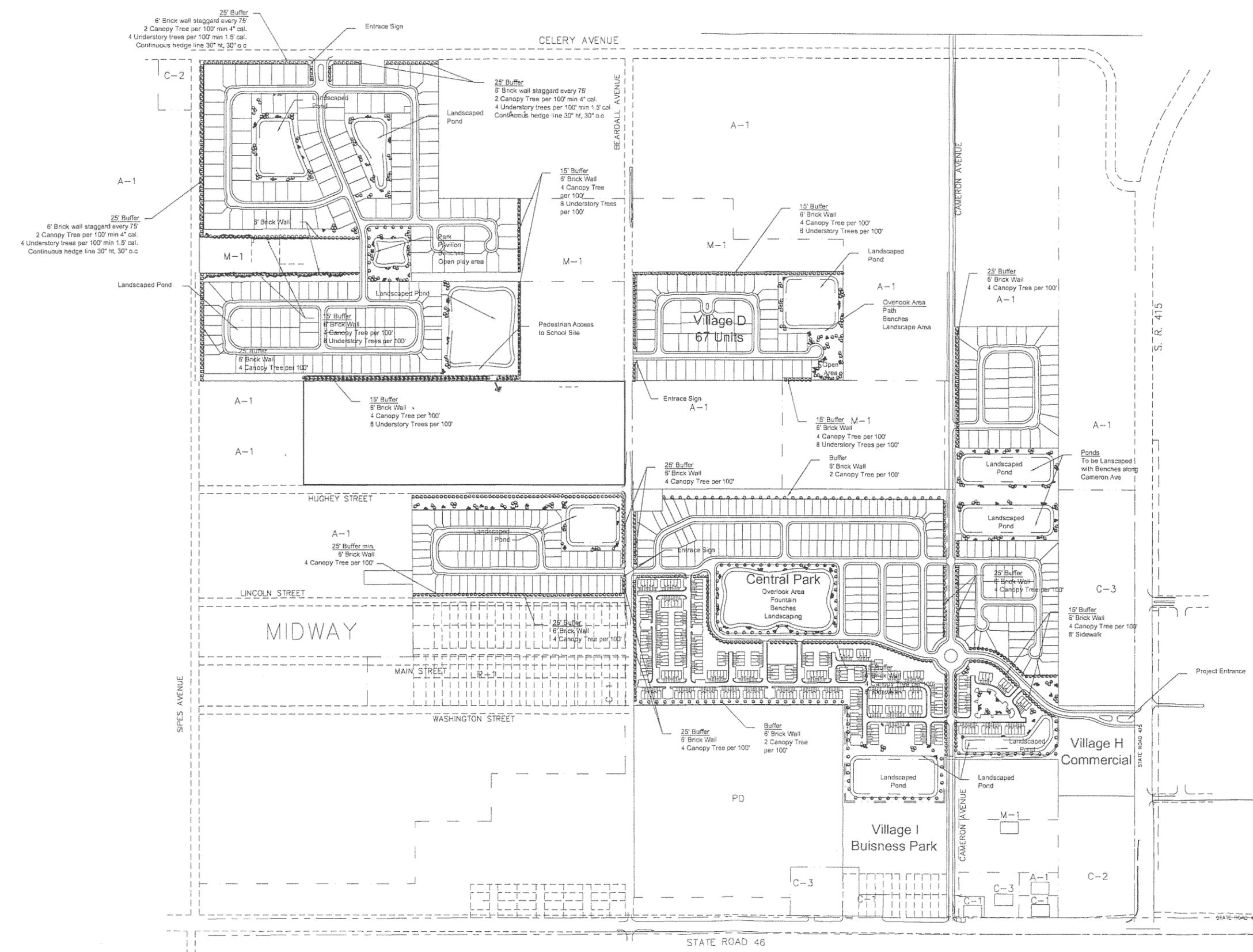
REV	DATE	DESCRIPTION	BY
2	09.13.05	Per Staff Comments Dated 08.12.05	
1	09.07.05	Per Staff Comments Dated 08.12.05	

Village G Utility Plan
 Final Master Plan
 Cameron Heights
 Seminole County, Florida



PROJECT NO
 2442
 SCALE
 1"=100'
 DATE
 July 2005
 SHEET
 FMP8

05D 9 7 2005



25' Buffer
6' Brick wall staggered every 75'
2 Canopy Tree per 100' min 4" cal.
4 Understory trees per 100' min 1.5" cal.
Continuous hedge line 30" ht, 30" o.c.

25' Buffer
6' Brick wall staggered every 75'
2 Canopy Tree per 100' min 4" cal.
4 Understory trees per 100' min 1.5" cal.
Continuous hedge line 30" ht, 30" o.c.

25' Buffer
8' Brick wall staggered every 75'
2 Canopy Tree per 100' min 4" cal.
4 Understory trees per 100' min 1.5" cal.
Continuous hedge line 30" ht, 30" o.c.

15' Buffer
6' Brick Wall
4 Canopy Tree per 100'
8 Understory Trees per 100'

15' Buffer
6' Brick Wall
4 Canopy Tree per 100'
8 Understory Trees per 100'

15' Buffer
6' Brick Wall
4 Canopy Tree per 100'
8 Understory Trees per 100'

15' Buffer
6' Brick Wall
4 Canopy Tree per 100'
8 Understory Trees per 100'

25' Buffer
6' Brick Wall
4 Canopy Tree per 100'

15' Buffer
6' Brick Wall
2 Canopy Tree per 100'

A-1
25' Buffer min.
6' Brick Wall
4 Canopy Tree per 100'

25' Buffer
6' Brick Wall
4 Canopy Tree per 100'

25' Buffer
6' Brick Wall
4 Canopy Tree per 100'

15' Buffer
6' Brick Wall
4 Canopy Tree per 100'
8' Sidewalk

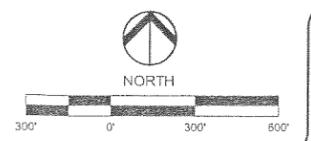
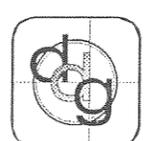
25' Buffer
6' Brick Wall
4 Canopy Tree per 100'

Buffer
6' Brick Wall
2 Canopy Tree per 100'

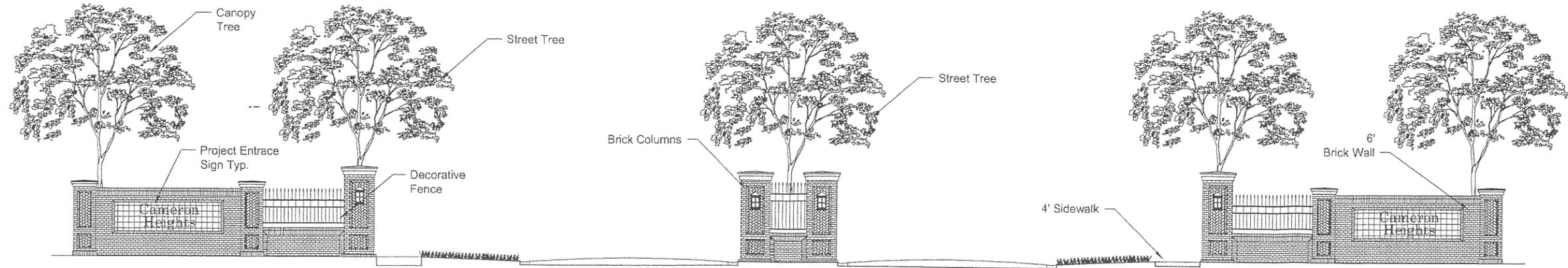
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REV.	DATE	DESCRIPTION
2	09.13.05	Per Staff Comments Dated 08.12.05
1	09.07.05	Per Staff Comments dated 08.12.05

Conceptual Landscape Plan
Final Master Plan
Cameron Heights
Seminole County, Florida

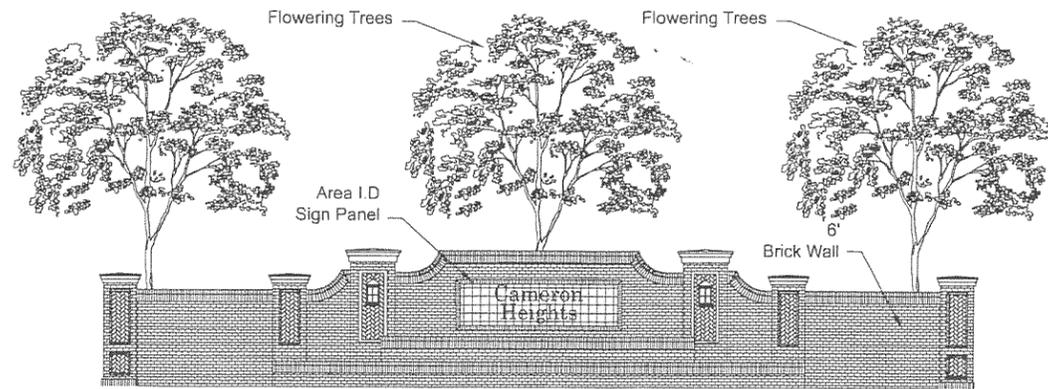


PROJECT NO.
2442
SCALE
1"=300'
DATE
July 2005
SHEET
FMP9



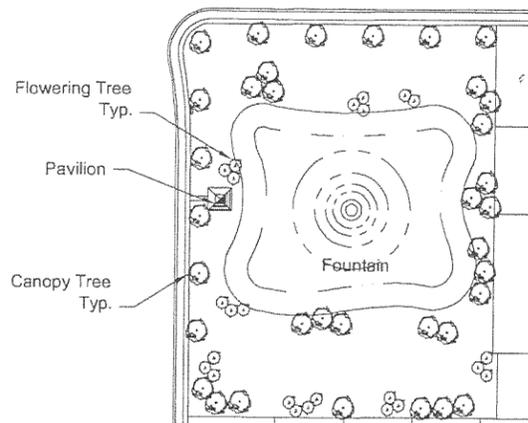
Celery Ave Entrance Elevation

not to scale



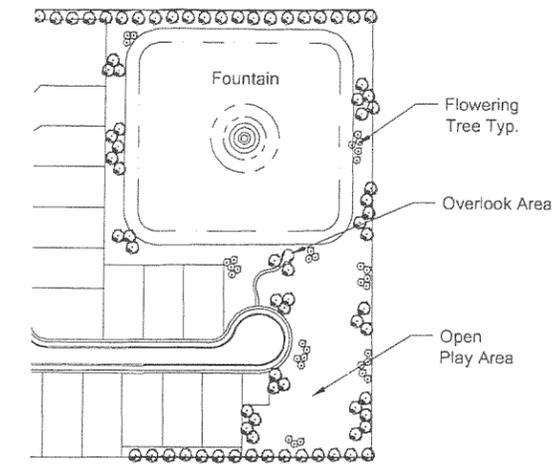
Cameron Heights Main Entrance Sign Elevation

not to scale



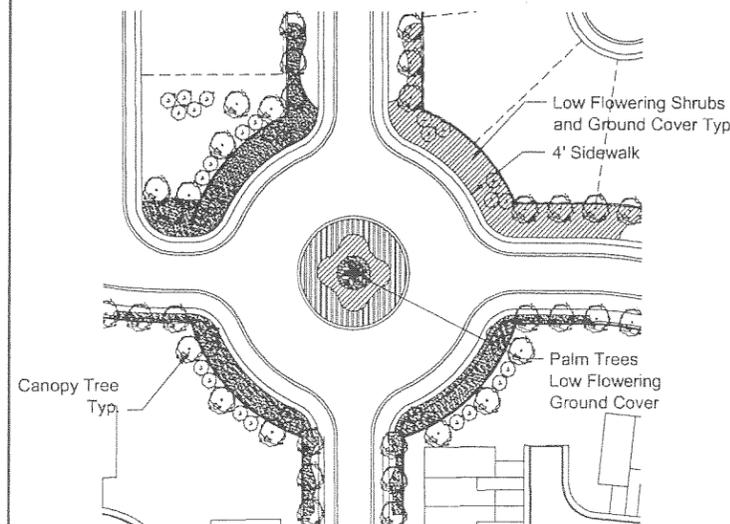
Village A and B Recreation Area

not to scale



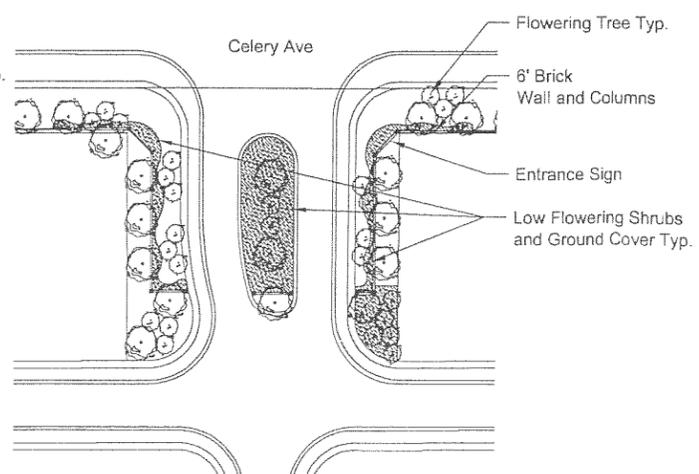
Village D Recreation Area

not to scale



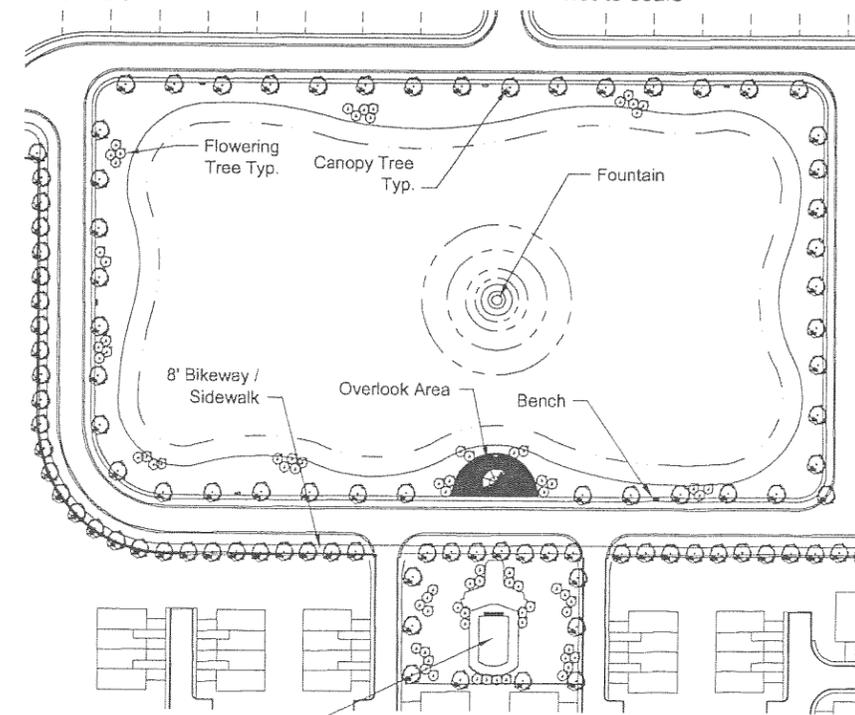
Round a Bout Landscape Detail

not to scale



Celery Ave Entrance Detail

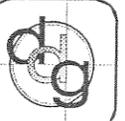
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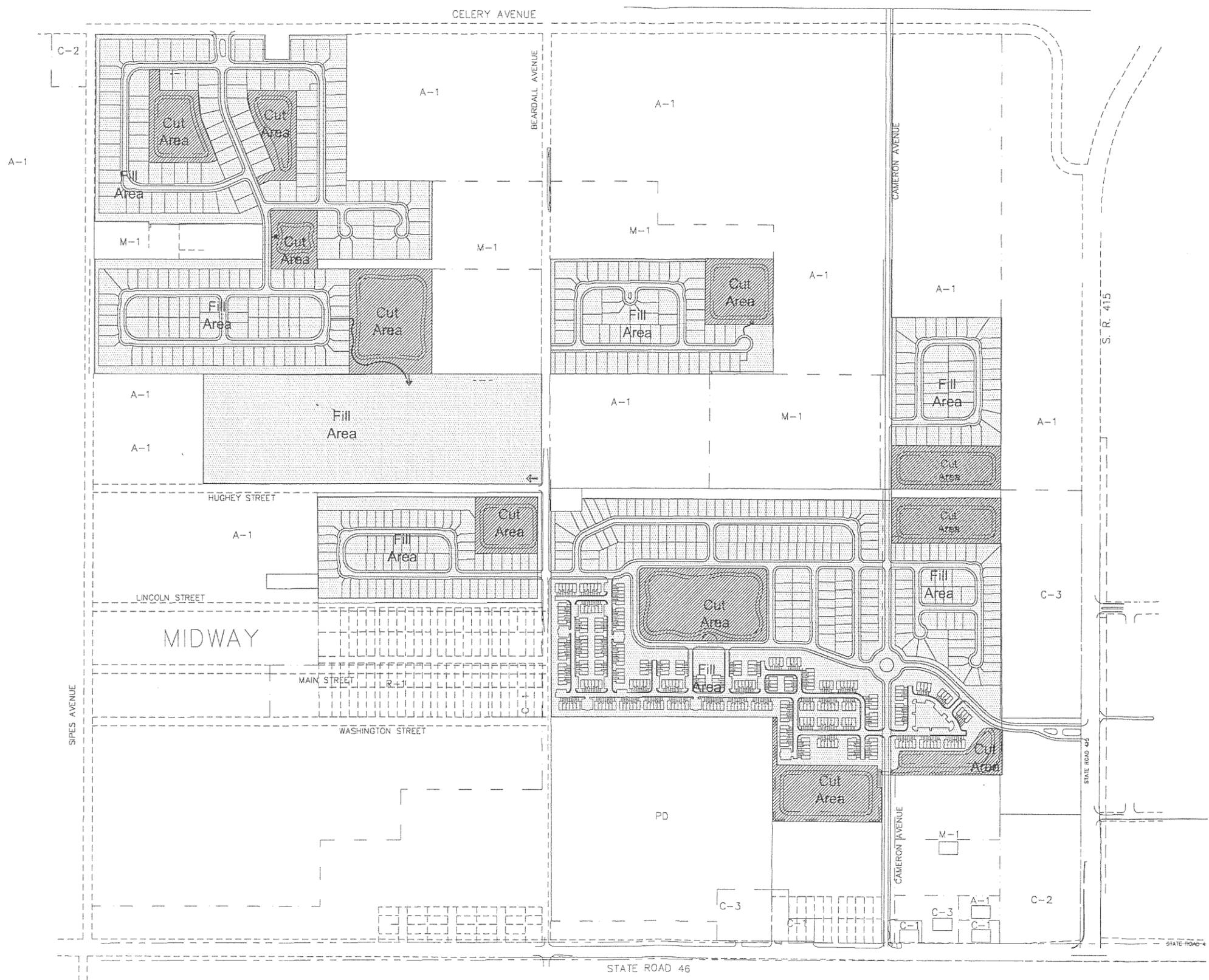


Central Park and Townhome Recreation Area

not to scale

REV	DATE	DESCRIPTION
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1	09.07.05	Per Staff Comments Dated 08.12.05

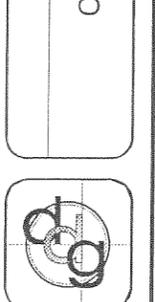




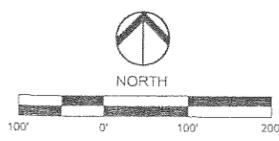
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1	09.07.05	Per Staff Comments Dated 09.12.05	wpb

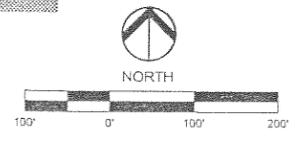
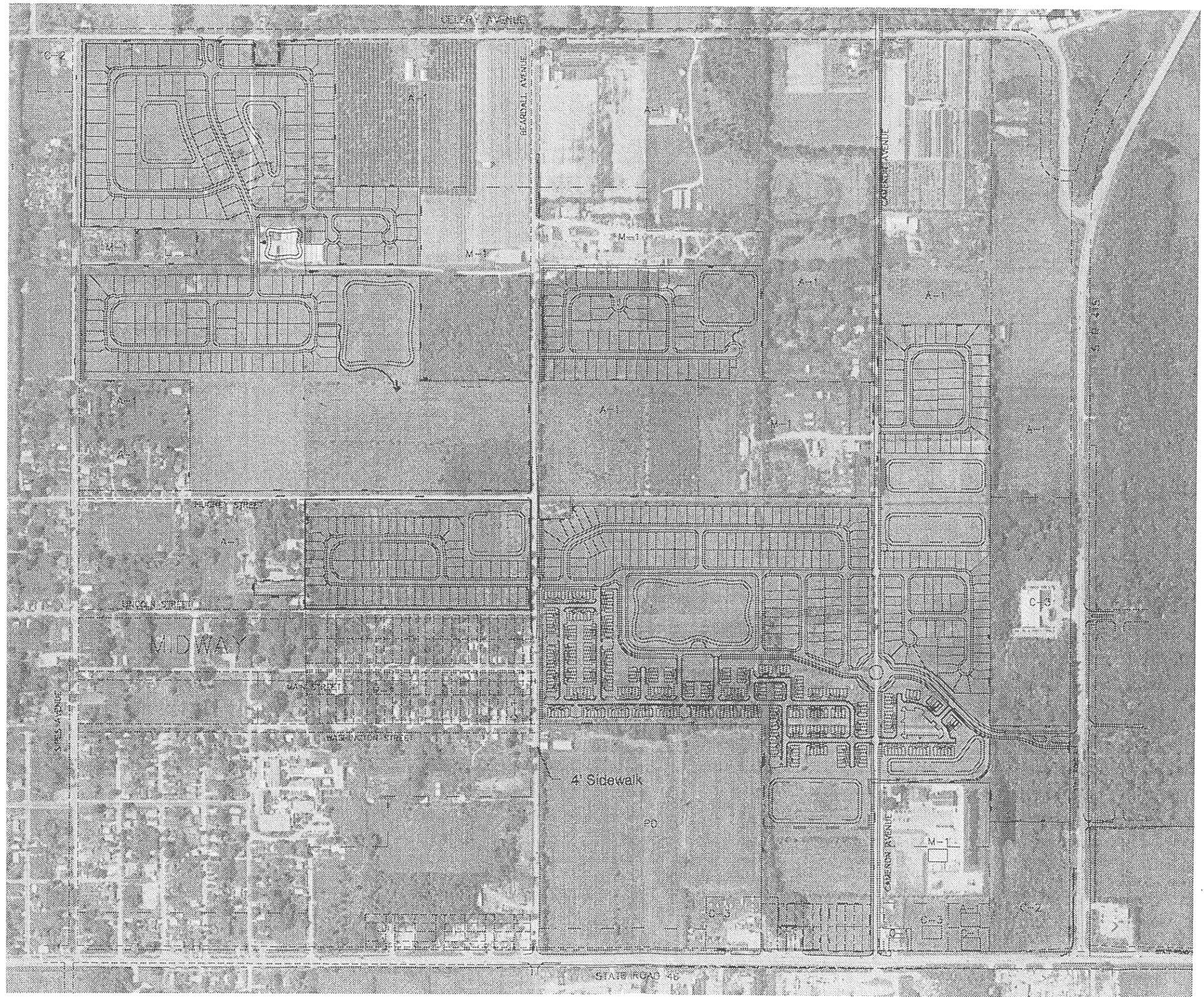
Cut and Fill Plan
 Final Master Plan
 Cameron Heights
 Seminole County, Florida



PROJECT NO
 2442
 SCALE
 1"=100'
 DATE
 July 2005
 SHEET
 FMP11



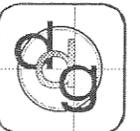
Date



Date: _____

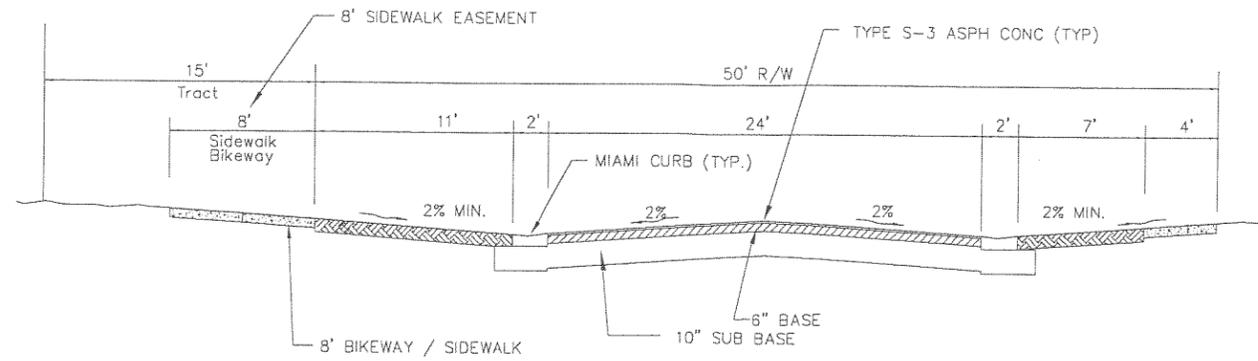
PROJECT NO.
2442
SCALE
1"=100'
DATE
July 2006
SHEET
FMP 12

Aerial Photo
Final Master Plan
Cameron Heights
Seminole County, Florida

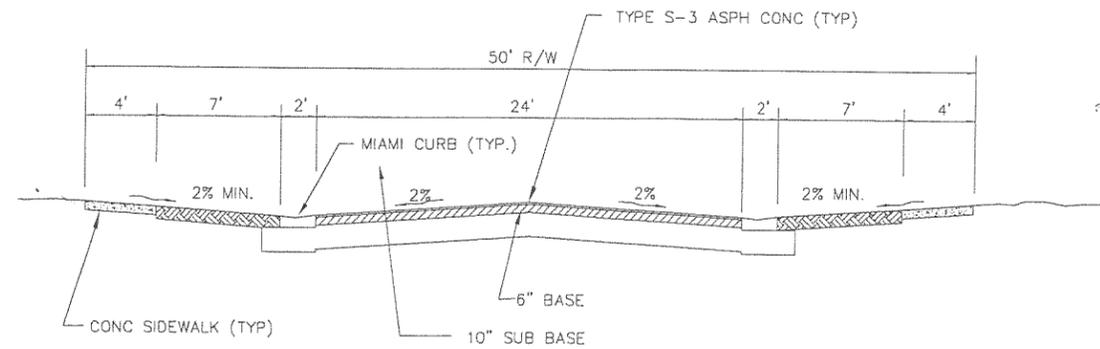


REV.	DATE	DESCRIPTION	BY
2	09.13.06	Per Staff Comments Dated 09.12.06	WJH
1	09.07.06	Per Staff Comments Dated 09.12.05	JGH

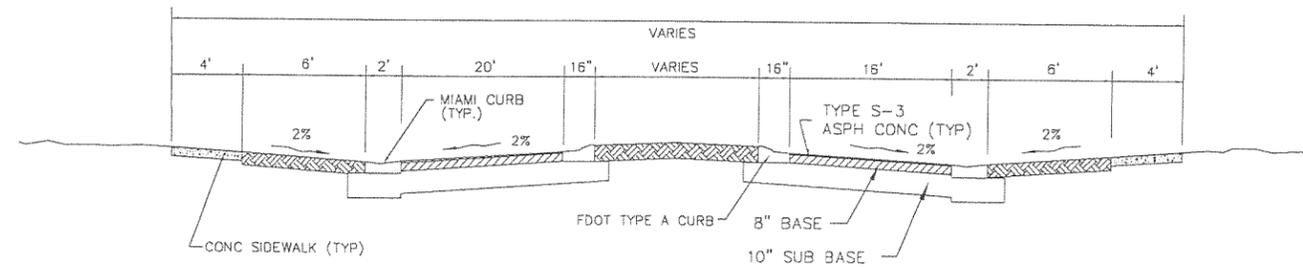
daly design group inc.
Land Planning, Landscape Architecture, Project Management, Development Consulting
913 N. Pennsylvania Ave., Winter Park, Florida 32789 (407) 740-7373 www.dalydesign.com



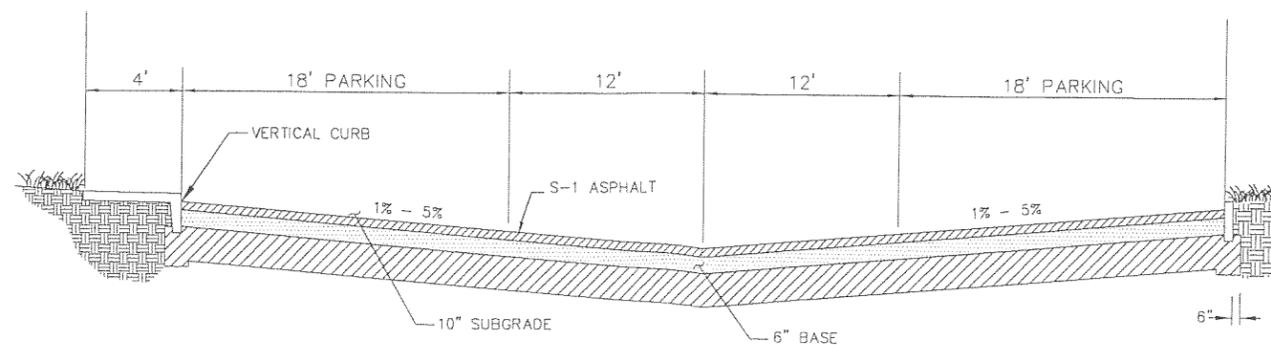
Typical 50' R/W Section w/ 8' Sidewalk Easement
not to scale



Typical 50' R/W Section
not to scale



Divided Entrance Section
not to scale



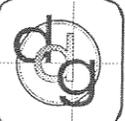
24' Private Roadway and Parking Section
not to scale

daly design group inc.

Land Planning, Landscape Architecture, Project Management, Development Consulting
913 N. Pennsylvania Ave., Winter Park, Florida 32789 (407) 740-7373 www.dalydesign.com

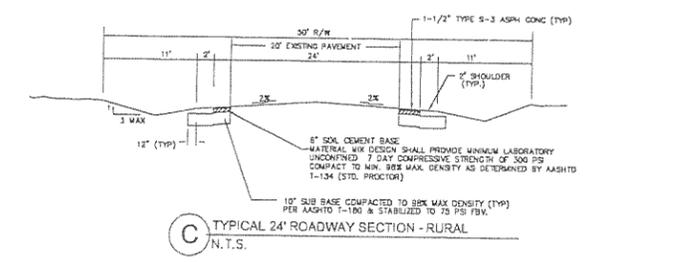
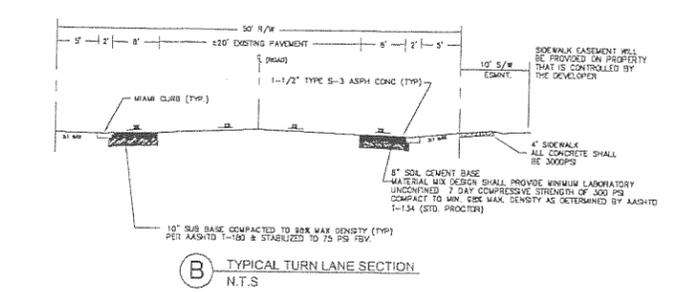
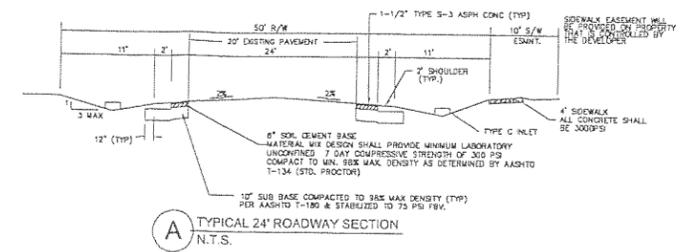
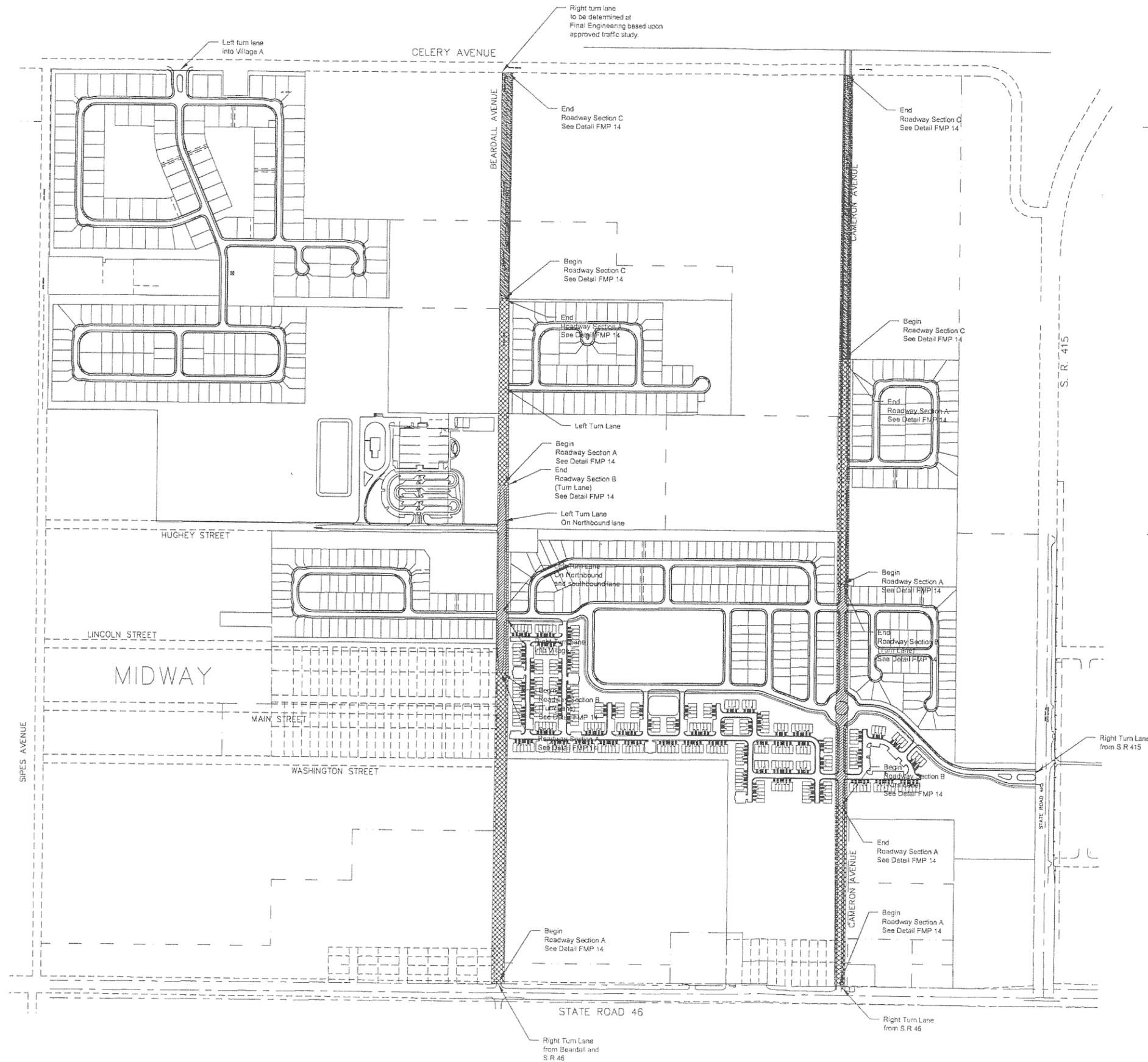
NO.	DATE	DESCRIPTION
1	08/07/05	Per Staff Comments Dated 08/12/05

Roadway Sections
Final Master Plan
Cameron Heights
Seminole County, Florida



PROJECT NO.
2442
SCALE
Not to Scale
DATE
July 2005
SHEET
FMP13

Date: _____



daily design group inc.
 Land Planning, Landscape Architecture, Project Management, Development Consulting
 913 N. Pennsylvania Ave., Winter Park, Florida 32789 (407) 740-7373 www.dailydesign.com

REV	DATE	DESCRIPTION	BY
3	09/26/05	Per Staff Comments Dated 09/22/05	WJH
2	09/19/05	Per Staff Comments Dated 09/12/05	WJH
1	09/07/05	Per Staff Comments Dated 08/12/05	WJH

Right of Way Utilization Plan
 Final Master Plan
 Cameron Heights
 Seminole County, Florida

Date

PROJECT NO.
2442
SCALE
1"=300'
DATE
July 2005
SHEET
FMP 14

**CAMERON HEIGHTS
PLANNED UNIT DEVELOPMENT**

**Final Master Plan
Developer's Commitment Agreement
Commitments, Classifications and District Description**

On October 11, 2005 the Board of County Commissioners of Seminole County, Florida issued this Developer's Commitment Agreement relating to and touching and concerning the following described property:

1. **LEGAL DESCRIPTION:**

See Exhibit A

2. **STATEMENT OF BASIC FACTS**

- A. Total Area: 265.64 Acres
- B. Zoning: Planned Unit Development
- C. Residential Uses:

	<i>Use</i>	<i>Units</i>	<i>Acreage</i>	<i>Gross Density</i>
Tract A	Single Family	110	44.10	2.49
Tracts B & D	Single Family	147	47.47	3.10
Tracts C, E, F	Single Family	315	86.21	3.65
Tract G	Townhouse	330	36.39	9.07
TOTALS		902	214.17	

- D. Non-Residential Uses:

	<i>Use</i>	<i>Acreage</i>	<i>FAR*</i>	<i>Max. Floor Area</i>
Tract H	Commercial	6.0	0.35	91,476 s.f.
Tract I	Business Park	8.4	0.40	146,361 s.f.

* Floor Area Ratio = Floor Area ÷ Lot Size

- E. The development approval sought is consistent with the Seminole County Comprehensive Plan and will be developed consistent with and in compliance with all other applicable regulations and ordinances.
- F. The owner (s) of the property has expressly agreed to be bound by and subject to the development conditions and commitments stated below and has covenanted and agreed to have such conditions and commitments run with, follow, and perpetually burden the aforescribed property.

3. **LAND USE BREAKDOWN**

<i>Land Use</i>	<i>Area (Acres)</i>	<i>% of Site</i>
Residential	214.17	80.6

<i>Land Use</i>	<i>Area (Acres)</i>	<i>% of Site</i>
Commercial	6.0	2.3
Business Park	8.40	3.1
School	30.0	11.3
Utility & access R/W dedications	5.35	2.0
Drainage ditch dedication area	1.72	0.7
TOTAL AREA	265.64	100.00

4. **DENSITY**

Tracts A-F: 572 Single Family Units

Maximum density: 4.0 units per net buildable acre

<i>Net Buildable Area Calculation</i>	
Single Family Residential Site Area	177.78 acres
Public Road R/W	30.51 acres
Net Buildable Area	147.27 acres

Net Density = 572 units ÷ 147.27 acres = 3.88 units/net buildable acre

Tract G: 330 Townhouse Units

Maximum density: 10.0 units per net buildable acre

<i>Net Buildable Area Calculation</i>	
Townhouse Residential Site Area	36.39 acres
Public Road R/W	3.29 acres
Net Buildable Area	33.10 acres

Net Density = 330 units ÷ 33.10 acres = 9.97 units/net buildable acre

5. **OPEN SPACE AND RECREATION AREAS**

Tracts A-F

Required open space = 177.78 acres x 0.25 44.45 acres
 Open Space Provided in Villages A-F: 42.45 acres
 Open Space Provided on School Site 2.00 acres

Tract G

Required open space = 36.37 acres x 0.25 9.09 acres
 Open Space provided 16.91 acres

6. **BUILDING SETBACKS**

Tracts A-F

<i>Residential Units</i>	
Front	20' from R/W
	20' from nearest edge of sidewalk
Side	5'
side street	20'
Rear	20'

<i>Accessory Buildings less than 200 s.f.</i>	
Side	5'
side street	20'
Rear	5'

<i>Pools and Screen Enclosures</i>		
	Screen Enclosure	Pool
Front	20'	22'
Side	5'	7'
side street	20	22'
Rear	5'	7'

Tract G

<i>Townhouse Units</i>	
Front	20' from R/W
	20' from nearest edge of sidewalk
side	0'
side street	20'
rear	10'

<i>Building Separation Requirements</i>	
Side to side	20'
Side to rear	30'
Rear to rear	40'

Tract H (Commercial):

Setbacks and building heights shall be per C-1 standards.

Tract I (Business Park):

Office uses: Setbacks and building heights shall be per OP standards.
 Industrial uses: Setbacks and building heights shall be per M-1A standards.
 Commercial uses: Setbacks and building heights shall be per C-1 standards.

7. **PERMITTED USES**

Villages A-F

Detached single-family dwelling units
Home occupations
Home offices

Village G

Townhouse dwelling units
Home occupations
Home offices

Tract H (Commercial)

Permitted uses per the C-1 zoning district including gasoline service stations and car washes.

Prohibited uses: Adult entertainment, alcoholic beverage establishments, automobile and boat sales and service, communication towers, multifamily housing, outdoor advertising signs, tattoo parlors and pawn shops.

Tract I (Business Park)

Office uses: Per OP district standards.
Industrial uses: Per M-1A district standards.
Commercial uses: Per C-1 district standards.

Prohibited uses: Adult entertainment, alcoholic beverage establishments, automobile and boat sales and service, communication towers, multifamily housing, outdoor advertising signs, tattoo parlors and pawn shops.

8. **LANDSCAPE & BUFFER CRITERIA**

All landscape buffers and common areas shall be maintained by a homeowners association.

Where adjacent to properties in M-1 zoning or the Industrial future land use designation, residential development shall be separated from such properties by an active buffer per the Land Development Code. These buffers shall be located in common areas and shall not include any portion of any privately owned residential lot.

Adjacent to other properties in commercial or industrial zoning and/or future land use, including those within the PUD having designated uses of commercial and/or industrial, the developer shall provide a 6-foot PVC fence and a 15-foot buffer containing 4 canopy trees and 8 understory trees per 100 linear feet.

9. **DEVELOPMENT COMMITMENTS**

Tracts A-F (Single Family)

- a. Maximum building height shall be 35 feet.
- b. Lots shall be no less than 50 feet in width and 5,000 square feet in size. Corner lots shall be at least 5,750 square feet in size.
- c. Minimum house size shall be 1,700 s.f. of living area in Tract A, 1,600 s.f. of living area in Tracts B and D, and 1,500 s.f. of living area in Tracts C, E and F. Units shall conform to building elevations shown in Exhibit C.
- d. Tracts A-F shall individually include 25% usable common open space.
- e. Individual single family lots shall be located entirely outside applicable setbacks from wetlands as established by the Land Development Code.
- f. Where counted toward required open space, all retention ponds shall be configured as site amenities per Section 30.1344.
- g. Development within Tract A shall comply with the Draft Celery Avenue Development Standards.
- h. All residential structures located south of Hughey Street and a line extending eastward from the eastern terminus of Hughey Street shall be constructed utilizing sound attenuation blankets in a manner acceptable to the Seminole County Building Official.
- i. Subdivision plats establishing residential lots within the limits of the subject property shall include a note (font size twelve point or larger) stating the following:

This property is located in proximity to an airport noise zone. The properties delineated on this plat are subject to aircraft noise that may be objectionable.

- j. The sale of each residential lot shall include a deed containing the following language in bold type face:

NOTICE OF AIRPORT NOISE

This property is located in proximity to an airport noise zone. Residents will be subject to aircraft noise that may be objectionable.

In addition, the developer voluntarily agrees that an avigation easement, in a form acceptable to the Sanford Airport Authority, shall be recorded before issuance of a County building permit for any residential development. The avigation easement shall apply to all property upon which any residential use is to be constructed.

Tract G (Townhouses)

- k. All units shall be located on individual lots to be sold fee simple and shall conform to building elevations shown in Exhibit C.
- l. Density shall be limited to a maximum of 10 units per net buildable acre.

- m. All residential structures shall be constructed utilizing sound attenuation blankets in a manner acceptable to the Seminole County Building Official.
- n. No accessory buildings shall be permitted on individual platted lots.
- o. Maximum building height shall be 2 stories and 35 feet.
- p. Lots shall be no less than 20 feet in width.
- q. Minimum living area shall be 1,100 square feet.
- r. The site shall include 25% usable common open space.
- s. Where counted toward required open space, all retention ponds shall be configured as site amenities per Section 30.1344.
- t. Individual townhouse lots shall be located entirely outside applicable setbacks from wetlands as established by the Land Development Code.
- u. Required parking shall be 2 spaces per unit, and shall be provided on individual lots.
- v. Minimum visitor parking shall be provided at the rate of 1 space per 3 units.
- w. Garages shall not be converted to living area unless 2 parking spaces remain on each platted lot after such conversion.
- x. Storage of recreation vehicles, boats, or trailers shall be accommodated off-site or in a designated parking area separate from platted lots.
- y. Sidewalks shall be provided adjacent to all units, on both sides of internal streets.
- z. Front walls of townhouse units shall be staggered.
- aa. Subdivision plats establishing residential lots within the limits of the subject property shall include a note (font size twelve point or larger) stating the following:

This property is located in proximity to an airport noise zone. The properties delineated on this plat are subject to aircraft noise that may be objectionable.

- bb. The sale of each residential lot shall include a deed containing the following language in bold type face:

NOTICE OF AIRPORT NOISE

This property is located in proximity to an airport noise zone. Residents will be subject to aircraft noise that may be objectionable.

In addition, the developer voluntarily agrees that an avigation easement, in a form acceptable to the Sanford Airport Authority, shall be recorded before issuance of a County building permit for any residential development. The avigation easement shall apply to all property upon which any residential use is to be constructed.

Tract H (Commercial)

- cc. Maximum floor area ratio (FAR) shall be 0.35.
- dd. Active-passive buffer standards shall be employed where Tract H adjoins Tracts G and E.

ee. Tract H shall not have direct access to SR 415.

Tract I (Business Park)

ff. Maximum floor area ratio (FAR) shall be 0.40

All Tracts

- gg. Prior to Final Engineering approval, the Developer shall delineate any and all wetland areas as designated by the St. Johns River Water Management District. Such areas shall be subtracted from the net buildable area calculation(s) for the respective Tracts in which they are present.
- hh. The Developer shall obtain concurrency approval prior to final engineering approval for the PUD, or any phase thereof.
- ii. Central potable water and sewer service shall be required for all development within the project.
- jj. Cameron Ave. shall be a through road and shall be constructed consistent with Seminole County requirements.
- kk. For Cameron Ave., Beardall Ave, Celery Ave. and Hughey Street right of way shall be dedicated consistent with Seminole County requirements.
- ll. The location of and necessity for turn lanes shall be evaluated and approved by Seminole County prior to final engineering approval. These shall include turn lanes on SR 415 and SR 46.
- mm. The developer shall be financially responsible for any traffic lights warranted by the project.

10. **WATER, SEWER AND STORMWATER**

WATER: Water services shall be provided by the city of Sanford.

SANITARY SEWER: Sanitary sewer shall be provided by the city of Sanford.

STORMWATER: Stormwater drainage and stormwater management shall be according to Seminole County's county regulations.

FIRE PROTECTION: Fire protection shall be provided by Seminole County. Fire flow will be a minimum of 1,250 gpm with 20 p.s.i. Fire hydrant shall be located according to Seminole county regulations.

11. **PHASING**

The development will be constructed in multiple phases. The elementary school site will be developed as phase one. Phasing for the residential tracts will be reviewed during the construction plan approval. Each phase shall be responsible for the construction of all necessary improvements to support that phase.

12. STANDARD COMMITMENTS

- A. Unless specifically addressed otherwise herein, all development shall fully comply with all of the codes and ordinances, including impact fee ordinances, in effect in Seminole County at the time of permit issuance.
- B. The conditions upon this development approval and commitments made as to this development approval have been accepted by and agreed to by the Owners of the property.
- C. The developer's commitment agreement touches and concerns the aforescribed property, and the conditions, commitments, and provisions of the developer's commitment agreement shall perpetually burden, run with, and follow the said property and be a servitude upon and binding upon said property unless released in whole or by part by action of Seminole County by virtue of a document of equal dignity herewith. The Owners of said property have expressly covenanted and agreed to this provision and all other terms and provisions of the developer's commitment agreement.
- D. The terms and provisions of the developer's commitment agreement are not severable, and in the event any portion of this developer's commitment agreement shall be found to be invalid or illegal, then the entire developer's commitment agreement shall be null and void.
- E. If any term or provision of this Developer's Commitment Agreement is in conflict with any portion of the Final Master Plan, the portion of the Final Master Plan in conflict shall be void, and the terms and provisions of this Developer's Commitment Agreement shall control and remain in full force and effect.

**DONE AND ORDERED ON
THE DATE FIRST WRITTEN ABOVE**

By: _____
Carlton D. Henley,
Chairman

OWNER'S CONSENT AND COVENANT

COMES NOW, the owner, Garner J. Gehr, on behalf of himself and his heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Developer's Commitment Agreement.

Witness

GARNER J. GEHR

Witness

STATE OF FLORIDA)
)
COUNTY OF SEMINOLE)

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Garner J. Gehr, who is personally known to me or who has produced _____ as identification and who did take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this ____ day of _____, 2005.

Notary Public, in and for the County and State
Aforementioned

My Commission Expires:

OWNER'S CONSENT AND COVENANT

COMES NOW, the owner, Kathleen A. Gehr, on behalf of herself and her heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Developer's Commitment Agreement .

Witness

KATHLEEN A. GEHR

Witness

STATE OF FLORIDA)
)
COUNTY OF SEMINOLE)

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Kathleen A. Gehr, who is personally known to me or who has produced _____ as identification and who did take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this ____ day of _____, 2005.

Notary Public, in and for the County and State
Aforementioned

My Commission Expires:

OWNER'S CONSENT AND COVENANT

COMES NOW, the owner, Serop H. Manjikian, on behalf of himself and his heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Developer's Commitment Agreement.

Witness

SEROP H. MANJIKIAN

Witness

STATE OF FLORIDA)
)
COUNTY OF SEMINOLE)

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Serop H. Manjikian, who is personally known to me or who has produced _____ as identification and who did take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this ____ day of _____, 2005.

Notary Public, in and for the County and State
Aforementioned

My Commission Expires:

OWNER'S CONSENT AND COVENANT

COMES NOW, the owner, Sona H. Manjikian, on behalf of herself and her heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Developer's Commitment Agreement.

Witness

SONA H. MANJIKIAN

Witness

STATE OF FLORIDA)
)
COUNTY OF SEMINOLE)

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Sona H. Manjikian, who is personally known to me or who has produced _____ as identification and who did take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this ____ day of _____, 2005.

Notary Public, in and for the County and State
Aforementioned

My Commission Expires:

OWNER'S CONSENT AND COVENANT

COMES NOW, the owner, Carolyn P. Stenstrom, on behalf of herself and her heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Developer's Commitment Agreement.

Witness

CAROLYN P. STENSTROM

Witness

STATE OF FLORIDA)
)
COUNTY OF SEMINOLE)

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Carolyn P. Stenstrom, who is personally known to me or who has produced _____ as identification and who did take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this ____ day of _____, 2005.

Notary Public, in and for the County and State
Aforementioned

My Commission Expires:

OWNER'S CONSENT AND COVENANT

COMES NOW, the owner, Charles L. Jett, on behalf of himself and his heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Developer's Commitment Agreement. .

Witness

CHARLES L. JETT

Witness

STATE OF FLORIDA)
)
COUNTY OF SEMINOLE)

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Charles L. Jett, who is personally known to me or who has produced _____ as identification and who did take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this ____ day of _____, 2005.

Notary Public, in and for the County and State
Aforementioned

My Commission Expires:

OWNER'S CONSENT AND COVENANT

COMES NOW, the owner, Mary E. Jett, on behalf of herself and her heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Developer's Commitment Agreement.

Witness

MARY E. JETT

Witness

STATE OF FLORIDA)
)
COUNTY OF SEMINOLE)

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Mary E. Jett, who is personally known to me or who has produced _____ as identification and who did take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this ____ day of _____, 2005.

Notary Public, in and for the County and State
Aforementioned

My Commission Expires:

OWNER'S CONSENT AND COVENANT

COMES NOW, the owner, John F. Russell, on behalf of himself and his heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Developer's Commitment Agreement.

Witness

JOHN F. RUSSELL

Witness

STATE OF FLORIDA)
)
COUNTY OF SEMINOLE)

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared John F. Russell, who is personally known to me or who has produced _____ as identification and who did take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this ____ day of _____, 2005.

Notary Public, in and for the County and State
Aforementioned

My Commission Expires:

OWNER'S CONSENT AND COVENANT

COMES NOW, the owner, Jimye K. Russell, on behalf of himself and his heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Developer's Commitment Agreement.

Witness

JIMYE K. RUSSELL

Witness

STATE OF FLORIDA)
)
COUNTY OF SEMINOLE)

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Jimye K. Russell, who is personally known to me or who has produced _____ as identification and who did take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this ____ day of _____, 2005.

Notary Public, in and for the County and State
Aforementioned

My Commission Expires:

OWNER'S CONSENT AND COVENANT

COMES NOW, the owner, Jerry W. Cullum, on behalf of himself and his heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Developer's Commitment Agreement.

Witness

JERRY W. CULLUM

Witness

STATE OF FLORIDA)
)
COUNTY OF SEMINOLE)

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Jerry W. Cullum, who is personally known to me or who has produced _____ as identification and who did take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this ____ day of _____, 2005.

Notary Public, in and for the County and State
Aforementioned

My Commission Expires:

EXHIBIT A

Legal Description

PARCEL 1 (AMERICAN LAND DEVELOPMENT)

33-19-31-300-0200-0000

The East 316 feet of the South half of the Southeast Quarter of the Northwest Quarter, Section 33, Township 19 South, Range 31 East, Seminole County, Florida. LESS the South 25 feet and the East 25 feet thereof.

33-19-31-501-0000-00A0

Lots A and 1 through 12, MERRIWETHER TERRACE, according to the Plat thereof, as recorded in Plat Book 9, Page 70, Public Records of Seminole County, Florida.

33-19-31-501-0000-0130

Lots 13 through 24, MERRIWETHER TERRACE, according to the Plat thereof, as recorded in Plat Book 9, Page 70, Public Records of Seminole County, Florida.

33-19-31-300-0210-0000

The South Half of the Southeast Quarter of the Northwest Quarter (LESS the East 600 feet) in Section 33, Township 19 South, Range 31 East, Seminole County, Florida. LESS the South 25 feet thereof.

PARCEL 2 (GEHR)

33-19-31-300-0550-0000

The Northwest 1/4 of the Northeast 1/4 of the Southwest 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida, less the North 25 feet for 26th Street.

33-19-31-300-0560-0000

The Northeast 1/4 of the Northeast 1/4 of the Southwest 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida, less the North 25 feet for 26th Street and less the East 25 feet for Beardall Avenue.

33-19-31-300-057B-0000

The East 300 feet of the North 1/2 of the South 1/2 of the Southeast 1/4 of the Northeast 1/4 of the Northwest 1/4 of the Southwest 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

PARCEL 3 (MANJIKIAN)

33-19-31-300-0150-0000

The North 1/2 of the Southwest 1/4 of the Northeast 1/4 of Section 33, Township 19 South, Range 31 East, less right-of-way for Beardall Avenue, Seminole County, Florida.

PARCEL 4 (STENSTROM LEGACY)

33-19-31-300-0220-0000

The South 605 feet of the Northwest 1/4 of the Southeast 1/4 of the Northwest 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

33-19-31-300-0360-0000

The East 1/2 of the Northeast 1/4 of the Southwest 1/4 of the Northwest 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

33-19-31-300-0340-0000

The West 1/2 of the Northeast 1/4 of the Southwest 1/4 of the Northwest 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

33-19-31-300-0350-0000

The Northwest 1/4 of the Southwest 1/4 of the Northwest 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

33-19-31-300-0420-0000

The Southeast 1/4 of the Southwest 1/4 of the Northwest 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

PARCEL 5 (STENSTROM)

33-19-31-510-0000-0010

33-19-31-510-0000-0110

Lots 1 through 15, inclusive, and Lots 17 and 19, (less right-of-way for State Road 46) of CAMERON'S SUBDIVISION OF BECK HAMMOCK, a subdivision, according to the plat thereof as recorded in Plat book 1, page 88 of the Public records of Seminole County, Florida

33-19-31-300-129A-0000

The North 3/4 of the West 1/2 of the Southeast 1/4 of the Southeast 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

33-19-31-300-0129-0000

The Southwest 1/4 of the Northeast 1/4 of the Southeast 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

33-19-31-300-004C-0000

The North 3/4 of the East 1/2 of the Northeast 1/4 of the Southeast 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

AND

the South 1/2 of the Southeast 1/4 of the Northeast 1/4 of the Southeast 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

33-19-31-300-004D-0000

The North 1/2 of the Northeast 1/4 of the Southeast 1/4 Southeast 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

33-19-31-300-004B-0000

The East 1/2 of the Southeast 1/4 of the Northeast 1/4 of Section 33, Township 19 South, Range 31 East, LESS the North 1/2 thereof, and LESS road right of way on all of the above, Seminole County, Florida

33-19-31-300-004F-0000

The South 330 feet of the Northeast 1/4 of the Southeast 1/4 of the Northeast 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida, less roads.

33-19-31-300-004A-0000

The Northwest 1/4 of the Northeast 1/4 of the Southeast 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

AND

The Northwest 1/4 of the Southeast 1/4, less the North 134.5 feet of the West 209 feet, and less roads, Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

PARCEL 6 (JETT)

34-19-31-300-003A-0000

The North 552.89 feet of the Southwest 1/4 of the Southwest 1/4 of Section 34, Township 19 South, Range 31 East, Seminole County, Florida, lying West of State Road 415.

PARCEL 7 (RUSSELL)

33-19-31-300-0230-0000

The West half of the Northeast Quarter of the Northwest Quarter. LESS the North 10 acres of the East three quarters of the West half of the Northeast Quarter of the Northwest Quarter, Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

33-19-31-300-0270-0000

The Northwest Quarter of the Northwest Quarter, LESS the West 1016.3 feet thereof, and LESS from a point 30 feet South and 1024.3 feet East of the Northwest corner of Section 33, run South 0°18'40" West 142 feet, thence North 89°47'30" East 142 feet, thence North 0°18'40" East 142 feet, thence South 89°47'30" West 142 feet to the Point of Beginning.

PARCEL 8 (CULLUM)

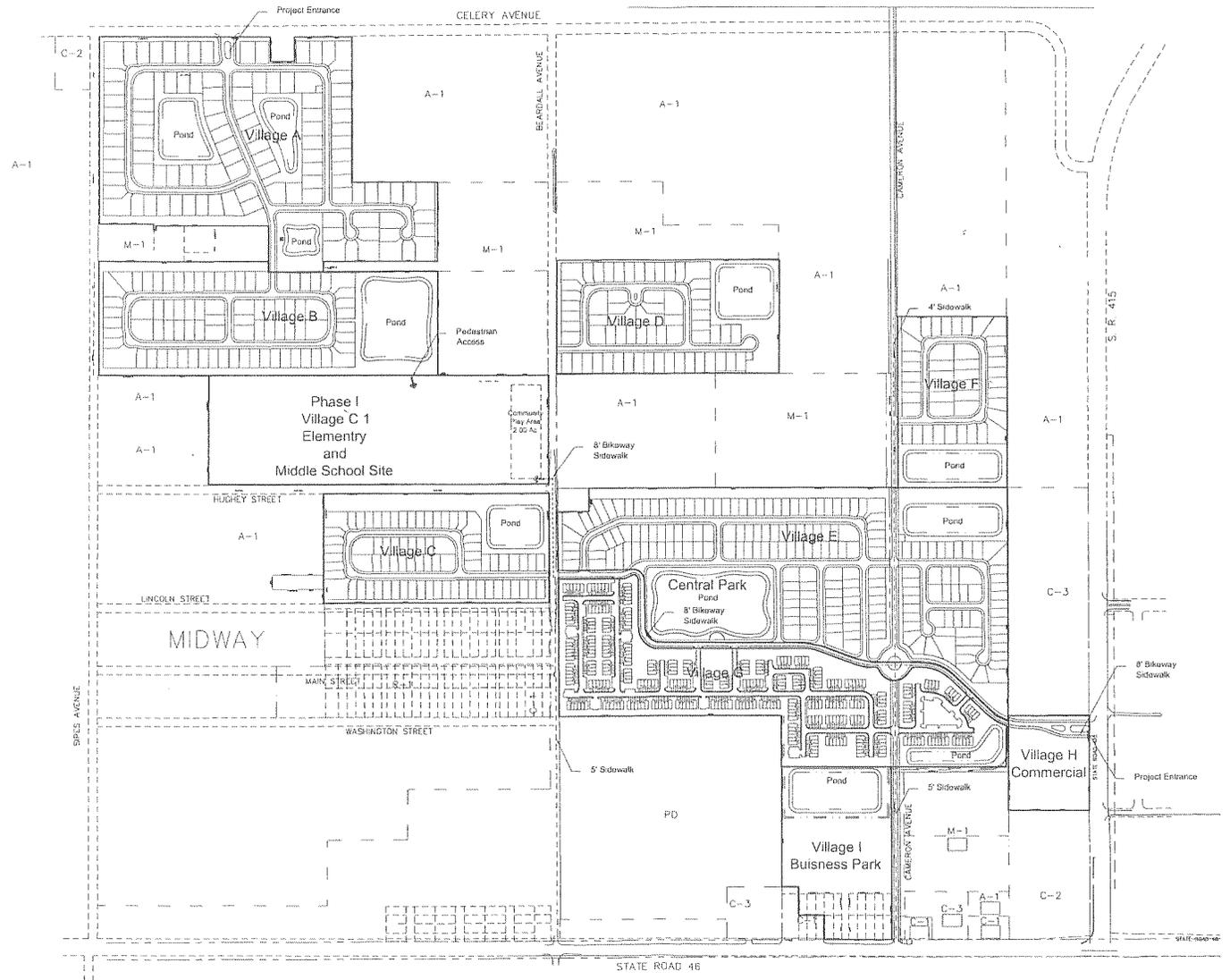
33-19-31-300-0290-0000

Begin 215 feet North of the Southwest corner of the Northwest 1/4 of the Northwest 1/4, run North to Northwest corner, East 1016.3 feet, South 1064.88 feet, West 633.69 feet, South 22 feet, West 12 Feet, North to a point East of Beginning, West to Point of Beginning.

Containing 265.74 acres, more or less

EXHIBIT B

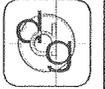
Final Master Plan



daly design group inc.
 Land Planning, Architecture, Project Management, Development, Consulting
 8131 Plantation Ave., Winter Park, Florida 32789 (407) 940-7373 www.dalydesign.com

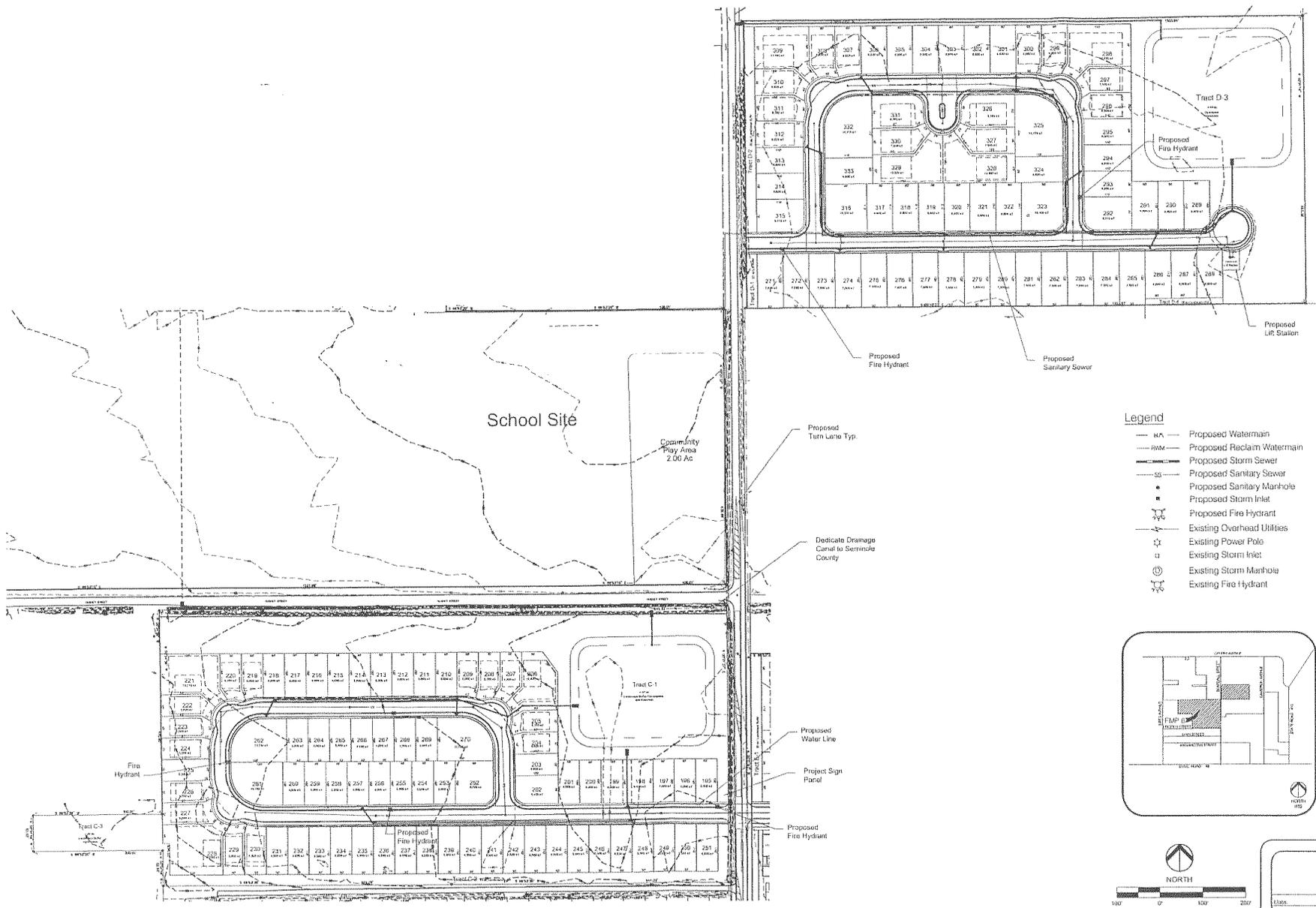
PROJECT NO.	2442
SCALE	1"=300'
DATE	July 2005
SHEET	FLP4

Master Plan / Transportation Plan
 Final Master Plan
 Cameron Heights
 Brevard County, Florida

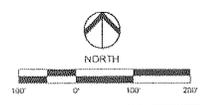
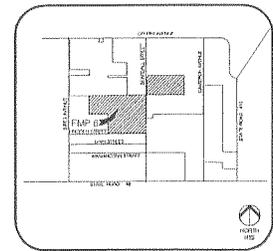


PROJECT NO.	2442
SCALE	1"=300'
DATE	July 2005
SHEET	FLP4

SEP 27 2005



- Legend**
- W — Proposed Watermain
 - RW — Proposed Reclaim Watermain
 - SS — Proposed Storm Sewer
 - SS — Proposed Sanitary Sewer
 - Proposed Sanitary Manhole
 - Proposed Storm Inlet
 - Proposed Fire Hydrant
 - Existing Overhead Utilities
 - ☆ Existing Power Pole
 - ⊙ Existing Storm Inlet
 - ⊙ Existing Storm Manhole
 - ⊙ Existing Fire Hydrant



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 913 N. Pinyavanna Ave., Winter Park, Florida 32789 (407) 740-2376 www.daydesign.com

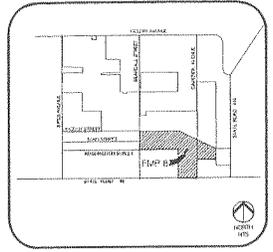
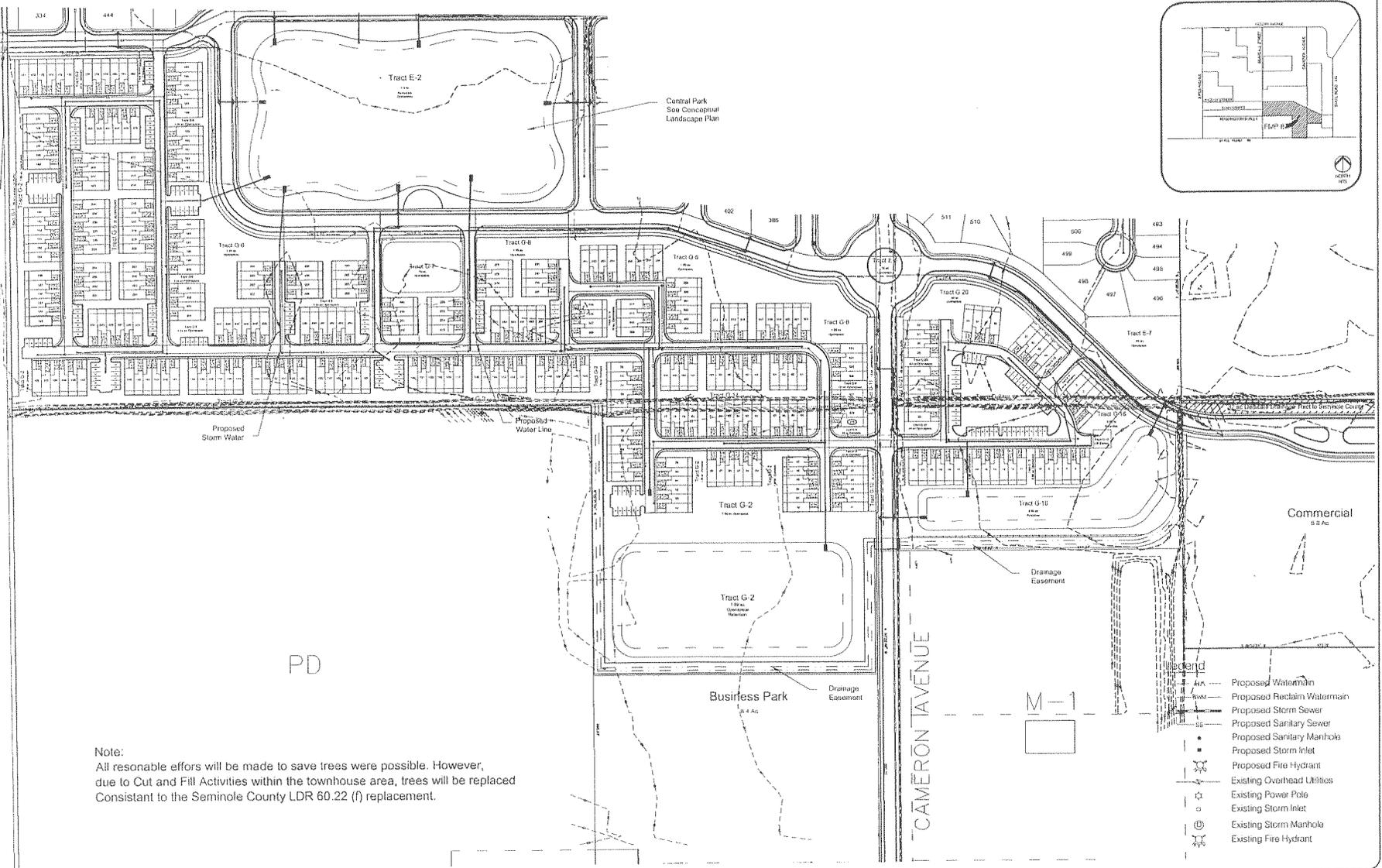
NO.	DATE	DESCRIPTION	BY
1	06/26/06	Final Master Plan	...
2	07/13/06	Final Master Plan	...
3	08/27/06	Final Master Plan	...

Village C and D Utility Plan
 Final Master Plan
 Cameron Heights
 Seminole County, Florida



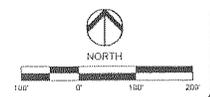
PROJECT NO. 2442
 SCALE 1"=100'
 DATE July 2006
 SHEET FMPS

SEP 27 2006



Note:
 All reasonable efforts will be made to save trees where possible. However, due to Cut and Fill Activities within the townhouse area, trees will be replaced Consistant to the Seminole County LDR 60.22 (f) replacement.

- Legend
- Proposed Watermain
 - Proposed Reclaim Watermain
 - Proposed Storm Sewer
 - Proposed Sanitary Sewer
 - Proposed Storm Inlet
 - Proposed Fire Hydrant
 - Existing Overhead Utilities
 - Existing Power Pole
 - Existing Storm Inlet
 - Existing Storm Manhole
 - Existing Fire Hydrant



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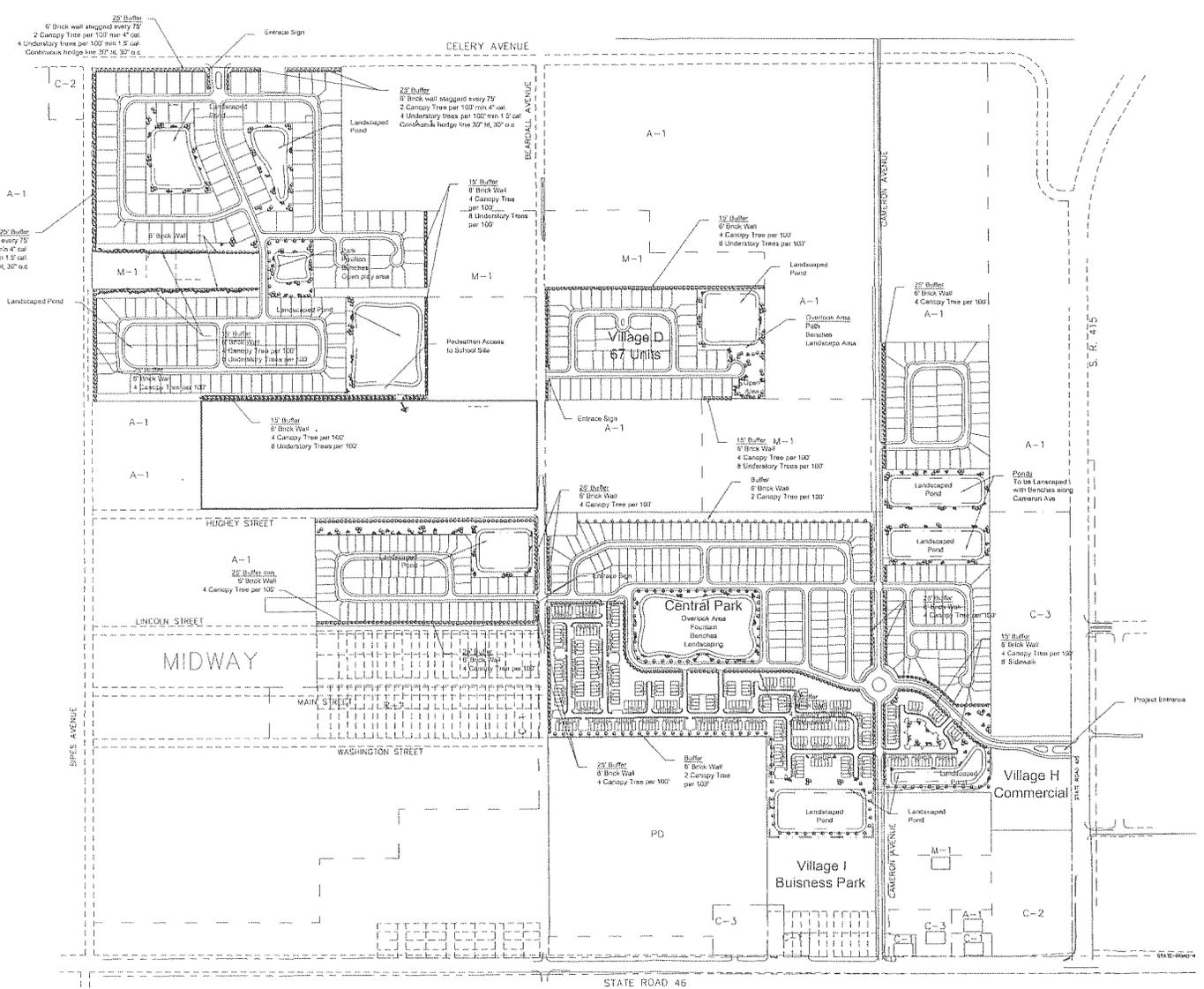
NO.	DATE	DESCRIPTION
1	08/27/05	Final Master Plan
2	09/13/05	Final Master Plan
3	09/27/05	Final Master Plan

Village G Utility Plan
 Final Master Plan
 Cameron Heights
 Seminole County, Florida



PROJECT NO.
 2442
 SCALE
 1"=100'
 DATE
 July 2005
 DRAWN BY
 FMPB

SEP 27 2005



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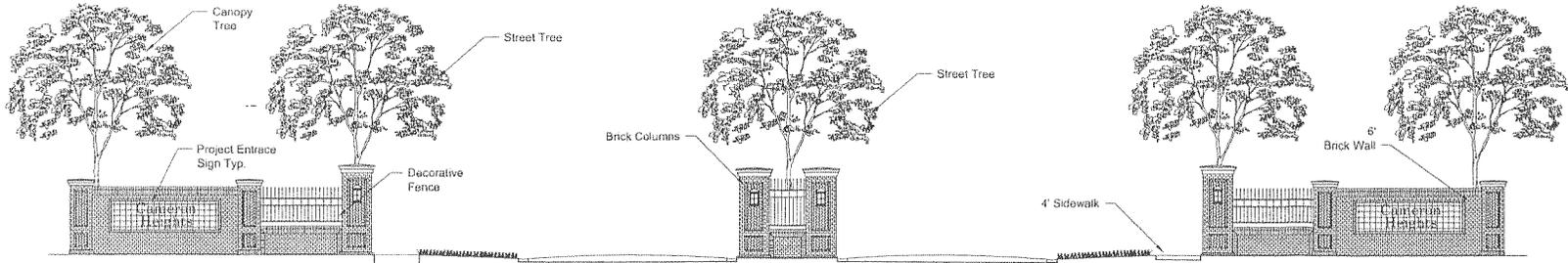
NO.	DATE	DESCRIPTION
1	08/13/05	Final Conceptual Landscape Plan
2	09/07/05	Final Master Plan
3	09/07/05	Final Master Plan

Conceptual Landscape Plan
 Final Master Plan
 Cameron Heights
 Seminole County, Florida

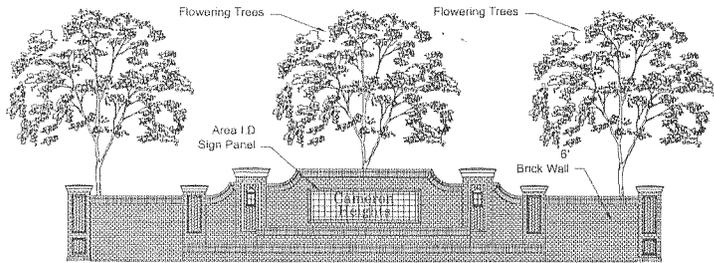


PROJECT NO
2442
 SCALE
1"=300'
 DATE
July 2005
 SHEET
FMP9

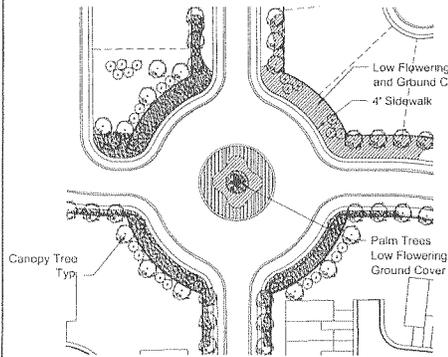
SEP 27 2005



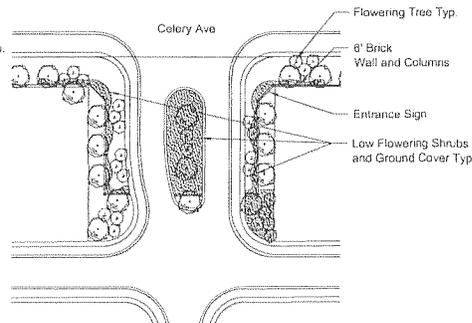
Celery Ave Entrance Elevation
not to scale



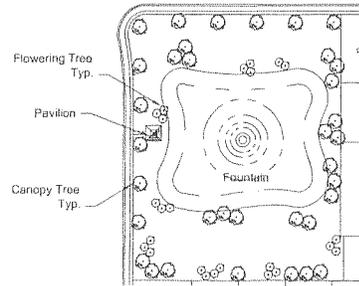
Cameron Heights Main Entrance Sign Elevation
not to scale



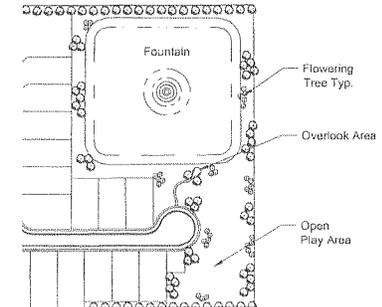
Round a Bout Landscape Detail
not to scale



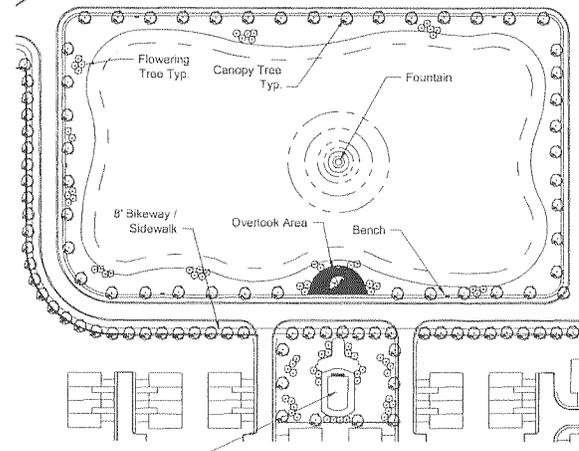
Celery Ave Entrance Detail
not to scale



Village A and B Recreation Area
not to scale



Village D Recreation Area
not to scale

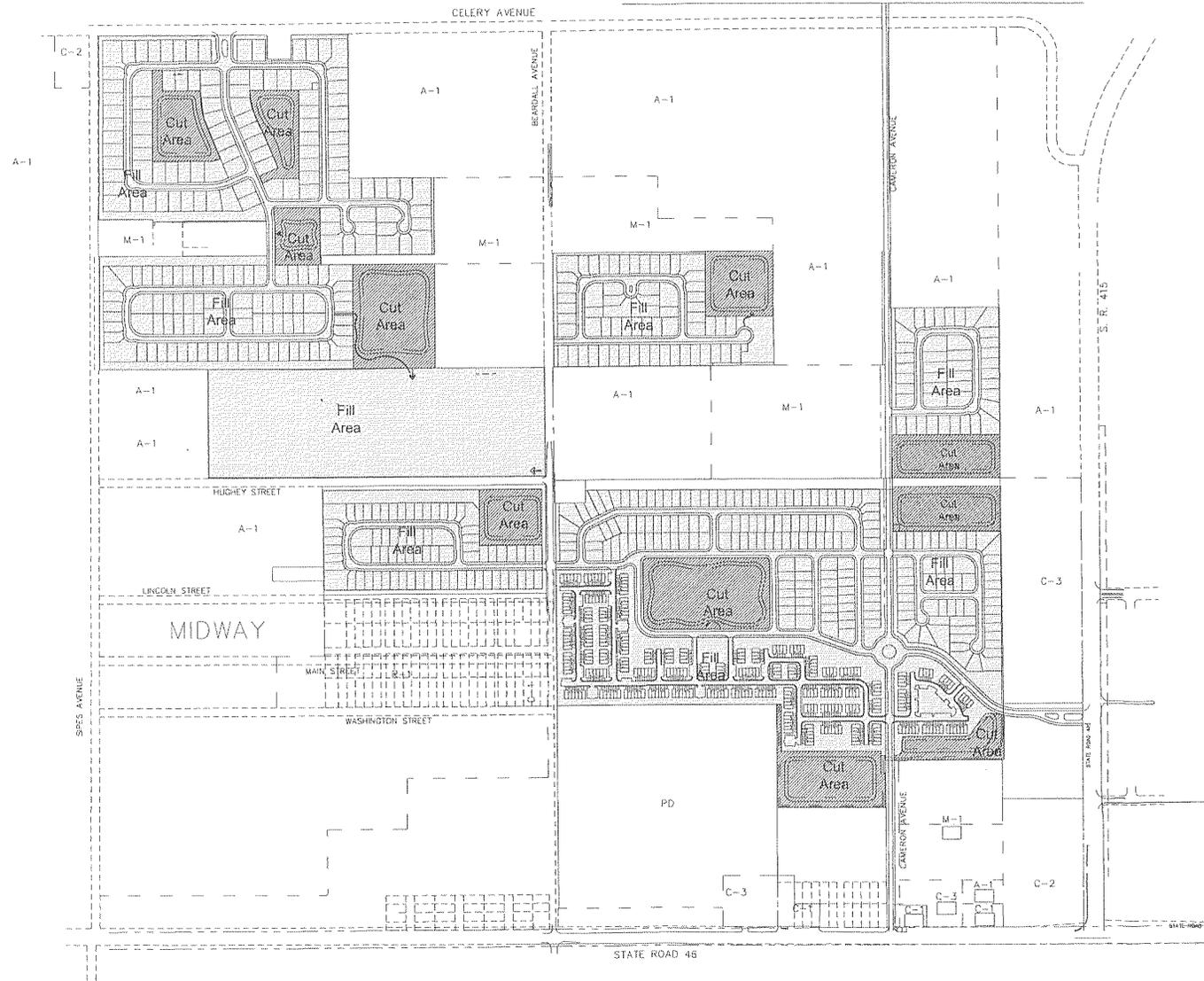


Central Park and Townhome Recreation Area
not to scale

REV	DATE	DESCRIPTION
1	09/27/06	Final Concept Landscape Plan
2	08/13/06	Rev. Sign Concept Landscape Plan



PROJECT NO.	2442
SCALE	Not to Scale
DATE	July 2005
SHEET	FMP-10



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 913 N. Pennsylvania Ave., Winter Park, Florida 32789 (407) 742-1373 www.daydesign.com

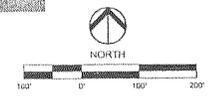
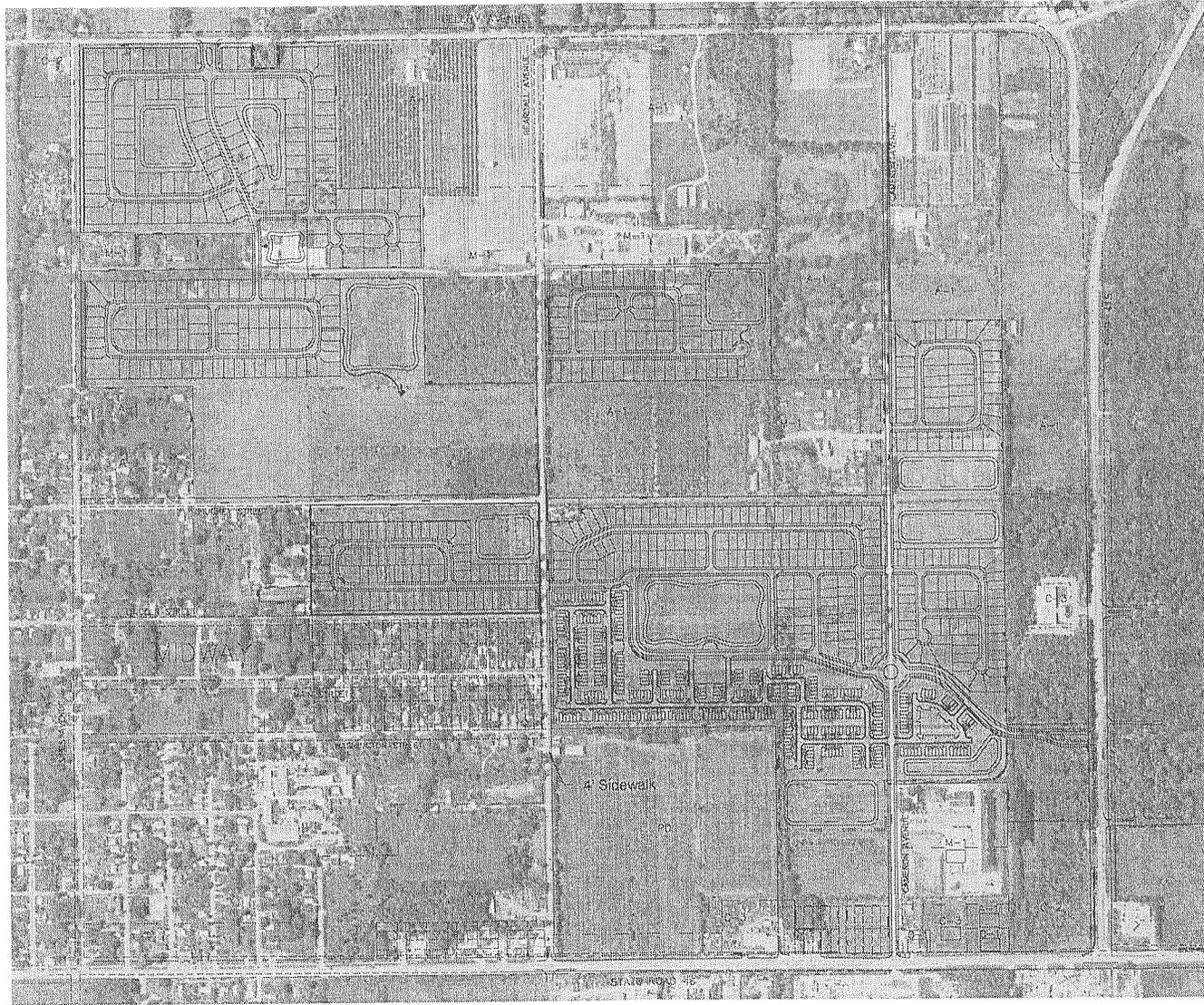
NO.	DATE	DESCRIPTION
1	09/27/05	Final Comm. Based on 10/10/04
2	09/27/05	Rev. Site Comm. Based on 10/10/04

Cut and Fill Plan
 Final Master Plan
 Cameron Heights
 Sumner County, Florida



PROJECT NO.	2442
SCALE	1"=100'
DATE	July 2005
PROJECT	FMP11

SEP 27 2005



**Aerial Photo
Final Master Plan
Cameron Heights**
Seminole County, Florida

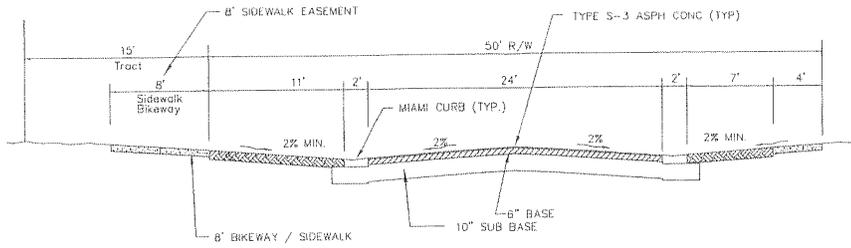


PROJECT NO.
2442
SCALE
1"=100'
DATE
July 2005
SHEET
FMP12

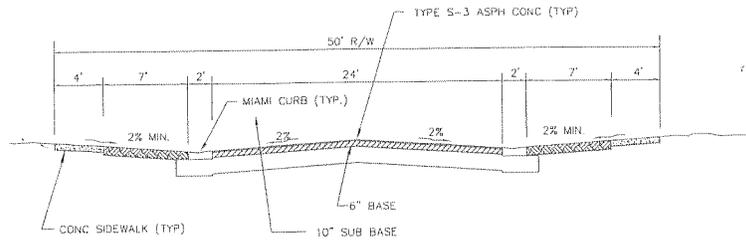
NO.	DATE	DESCRIPTION
1	09/13/05	REV. EAST SIDEWORKS DATED 08/13/05
2	09/07/05	REV. EAST SIDEWORKS DATED 08/13/05

ddy design group inc.
Land Planning, Landscape Architecture, Project Management, Development Consulting
913 N. Pennsylvania Ave., Winter Park, Florida 32789 (407) 740-6373 www.dydsgroup.com

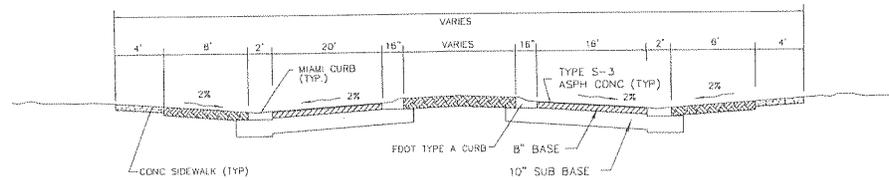
000 0 7 2005



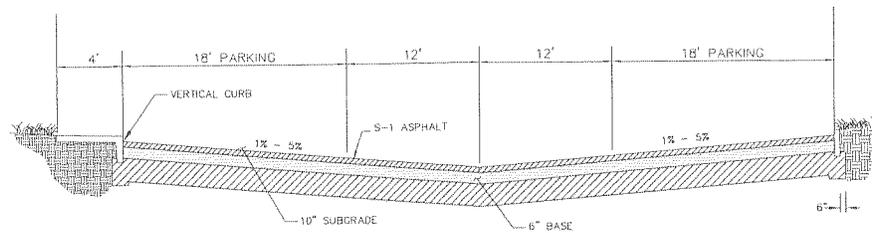
Typical 50' R/W Section w/ 8' Sidewalk Easement
not to scale



Typical 50' R/W Section
not to scale



Divided Entrance Section
not to scale



24' Private Roadway and Parking Section
not to scale

NO.	DATE	DESCRIPTION
1	08.07.05	Final Construction Details



EXHIBIT C

Residential Building Elevations

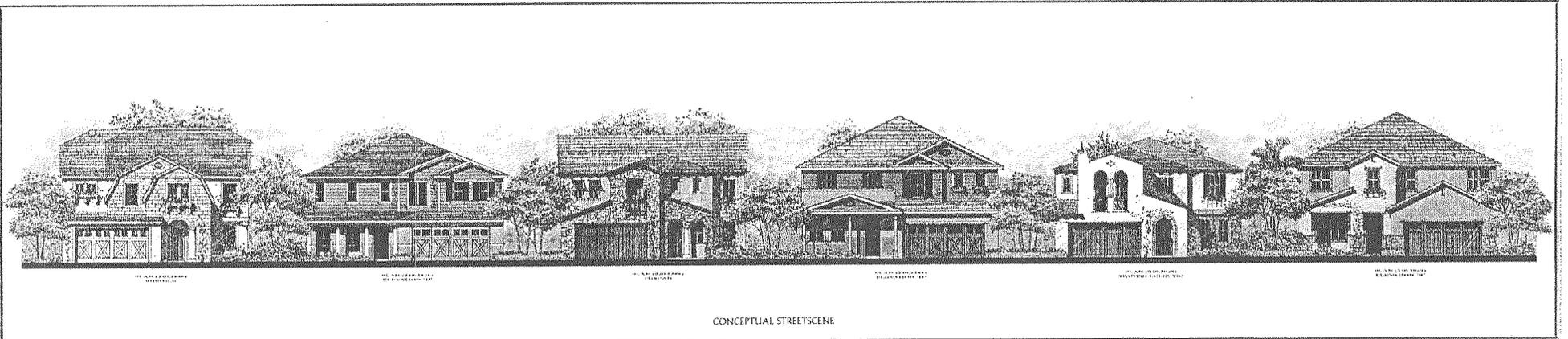


4-PLEX



TOWNHOME

KB HOME
JACKSONVILLE DIVISION

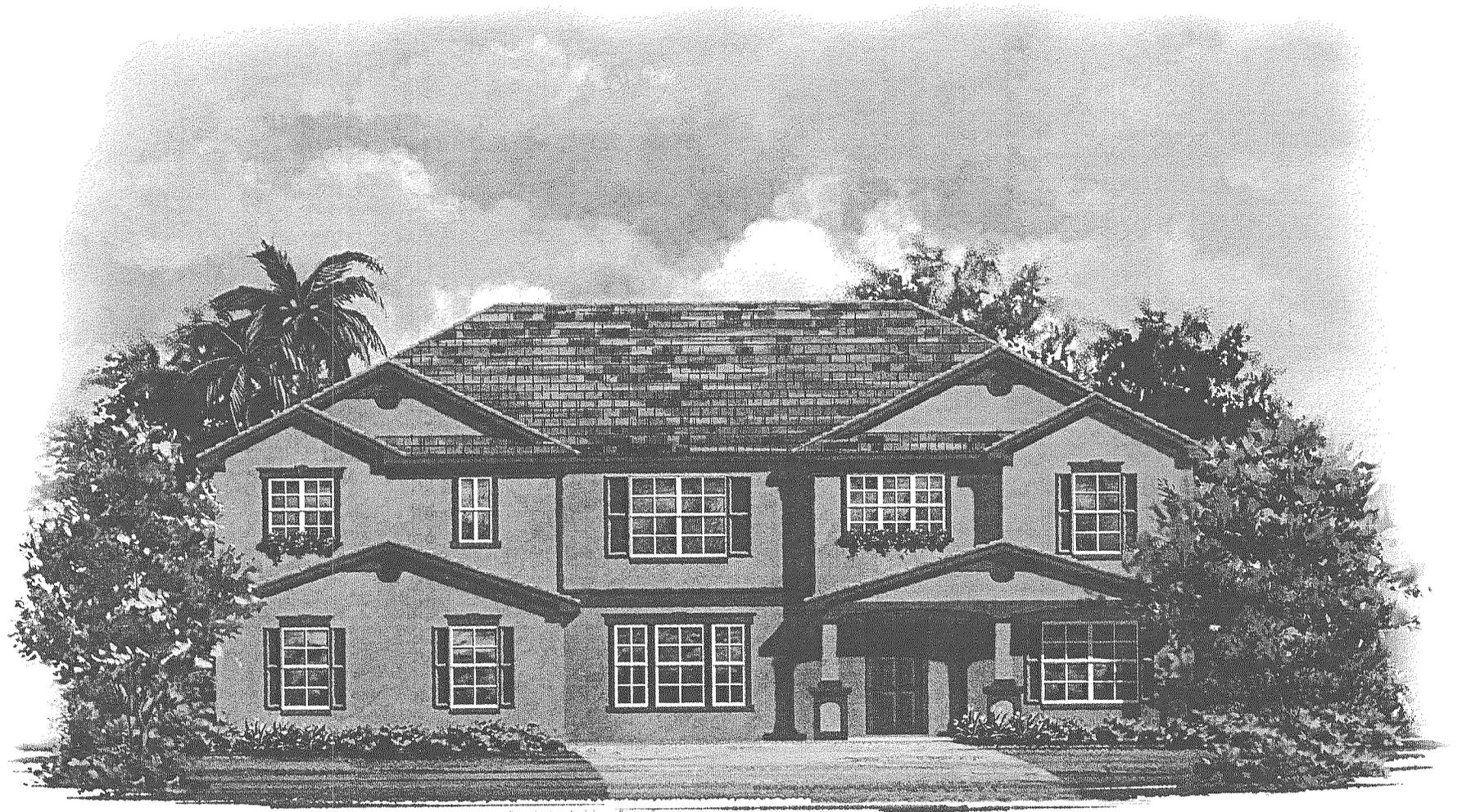


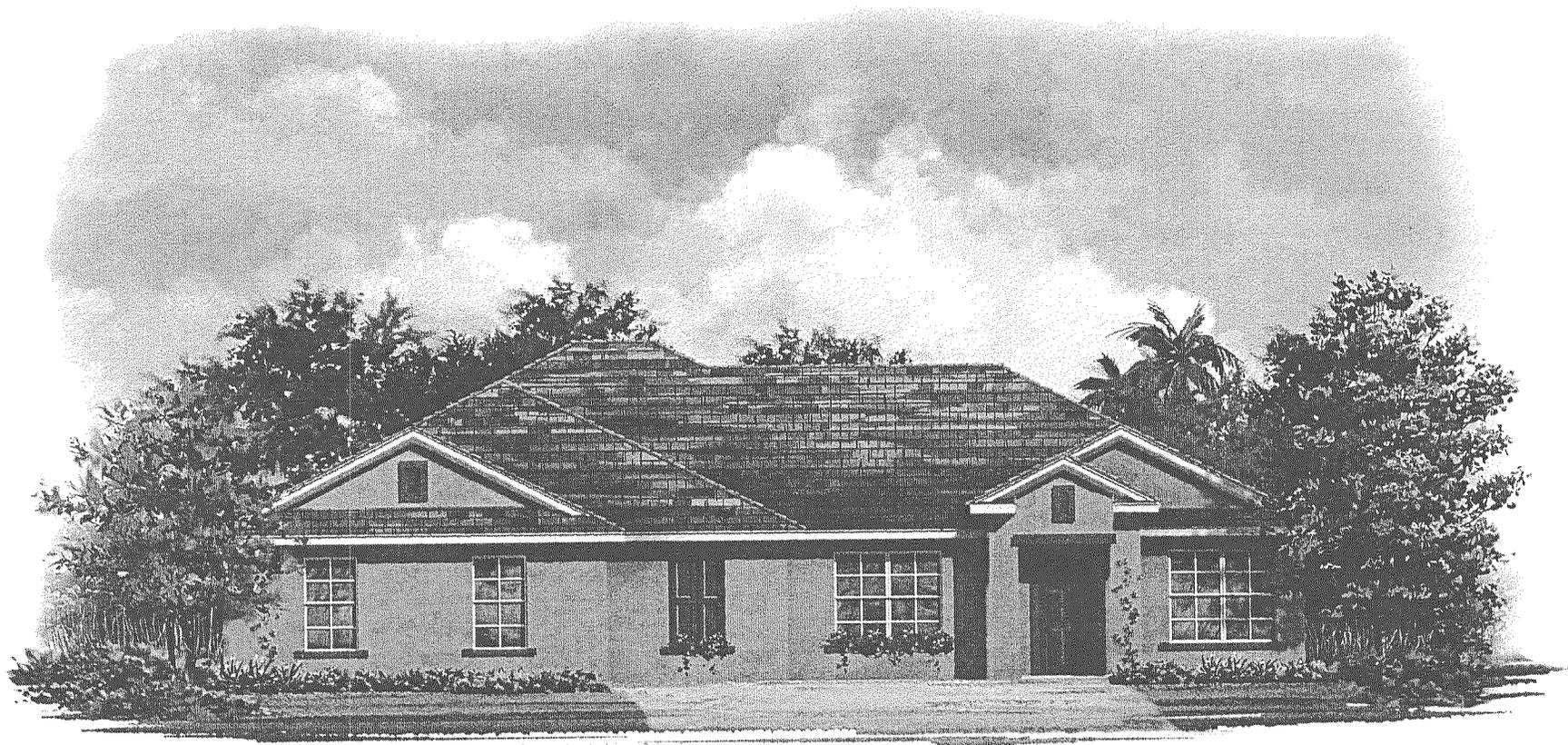
40' SERIES
KB HOME
ORLANDO DIVISION



GRAMERCY FARMS

KB HOME
ORLANDO DIVISION





**SEMINOLE COUNTY DEVELOPMENT
ORDER**

On May 10, 2005, Seminole County issued this Development Order relating to and touching and concerning the following described property:

Legal description attached as Exhibit A.

(The aforescribed legal description has been provided to Seminole County by the owner of the aforescribed property.)

FINDINGS OF FACT

Property Owner: AMERICAN LAND DEVELOPMENT INC.
GARNER J. & KATHLEEN A. GEHR
SEROP H. & SONA H. MANJIKIAN
CAROLYN P. STENSTROM
CHARLES L. & MARY E. JETT
JOHN F. & JIMYE K. RUSSELL
JERRY W. CULLUM

Project Name: CAMERON HEIGHTS PUD

Requested Development Approval: Large Scale Land Use Amendment from Suburban Estates (SE), Low Density Residential (LDR), Commercial and Industrial to Planned Development (PD); and rezone from Agriculture (A-1), Industrial (M-1), Retail Commercial (C-1), and Retail Commercial (C-2) to Planned Unit Development (PUD).

The Development Approval sought is consistent with the Seminole County Comprehensive Plan and will be developed consistent with and in compliance to applicable land development regulations and all other applicable regulations and ordinances.

The owner of the property has expressly agreed to be bound by and subject to the development conditions and commitments stated below and has covenanted and agreed to have such conditions and commitments run with, follow and perpetually burden the aforescribed property.

Prepared by: JEFF HOPPER
1101 East First Street
Sanford, Florida 32771

NOW, THEREFORE, IT IS ORDERED AND AGREED THAT:

- (1) The aforementioned application for development approval is **GRANTED**.
- (2) All development shall fully comply with all of the codes and ordinances in effect in Seminole County at the time of issuance of permits including all impact fee ordinances.
- (3) The conditions upon this development approval and the commitments made as to this development approval, all of which have been accepted by and agreed to by the owner of the property are as follows:

Single Family Tracts (A-F)

- a. Density shall not exceed 4 units per net buildable acre.
- b. Building setbacks shall be as follows:

<i>Residential Units</i>	
Front	20' from R/W
	20' from nearest edge of sidewalk
Side	5'
side street	20'
Rear	20'

<i>Accessory Buildings less than 200 s.f.</i>	
Side	5'
side street	20'
Rear	5'

<i>Pools and Screen Enclosures</i>		
	Screen Enclosure	Pool
Front	20'	22'
Side	5'	7'
side street	20	22'
Rear	5'	7'

- c. Where adjacent to properties in M-1 zoning or the Industrial future land use designation, single family development shall be separated from such properties by an active buffer per the Land Development Code. These buffers shall be located in common areas and shall not include any portion of any privately owned residential lot.
- d. Maximum building height shall be 35 feet.
- e. Lots shall be no less than 50 feet in width and 5,000 square feet in size. Corner lots shall be at least 5,750 square feet in size.
- f. Permitted uses shall be single family homes, home occupations, and home offices.

- g. Minimum house size shall be 1,700 s.f. of living area in Tract A, 1,600 s.f. of living area in Tracts B and D, and 1,500 s.f. of living area in Tracts C, E and F.
- h. Tracts A-F shall individually include 25% usable common open space, to be evaluated at Final Master Plan approval.
- i. Recreational uses to be provided within designated open space shall be established in the Final Master Plan.
- j. Where counted toward required open space, all retention ponds shall be configured as site amenities per Section 30.1344. This shall be evaluated at Final Master Plan approval.
- k. Adjacent to other properties in commercial or industrial zoning and/or future land use, including those within the PUD having designated uses of commercial and/or industrial, the developer shall provide a 6-foot PVC fence and a 15-foot buffer containing 4 canopy trees and 8 understory trees per 100 linear feet.
- l. All landscape buffers and common areas shall be maintained by a homeowners association.
- m. Development within Tract A shall comply with the Draft Celery Avenue Development Standards.
- n. All residential structures located south of Hughey Street and a line extending eastward from the eastern terminus of Hughey Street shall be constructed utilizing sound attenuation blankets in a manner acceptable to the Seminole County Building Official.
- o. Subdivision plats establishing residential lots within the limits of the subject property shall include a note (font size twelve point or larger) stating the following:

This property is located in proximity to an airport noise zone. The properties delineated on this plat are subject to aircraft noise that may be objectionable.

- p. The sale of each residential lot shall include a deed containing the following language in bold type face:

NOTICE OF AIRPORT NOISE

This property is located in proximity to an airport noise zone. Residents will be subject to aircraft noise that may be objectionable.

In addition, the developer voluntarily agrees that an avigation easement, in a form acceptable to the Sanford Airport Authority, shall be recorded before issuance of a County building permit for any residential development. The avigation easement shall apply to all property upon which any residential use is to be constructed.

Townhouse Tract (Tract G)

- q. All units shall be located on individual lots to be sold fee simple.
- r. Density shall be limited to a maximum of 10 units per net buildable acre.
- s. All residential structures shall be constructed utilizing sound attenuation blankets in a manner acceptable to the Seminole County Building Official.
- t. Building setbacks shall be as follows:

<i>Townhouse Units</i>	
Front	20' from R/W
	20' from nearest edge of sidewalk
side	0'
side street	20'
rear	10'

<i>Building Separation Requirements</i>	
Side to side	20'
Side to rear	30'
Rear to rear	40'

- u. Where adjacent to properties in M-1 zoning or the Industrial future land use designation, townhouse units shall be separated from such properties by an active buffer per the Land Development Code. These buffers shall be located in common areas and shall not include any portion of any privately owned residential lot.
- v. No accessory buildings shall be permitted on individual platted lots.
- w. Maximum building height shall be 2 stories and 35 feet.
- x. Lots shall be no less than 20 feet in width.
- y. Permitted uses shall be townhouse residential units, home occupations, and home offices.
- z. Minimum living area shall be 1,100 square feet.
- aa. The site shall include 25% usable common open space, to be evaluated at Final Master Plan approval.
- bb. Recreational uses to be provided within designated open space shall be established in the Final Master Plan.
- cc. Where counted toward required open space, all retention ponds shall be configured as site amenities per Section 30.1344. This shall be evaluated at Final Master Plan approval.
- dd. Required parking shall be 2 spaces per unit, and shall be provided on individual lots.
- ee. Visitor parking shall be provided at the rate of 1 space per 3 units.
- ff. Garages shall not be converted to living area unless 2 parking spaces remain on each platted lot after such conversion.
- gg. Storage of recreation vehicles, boats on trailers, or trailers of any kind must be accommodated off-site or in a designated parking area separate from platted lots.
- hh. Sidewalks shall be provided adjacent to all units, on both sides of internal streets.
- ii. Front walls of townhouse units shall be staggered.
- jj. Architectural renderings of the units shall be presented and approved at Final Master Plan.
- kk. All landscape buffers and common areas shall be maintained by a homeowners association.
- ll. The developer shall provide a pedestrian circulation system giving access to all portions of the development as well as connecting to public sidewalks outside the development.
- mm. At Final Master Plan, the applicant shall demonstrate that 25 percent of trees on the site are being preserved.
- nn. All residential structures shall be constructed utilizing sound attenuation blankets in a manner acceptable to the Seminole County Building Official.

- oo. Subdivision plats establishing residential lots within the limits of the subject property shall include a note (font size twelve point or larger) stating the following:

This property is located in proximity to an airport noise zone. The properties delineated on this plat are subject to aircraft noise that may be objectionable.

- pp. The sale of each residential lot shall include a deed containing the following language in bold type face:

NOTICE OF AIRPORT NOISE

This property is located in proximity to an airport noise zone. Residents will be subject to aircraft noise that may be objectionable.

In addition, the developer voluntarily agrees that an avigation easement, in a form acceptable to the Sanford Airport Authority, shall be recorded before issuance of a County building permit for any residential development. The avigation easement shall apply to all property upon which any residential use is to be constructed.

Commercial Tract (Tract H)

- qq. Allowable uses shall be those listed in the Land Development Code as permitted and special exception uses in the C-1 district. Permitted uses shall also include gas stations and car washes.
- rr. Prohibited uses shall be as follows:
- adult entertainment establishments
 - alcoholic beverage establishments
 - automobile and boat sales and service
 - communication towers
 - multifamily housing
 - outdoor advertising signs
 - tattoo parlors
 - pawn shops
- ss. Maximum floor area ratio (FAR) shall be 0.35.
- tt. Setbacks and building heights shall be per C-1 standards.
- uu. Active-passive buffer standards shall be employed where Tract H adjoins Tracts G and E.
- vv. Tract H shall not have direct access to SR 415.

Business Park Tract (Tract I)

- ww. Allowable uses shall be as follows:
- Office per OP district standards
 - Light industrial per M-1A standards
 - Commercial uses listed in the Land Development Code as permitted and special exception uses in the C-1 district, except communication towers shall be permitted by special exception only
 - Maximum floor area ratio (FAR) shall be 0.40

- xx. Prohibited uses shall be as follows:
- adult entertainment establishments
 - alcoholic beverage establishments
 - automobile and boat sales and service
 - multifamily housing
 - outdoor advertising signs
 - tattoo parlors
 - pawn shops

All Tracts

- yy. The Developer shall obtain concurrency approval for the PUD, or any phase thereof.
- zz. Central potable water and sewer service shall be required for all development within the project.
- aaa. Cameron Ave. shall be a through road and shall be constructed to County standards between SR 46 and Celery Ave.
- bbb. Developer shall dedicate sufficient property to create 40-foot half rights-of-way for Cameron and Beardall Avenues.
- ccc. Turn lanes shall be provided at project entrances on SR 415 and SR 46.
- ddd. Turn lanes shall be provided where subdivision entrances access Beardall Ave., and at the Beardall intersections of Celery Ave. and SR 46.
- eee. The developer shall be financially responsible for any traffic lights warranted by the project.
- fff. Prior to Final Master Plan approval, the developer shall re-evaluate the current basin study to verify the capacity of the downstream system to handle stormwater from the project.

(4) This Development Order touches and concerns the aforescribed property and the conditions, commitments and provisions of this Development Order shall perpetually burden, run with and follow the said property and be a servitude upon and binding upon said property unless released in whole or part by action of Seminole County by virtue of a document of equal dignity herewith. The owner of the said property has expressly covenanted and agreed to this provision and all other terms and provisions of this Development Order.

(5) The terms and provisions of this Order are not severable and in the event any portion of this Order shall be found to be invalid or illegal then the entire order shall be null and void.

FILE # Z2004-059

DEVELOPMENT ORDER #4-23000009

Done and Ordered on the date first written above.

By: _____
Carlton D. Henley, Chairman
Board of County Commissioners

EXHIBIT A

PROJECT LEGAL DESCRIPTION

PARCEL 1 (AMERICAN LAND DEVELOPMENT)

33-19-31-300-0200-0000

The East 316 feet of the South half of the Southeast Quarter of the Northwest Quarter, Section 33, Township 19 South, Range 31 East, Seminole County, Florida. LESS the South 25 feet and the East 25 feet thereof.

33-19-31-501-0000-00A0

Lots A and 1 through 12, MERRIWETHER TERRACE, according to the Plat thereof, as recorded in Plat Book 9, Page 70, Public Records of Seminole County, Florida.

33-19-31-501-0000-0130

Lots 13 through 24, MERRIWETHER TERRACE, according to the Plat thereof, as recorded in Plat Book 9, Page 70, Public Records of Seminole County, Florida.

33-19-31-300-0210-0000

The South Half of the Southeast Quarter of the Northwest Quarter (LESS the East 600 feet) in Section 33, Township 19 South, Range 31 East, Seminole County, Florida. LESS the South 25 feet thereof.

PARCEL 2 (GEHR)

33-19-31-300-0550-0000

The Northwest 1/4 of the Northeast 1/4 of the Southwest 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida, less the North 25 feet for 26th Street.

33-19-31-300-0560-0000

The Northeast 1/4 of the Northeast 1/4 of the Southwest 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida, less the North 25 feet for 26th Street and less the East 25 feet for Beardall Avenue.

33-19-31-300-057B-0000

The East 300 feet of the North 1/2 of the South 1/2 of the Southeast 1/4 of the Northeast 1/4 of the Northwest 1/4 of the Southwest 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

PARCEL 3 (MANJIKIAN)

33-19-31-300-0150-0000

The North 1/2 of the Southwest 1/4 of the Northeast 1/4 of Section 33, Township 19 South, Range 31 East, less right-of-way for Beardall Avenue, Seminole County, Florida.

PARCEL 4 (STENSTROM LEGACY)

33-19-31-300-0220-0000

The South 605 feet of the Northwest 1/4 of the Southeast 1/4 of the Northwest 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

33-19-31-300-0360-0000

The East 1/2 of the Northeast 1/4 of the Southwest 1/4 of the Northwest 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

33-19-31-300-0340-0000

The West 1/2 of the Northeast 1/4 of the Southwest 1/4 of the Northwest 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

33-19-31-300-0350-0000

The Northwest 1/4 of the Southwest 1/4 of the Northwest 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

33-19-31-300-0420-0000

The Southeast 1/4 of the Southwest 1/4 of the Northwest 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

PARCEL 5 (STENSTROM)

33-19-31-510-0000-0010

33-19-31-510-0000-0110

Lots 1 through 15, inclusive, and Lots 17 and 19, (less right-of-way for State Road 46) of CAMERON'S SUBDIVISION OF BECK HAMMOCK, a subdivision, according to the plat thereof as recorded in Plat book 1, page 88 of the Public records of Seminole County, Florida

33-19-31-300-129A-0000

The North 3/4 of the West 1/2 of the Southeast 1/4 of the Southeast 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

33-19-31-300-0129-0000

The Southwest 1/4 of the Northeast 1/4 of the Southeast 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

33-19-31-300-004C-0000

The North 3/4 of the East 1/2 of the Northeast 1/4 of the Southeast 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

AND

the South 1/2 of the Southeast 1/4 of the Northeast 1/4 of the Southeast 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

33-19-31-300-004D-0000

The North 1/2 of the Northeast 1/4 of the Southeast 1/4 Southeast 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

33-19-31-300-004B-0000

The East 1/2 of the Southeast 1/4 of the Northeast 1/4 of Section 33, Township 19 South, Range 31 East, LESS the North 1/2 thereof, and LESS road right of way on all of the above, Seminole County, Florida

33-19-31-300-004F-0000

The South 330 feet of the Northeast 1/4 of the Southeast 1/4 of the Northeast 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida, less roads.

33-19-31-300-004A-0000

The Northwest 1/4 of the Northeast 1/4 of the Southeast 1/4 of Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

AND

The Northwest 1/4 of the Southeast 1/4, less the North 134.5 feet of the West 209 feet, and less roads, Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

PARCEL 6 (JETT)

34-19-31-300-003A-0000

The North 552.89 feet of the Southwest 1/4 of the Southwest 1/4 of Section 34, Township 19 South, Range 31 East, Seminole County, Florida, lying West of State Road 415.

PARCEL 7 (RUSSELL)

33-19-31-300-0230-0000

The West half of the Northeast Quarter of the Northwest Quarter. LESS the North 10 acres of the East three quarters of the West half of the Northeast Quarter of the Northwest Quarter, Section 33, Township 19 South, Range 31 East, Seminole County, Florida.

33-19-31-300-0270-0000

The Northwest Quarter of the Northwest Quarter, LESS the West 1016.3 feet thereof, and LESS from a point 30 feet South and 1024.3 feet East of the Northwest corner of Section 33, run South 0°18'40" West 142 feet, thence North 89°47'30" East 142 feet, thence North 0°18'40" East 142 feet, thence South 89°47'30" West 142 feet to the Point of Beginning.

FILE # Z2004-059

DEVELOPMENT ORDER #4-23000009

PARCEL 8 (CULLUM)

33-19-31-300-0290-0000

Begin 215 feet North of the Southwest corner of the Northwest 1/4 of the Northwest 1/4, run North to Northwest corner, East 1016.3 feet, South 1064.88 feet, West 633.69 feet, South 22 feet, West 12 Feet, North to a point East of Beginning, West to Point of Beginning.

Containing 265.74 acres, more or less