

Item # 46

**SEMINOLE COUNTY GOVERNMENT  
AGENDA MEMORANDUM**

**SUBJECT:** Savannah Park at Heathrow Final Master Plan / Developer's  
Commitment Agreement (Charles Madden, applicant)

**DEPARTMENT:** Planning & Development **DIVISION:** Planning

**AUTHORIZED BY:** Dan Matthys **CONTACT:** Jeff Hopper **EXT.** 7431

**Agenda Date** 10/11/05 **Regular**  **Consent**  **Work Session**  **Briefing**   
**Public Hearing – 1:30**  **Public Hearing – 7:00**

**MOTION/RECOMMENDATION:**

1. APPROVE the Final Master Plan and Developer's Commitment Agreement for Savannah Park PUD, located on the west side of International Parkway between Wayside Drive and Wilson Road, and authorize the Chairman to execute same; based on staff findings (Charles Madden, applicant); or
2. DENY the Final Master Plan and Developer's Commitment Agreement for Savannah Park PUD; located on the west side of International Parkway between Wayside Drive and Wilson Road, (Charles Madden, applicant); or
3. CONTINUE the public hearing until a time and date certain.

District 5 – Comm. Carey

Jeff Hopper, Senior Planner

**BACKGROUND:**

The applicant is proposing a mixed-use residential and commercial development consisting of 163 townhouse units, 40 condominium units, 48,736 s.f. of office space, and 43,211 s.f. of retail space. The 33.6-acre project, rezoned in 2004, was approved as two separate PUDs consisting of 9.9 and 23.7 acres respectively. These approvals entailed both small scale and large scale amendments to the Vision 2020 Plan.

The smaller PUD, located at the south end of the subject property, adjacent to Wilson Road, is limited to townhouse residential use. The larger PUD, extending north to Wayside Drive, contains areas of townhouses separated by a mixed use parcel where office, retail, and condominium uses will be located. At this point in the process, the two developments are being combined under a single Final Master Plan and Developer's Commitment Agreement, which will implement the requirements of the separate Development Orders of the original approval.

<b>Reviewed by:</b>
<b>Co Atty:</b> <u>CR</u>
<b>DFS:</b> _____
<b>Other:</b> _____
<b>DCM:</b> _____
<b>CM:</b> _____
<b>File No.</b> <u>ph130pdp03</u>

As required by the Preliminary Master Plan, the applicant is providing a 50-foot undisturbed buffer adjacent to the Tall Trees neighborhood to the west of the development. To avoid the need to remove vegetation in the buffer, no retention facilities will be permitted within this area, and landscaping will be added as needed to achieve an "active" buffer as defined by the Land Development Code.

The mixed use area would include 6 buildings having 3 stories, while the remaining buildings would be limited to 1 and 2 stories. All 3-story buildings will be subject to a 90-foot setback from the west property line. Townhouse units will not exceed 2 stories.

Primary access to the site will be from International Parkway, with the main entrance leading into the office/retail portion of the development. Additional access points, serving the residential areas at the north and south ends of the site, will be provided on Wilson Road and Wayside Drive.

In approving the Development Orders for Savannah Park in February and June of 2004, the Board stipulated that the Final Master Plan would be a public hearing.

**STAFF RECOMMENDATION:**

Staff finds that the proposed Final Master Plan is consistent with the Preliminary Master Plan and Development Orders, and recommends APPROVAL of the request.

Attachments:

Final Master Plan  
Developer's Commitment Agreement  
Building Elevations  
Savannah Park Preliminary Master Plan  
Savannah Park Development Order, Small Scale Land Use Amendment  
Savannah Park Development Order, Large Scale Land Use Amendment

**TRACT TABLE**

TRACT	TRACT USE	ACREAGE	PERCENT
<b>SOUTH RESIDENTIAL</b>			
A	UTILITY AND ACCESS RIGHT-OF-WAY	2.70 AC.	8.03%
B	RETENTION	1.38 AC.	4.04%
C	RETENTION	0.60 AC.	1.78%
D	OPEN SPACE / COMMON AREA / LANDSCAPE BUFFER / BUILDING SETBACK / SIDEWALK	1.87 AC.	5.55%
E	OPEN SPACE / COMMON AREA / SIDEWALK	0.28 AC.	0.83%
F	OPEN SPACE / COMMON AREA / SIDEWALK	0.94 AC.	2.79%
G	OPEN SPACE / SIDEWALK	0.14 AC.	0.42%
H	OPEN SPACE / LANDSCAPE BUFFER / BUILDING SETBACK / SIDEWALK	1.33 AC.	3.95%
	FEE SIMPLE TOWNHOMES	5.43 AC.	16.15%
	TOTAL AREA SOUTH RESIDENTIAL	14.78 AC.	43.89%
<b>COMMERCIAL</b>			
I	MIXED USE	6.80 AC.	20.28%
<b>NORTH RESIDENTIAL</b>			
J	UTILITY AND ACCESS RIGHT-OF-WAY	1.52 AC.	4.52%
K	RETENTION	0.32 AC.	0.95%
L	RETENTION	0.68 AC.	1.98%
M	OPEN SPACE / COMMON AREA / LANDSCAPE BUFFER / BUILDING SETBACK / SIDEWALK	1.81 AC.	4.79%
N	OPEN SPACE / COMMON AREA / SIDEWALK	0.69 AC.	2.05%
O	OPEN SPACE / SIDEWALK	0.73 AC.	2.17%
P	OPEN SPACE / LANDSCAPE BUFFER / BUILDING SETBACK / SIDEWALK	3.31 AC.	10.43%
	FEE SIMPLE TOWNHOMES	8.04 AC.	24.87%
	TOTAL AREA NORTH RESIDENTIAL	18.43 AC.	55.87%
	TOTAL SITE AREA	33.84 AC.	100%

**OPEN SPACE (SMALL SCALE AMENDMENT)**

REQUIRED OPEN SPACE = 25% OF TOTAL SITE AREA.  
 TOTAL SITE AREA = 6.90 AC.  
 TOTAL OPEN SPACE REQUIRED = 9.90 X 0.25 = 2.48 AC.

OPEN SPACE PROVIDED:  
 TOTAL SITE AREA = 6.90 AC.  
 - INTERNAL ROADWAY AND PARKING (2.04 AC.)  
 - REQUIRED BUFFER AREAS (0.89 AC.)  
 - FEE SIMPLE TOWNHOME LOTS AND GARAGES (4.01 AC.)  
 - UPLAND COMMON AREAS LESS THAN 15' IN WIDTH, NOT AMENITIZED WITH SIDEWALK (0.09 AC.)

USABLE OPEN SPACE:  
 6.90 AC. - 2.04 AC. - 0.89 AC. - 4.01 AC. - 0.09 AC. = 3.07 AC. (31.0%)

**OPEN SPACE (LARGE SCALE AMENDMENT)**

REQUIRED OPEN SPACE = 25% OF TOTAL SITE AREA.  
 TOTAL SITE AREA = 23.74 AC.  
 TOTAL OPEN SPACE REQUIRED = 23.74 X 0.25 = 5.94 AC.

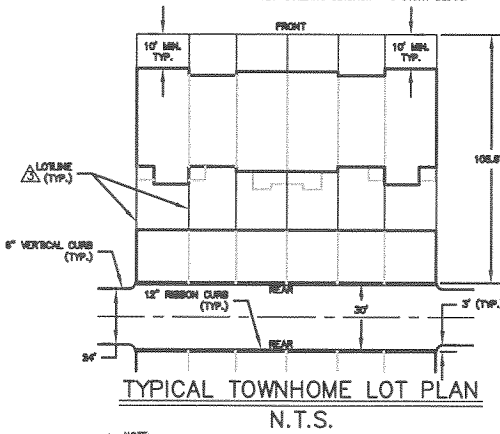
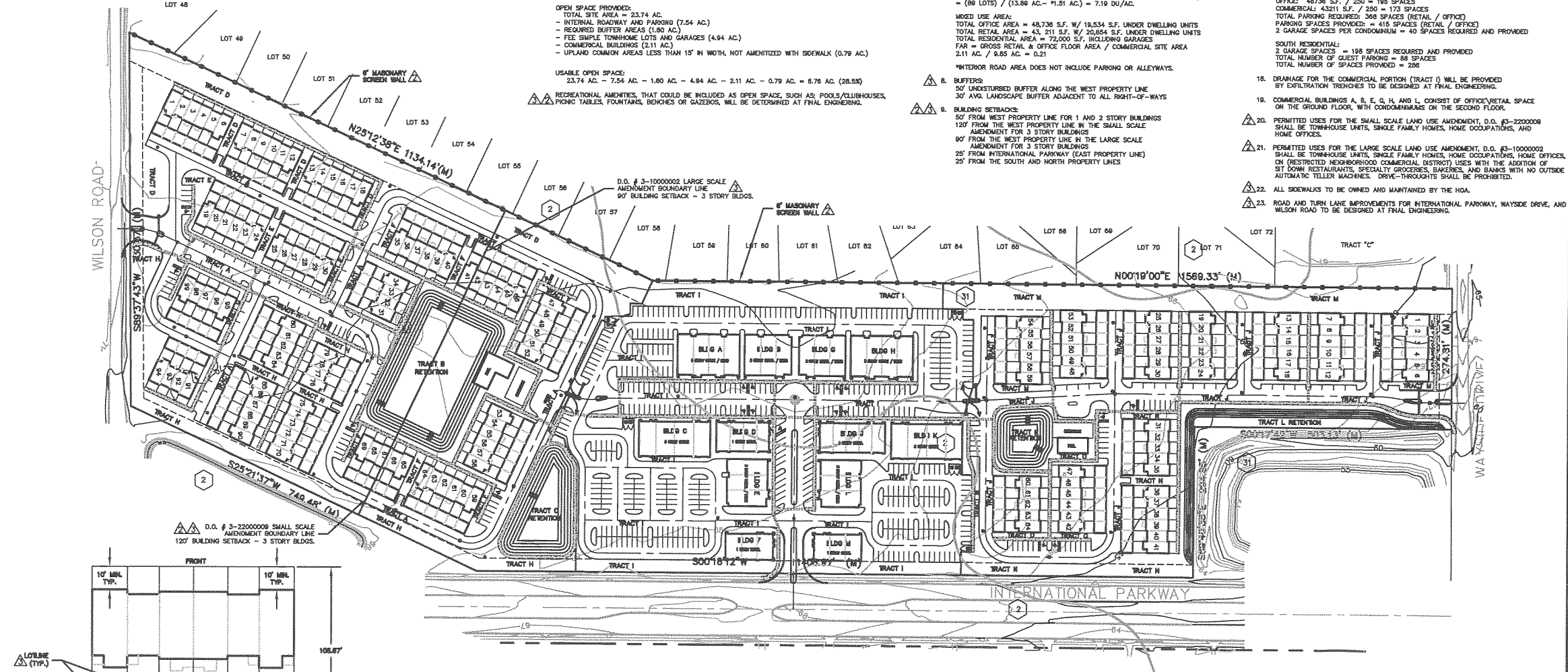
OPEN SPACE PROVIDED:  
 TOTAL SITE AREA = 23.74 AC.  
 - INTERNAL ROADWAY AND PARKING (7.54 AC.)  
 - REQUIRED BUFFER AREAS (1.80 AC.)  
 - FEE SIMPLE TOWNHOME LOTS AND GARAGES (4.94 AC.)  
 - COMMERCIAL BUILDINGS (2.11 AC.)  
 - UPLAND COMMON AREAS LESS THAN 15' IN WIDTH, NOT AMENITIZED WITH SIDEWALK (0.79 AC.)

USABLE OPEN SPACE:  
 23.74 AC. - 7.54 AC. - 1.80 AC. - 4.94 AC. - 2.11 AC. - 0.79 AC. = 6.76 AC. (28.5%)

RECREATIONAL AMENITIES THAT COULD BE INCLUDED AS OPEN SPACE, SUCH AS POOLS/COLIBRIBUS, PICNIC TABLES, FOUNTAINS, BENCHES OR GAZEBOES, WILL BE DETERMINED AT FINAL ENGINEERING.

**SITE DATA NOTES**

- PARCEL ID # 30-19-30-300-0410-0000
- EXISTING ZONING: FUD, PLANNED UNIT DEVELOPMENT
- SITE AREA:  
 D.O. # 3-22000009 SMALL SCALE AMENDMENT: 6.90 AC.  
 D.O. # 3-10000002 LARGE SCALE AMENDMENT: 13.89 AC.  
 NORTH RESIDENTIAL: 9.04 AC.  
 SOUTH RESIDENTIAL: 14.75 AC.  
 COMMERCIAL: 6.85 AC.  
 TOTAL PROJECT ACRES: 33.84 AC.
- LAND USE DESIGNATION: PD, PLANNED DEVELOPMENT
- TOTAL NUMBER OF UNITS IN RESIDENTIAL PORTION: 163 LOTS  
 D.O. # 3-22000009 SMALL SCALE AMENDMENT: 74 LOTS  
 D.O. # 3-10000002 LARGE SCALE AMENDMENT: 89 LOTS  
 NORTH RESIDENTIAL: 64 LOTS  
 SOUTH RESIDENTIAL: 99 LOTS  
 TOTAL NUMBER OF RESIDENTIAL UNITS IN MIXED USE AREA: 20
- MINIMUM FLOOR AREA FOR ALL DWELLING UNITS = 1500 S.F. (INCLUDING GARAGES)
- ALLOWABLE NET DENSITY:  
 SMALL SCALE AMENDMENT MAX ALLOWABLE NET DENSITY: 79 LOTS / NUMBER OF LOTS PROPOSED: 74 LOTS  
 LARGE SCALE AMENDMENT MAX ALLOWABLE NET DENSITY: 8.0 DU/AC. = # LOTS / (GROSS LARGE SCALE AMENDMENT SITE AREA - INTERIOR ROAD) = (89 LOTS) / (13.89 AC. - 11.51 AC.) = 7.19 DU/AC.  
 MIXED USE AREA:  
 TOTAL OFFICE AREA = 48,730 S.F. W/ 19,534 S.F. UNDER DWELLING UNITS  
 TOTAL RETAIL AREA = 43,211 S.F. W/ 20,854 S.F. UNDER DWELLING UNITS  
 TOTAL RESIDENTIAL AREA = 72,000 S.F. INCLUDING GARAGES  
 FAR = GROSS RETAIL & OFFICE FLOOR AREA / COMMERCIAL SITE AREA  
 2.11 AC. / 9.85 AC. = 0.21  
 \*INTERIOR ROAD AREA DOES NOT INCLUDE PARKING OR ALLEYS.
- BUFFERS:  
 50' UNDISTURBED BUFFER ALONG THE WEST PROPERTY LINE  
 30' AVG. LANDSCAPE BUFFER ADJACENT TO ALL RIGHT-OF-WAYS
- BUILDING SETBACKS:  
 50' FROM WEST PROPERTY LINE FOR 1 AND 2 STORY BUILDINGS  
 120' FROM THE WEST PROPERTY LINE IN THE SMALL SCALE AMENDMENT FOR 3 STORY BUILDINGS  
 90' FROM THE WEST PROPERTY LINE IN THE LARGE SCALE AMENDMENT FOR 3 STORY BUILDINGS  
 25' FROM INTERNATIONAL PARKWAY (EAST PROPERTY LINE)  
 25' FROM THE SOUTH AND NORTH PROPERTY LINES
- LOT SETBACKS:  
 FRONT: 10', 5' FOR PORCHES  
 SIDE: 0'  
 REAR: 3' TO GARAGE  
 MINIMUM DISTANCE BETWEEN BUILDINGS: 20'
- MAXIMUM ALLOWED BUILDING HEIGHT = 35' FOR STRUCTURES WITHIN 100 FEET OF THE WEST PROPERTY LINE, 45' FOR ALL OTHERS.
- PER THE FIRM MAP PANEL NO'S. 1211700040 E, DATED APRIL 17, 1995, NO PORTION OF THE SITE IS LOCATED WITHIN THE 100 YEAR FLOOD HAZARD AREA. THE SITE IS DESIGNATED ZONE X.
- UTILITY EASEMENTS DEDICATED TO SEMINOLE COUNTY SHALL BE PROVIDED OVER ALL WATER AND SEWER MAINS LOCATED OUTSIDE THE PUBLIC RIGHT OF WAY.
- ALL UTILITY LINES AND STORM SYSTEM TO MEET SEMINOLE COUNTY AND FOOT SPECIFICATIONS.
- ALL UTILITY LINES TO HAVE LOCATOR TAPE.
- ALL CONSTRUCTION MATERIALS AND OTHER PROPOSED IMPROVEMENTS WILL MEET THE APPLICABLE CODES OF SEMINOLE COUNTY, SEMINOLE COUNTY DETAILS WILL BE UTILIZED ON THE FINAL ENGINEERING PLANS.
- TOTAL NUMBER OF PARKING:  
 NORTH RESIDENTIAL:  
 2 GARAGE SPACES = 128 SPACES REQUIRED AND PROVIDED  
 TOTAL NUMBER OF GUEST PARKING = 58 SPACES  
 TOTAL NUMBER OF SPACES PROVIDED = 186  
 COMMERCIAL:  
 PARKING SPACES REQUIRED:  
 OFFICE - 48,730 S.F. / 250 = 195 SPACES  
 COMMERCIAL: 43,211 S.F. / 250 = 173 SPACES  
 TOTAL PARKING REQUIRED: 368 SPACES (RETAIL / OFFICE)  
 PARKING SPACES PROVIDED = 418 SPACES (RETAIL / OFFICE)  
 2 GARAGE SPACES PER CONDOMINIUM = 40 SPACES REQUIRED AND PROVIDED  
 SOUTH RESIDENTIAL:  
 2 GARAGE SPACES = 198 SPACES REQUIRED AND PROVIDED  
 TOTAL NUMBER OF GUEST PARKING = 58 SPACES  
 TOTAL NUMBER OF SPACES PROVIDED = 286
- DRAINAGE FOR THE COMMERCIAL PORTION (TRACT I) WILL BE PROVIDED BY INFILTRATION TRENCHES TO BE DESIGNED AT FINAL ENGINEERING.
- COMMERCIAL BUILDINGS A, B, E, G, H, AND L, CONSIST OF OFFICE/RETAIL SPACE ON THE GROUND FLOOR, WITH CONDOMINIUMS ON THE SECOND FLOOR.
- PERMITTED USES FOR THE SMALL SCALE LAND USE AMENDMENT, D.O. # 3-22000009 SHALL BE TOWNHOUSE UNITS, SINGLE FAMILY HOMES, HOME OCCUPATIONS, AND HOME OFFICES.
- PERMITTED USES FOR THE LARGE SCALE LAND USE AMENDMENT, D.O. # 3-10000002 SHALL BE TOWNHOUSE UNITS, SINGLE FAMILY HOMES, HOME OCCUPATIONS, HOME OFFICES, OR (RESTRICTED NEIGHBORHOOD COMMERCIAL DISTRICT) USES WITH THE ADDITION OF SIT DOWN RESTAURANTS, SPECIALTY GROCERIES, BAKERS, AND BANKS WITH NO OUTSIDE AUTOMATIC TELLER MACHINES. DRIVE-THROUGHTS SHALL BE PROHIBITED.
- ALL SIDEWALKS TO BE OWNED AND MAINTAINED BY THE HOA.
- ROAD AND TURN LANE IMPROVEMENTS FOR INTERNATIONAL PARKWAY, WAYSIDE DRIVE, AND WILSON ROAD TO BE DESIGNED AT FINAL ENGINEERING.



**UTILITY PROVIDERS:**

**ELECTRIC:**  
 FLORIDA POWER AND LIGHT  
 CHARLE JOHNSON  
 P.O. BOX 2148  
 SANFORD, FL 32772  
 PHONE: (407)-328-1922

**PHONE:**  
 BELLSOUTH  
 SCOTT LORENZ  
 132 COMMERCE WAY  
 SANFORD, FL 32771  
 PHONE: (407) 302-7811

**CABLE:**  
 BRIGHTHOUSE  
 2291 LUCHON WAY, SUITE 320  
 MAITLAND, FL 32751  
 PHONE: (407)-215-5988

**WATER & WASTE WATER:**  
 SEMINOLE COUNTY  
 BECKY MOORE  
 500 W. LAKE MARY BLVD.  
 SANFORD, FL 32773  
 PHONE: 407-855-2143

**PROJECT TEAM MEMBERS:**

**OWNER / DEVELOPER:**  
 SAVANNAH METESKAY ACQUISITION GROUP LLC  
 100 OLD ROSWELL LAKES PKWY, SUITE 310  
 ROSWELL, GA 30078  
 PHONE: (770) 532-8111

**ENGINEER:**  
 MADDEN ENGINEERING, INC.  
 431 E. HORATIO AVE., SUITE 280  
 MAITLAND, FLORIDA 32751  
 PHONE: (407) 628-8330

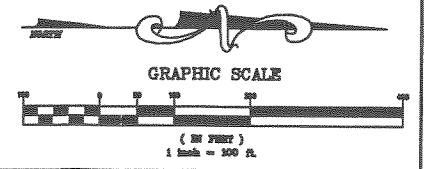
**SURVEYOR:**  
 MILLER LEOB & ASSOCIATES, INC.  
 631 SOUTH ORLANDO AVE., SUITE 200  
 WINTER PARK, FL 32789  
 PHONE: (407) 628-8880

**GEOTECHNICAL:**  
 ARDAMAN & ASSOCIATES  
 8008 S. ORANGE AVE.  
 ORLANDO, FL 32809  
 PHONE: (407) 858-3880

**ENVIRONMENTAL:**  
 LOTSPEDICH & ASSOCIATES  
 2711 WEST FARNSWORTH AVE.  
 WINTER PARK, FLORIDA 32789  
 PHONE: (407) 740-8482

**SOILS**

2	ADAMSVILLE-SPARR FINE SANDS
31	TAVARES-MILLHOPPER FINE SANDS, 0 TO 5 PERCENT SLOPES
	SOIL DIVISION LINE



**MADDEN CIVIL ENGINEERS**  
 431 E. Horatio Avenue  
 Suite 280  
 Maitland, Florida 32751  
 (407) 628-8330

OVERALL SITE PLAN FOR  
**SAVANNAH PARK**  
 SEMINOLE COUNTY, FLORIDA

CLIENT  
 SAVANNAH METESKAY ACQUISITION GROUP LLC  
 100 OLD ROSWELL LAKES PKWY, SUITE 310  
 ROSWELL, GA 30078  
 (770)-532-8111

ENGINEER IN CHARGE  
 CHADWYCK H. MOORHEAD, P.E. #01726  
 CERTIFICATE OF AUTHORIZATION NO. 08-0007723

NO.	DATE	REVISIONS

JOB # 25111  
 DATE: 06/03/05  
 SCALE: 1" = 100'  
 DESIGNED BY: IAN  
 DRAWN BY: IAN  
 APPROVED BY: CHM

OV-1

**Savannah Park at Heathrow  
Planned Unit Development**

Final Master Plan  
Developer's Commitment Agreement  
Commitments, Classifications and District Description

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On October 11, 2005, the Board of County Commissioners of Seminole County issued this Developer's Commitment Agreement relating to, concerning and binding the following described real property situated in Seminole County, Florida:

**I. LEGAL DESCRIPTION**

**See Exhibit "A" attached hereto and incorporated herein by this reference.**

**II. PROPERTY OWNER**

Savannah Meridian Acquisition Group, LLC, A Florida limited liability company.  
**(Hereinafter referred to as the "Owner")**

**III. STATEMENT OF BASIC FACTS**

- A. Total Area: 33.64 Acres
- B. Zoning: Planned Unit Development
- C. Permitted Uses:
  - North Residential Area:* Townhouse units, single family homes, home occupations and home offices
  - South Residential Area:* Townhouse units, single family homes, home occupations and home offices
  - Mixed Use Area:*
    - 1. Maximum 20 condominium units.
    - 2. CN (Restricted Neighborhood Commercial District) uses with the addition of sit-down restaurants, specialty groceries, bakeries, and banks with no outside automatic teller machines. Drive-throughs shall be prohibited.
- D. The development approval sought is consistent with the Seminole County Vision 2020 Plan and will be developed consistent with and in compliance with all other applicable regulations and ordinances.
- E. The owner of the property has expressly agreed to be bound by and subject to the development conditions and commitments stated below and has covenanted and agreed to have such conditions and commitments run with, follow, and perpetually burden the aforescribed property.

#### IV. LAND USE BREAKDOWN

##### *North Residential Area*

64 townhouse lots	3.51 ac
Retention	0.98 ac
Open Space/Buffers	3.03 ac
Roads	1.52 ac
<b>TOTAL</b>	<b>9.04 ac</b>

##### *South Residential Area*

99 townhouse lots	5.43 ac
Retention	1.96 ac
Open Space/Buffers	4.66 ac
Roads	2.70 ac
<b>TOTAL</b>	<b>14.75 ac</b>

##### *Mixed Use Area*

Total Site Area	9.85 ac
Proposed Retail Floor Area	43,211 s.f.
Proposed Office Floor Area	48,736 s.f.
Proposed Residential	20 units maximum
Proposed Parking	455 spaces

#### V. OPEN SPACE

A minimum of 25 percent of the project area shall be designated as open space per requirements of the Land Development Code. Wet retention areas may be counted as open space if amenitized in accordance with the design criteria of Section 30.1344 of the Land Development Code. Maintenance of the open space shall be funded by one or more property owners' associations. Use of common areas shall be limited to open space, recreational amenities, stormwater management and utility facilities serving all residents of the development.

Gross Site Area	33.64 ac
Internal Roadway / Parking	-9.58 ac
Required Buffer Areas	-2.62 ac
Townhouse Lots	-8.95 ac
Commercial Buildings	-2.11 ac
Upland common areas less than 15' in width, not amenitized w/sidewalk	-0.88 ac
<b>TOTAL OPEN SPACE</b>	<b>9.50 ac</b>

## VI. BUILDING SETBACKS AND BUILDING HEIGHTS

- A. Along the west site boundary, the following standards shall apply:
  - 1. 50-foot setback for 1- and 2-story structures;
  - 2. 90-foot setback for 3-story buildings in the Mixed Use Area;
  - 3. 120-foot setback for 3-story buildings in the North and South Residential Areas.
- B. All structures shall be set back a minimum of 25 feet from Wilson Road, Wayside Drive, and International Parkway.
- C. A 20-foot setback shall be required from the front wall of any unit to the nearest edge of the street or sidewalk.
- D. Building height shall be limited to 35 feet for structures within 100 feet of the west property line, 45 feet for all others. Height shall be measured from the mean elevation between roof ridge and eaves, as specified in the Land Development Code.

## VII. LANDSCAPING AND BUFFERING

- A. The Owner shall provide a 50-foot undisturbed buffer and a 6-foot masonry wall along the west site boundary. The Owner shall supplement this buffer with additional vegetation as needed to create an active buffer as defined by the Land Development Code.
- B. Adjacent to Wilson Road and Wayside Drive, the Owner shall provide a 15-foot landscape buffer with 4 canopy trees and 5 understory trees per 100 feet.
- C. No stormwater retention ponds or facilities shall be permitted within the 50-foot undisturbed buffer along the west property line.
- E. All landscape buffers and common areas shall be maintained by one or more property owners' associations.
- F. Existing trees that are preserved during construction may satisfy landscaping requirements stated in this Developer's Commitment Agreement or the Land Development Code.

## VIII. VEHICLE AND PEDESTRIAN CIRCULATION SYSTEM

- A. The Owner shall provide a pedestrian circulation system giving access to all portions of the development as well as connecting to existing sidewalks outside of the development.
- B. Parking shall be provided as follows:

<i>North Residential Area</i>	128 garage spaces
	<u>58 visitor spaces</u>
	186 total



- covenants and agrees to have such conditions and commitments restrict, run with and perpetually burden the Property.
- C. Unless specifically addressed otherwise herein, all development shall fully comply with all of the codes and ordinances, including the impact fee ordinances, in effect in Seminole County at the time of permit issuance.
  - D. This Developer's Commitment Agreement touches and concerns the Property, and the conditions, commitments, and provisions of this Developer's Commitment Agreement shall perpetually burden, run with and follow said Property and be a servitude upon and binding upon said Property unless released in whole or part by action of Seminole County as evidenced in writing. The Owner of said Property has expressly covenanted and agreed to this provision and all other terms and provisions of the Developer's Commitment Agreement.
  - E. The terms and provisions of this Developer's Commitment Agreement are not severable and, in the event any portion of this Developer's Commitment Agreement shall be found to be invalid or illegal, then the entire Developer's Commitment Agreement shall be null and void.
  - F. If any term or provision of this Developer's Commitment Agreement is in conflict with any portion of the Final Master Plan, the portion of the Final Master Plan in conflict shall be void, and the terms and provisions of this Developer's Commitment Agreement shall control and remain in full force and effect.

**DONE AND ORDERED ON THE DATE FIRST WRITTEN ABOVE**

BOARD OF COUNTY COMMISSIONERS  
SEMINOLE COUNTY, FLORIDA

BY: \_\_\_\_\_  
CARLTON D. HENLEY  
CHAIRMAN



**OWNER'S CONSENT AND COVENANT**

COMES NOW, Savannah Meridian Acquisition Group, LLC, the owner of the  
aforedescribed property in this Development Order, on behalf of itself and its heirs,  
successors, assigns or transferees of any nature whatsoever and consents to, agrees with  
and covenants to perform and fully abide by the provisions, terms, conditions and  
commitments set forth in this Developer's Commitment Agreement.

Savannah Meridian Acquisition  
Group, LLC

\_\_\_\_\_  
Witness

\_\_\_\_\_  
David J. Koleos, Manager

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Print Name

STATE OF FLORIDA     )  
                                          )  
COUNTY OF SEMINOLE )

I **HEREBY CERTIFY** that on this day, before me, an officer duly authorized in  
the State and County aforesaid to take acknowledgments, personally appeared David J.  
Koleos, as Manager of Savannah Meridian Acquisition Group, LLC, who is personally  
known to me or who has produced \_\_\_\_\_ as  
identification and who did execute the foregoing instrument.

**WITNESS** my hand and official seal in the County and State last aforesaid this  
\_\_\_\_\_ day of \_\_\_\_\_, 2005.

Notary Public, in and for the County and State  
Aforementioned

My Commission Expires:

## EXHIBIT A

### Legal Description

#### **DESCRIPTION FOR 4.9 ACRES PORTION**

A portion of the southeast 1/4 of section 30, township 19 South, range 30 East, Seminole County, Florida, being more particularly described as:

Commence at the southeast corner of said southeast 1/4 of section 30; thence run S89°40'25"W, along the south line of said southeast 1/4 of section 30, a distance of 1299.39 feet; thence N25°17'07"E a distance of 33.27 feet to the southeast corner of lot 48, Tall Trees, as recorded in plat book 39, pages 36, 37, and 38, public records of Seminole County, Florida; thence continue N25°17'07"E, along the southeasterly line of said Tall Trees, a distance of 810.69 feet for a point of beginning; thence continue N25°17'07"E, along the southeasterly line of said Tall Trees, a distance of 322.95 feet; thence S64°26'12"E a distance of 635.71 feet to the west right-of-way line of International Parkway; thence S00°14'02"W, along said west right-of-way line, a distance of 71.32 feet; thence S25°33'48"W, along the northwesterly right-of-way line of said International Parkway, a distance of 258.48 feet; thence N64°26'12"W a distance of 664.66 feet to the point of beginning.

CONTAINS 213,920 SQUARE FEET OR 4.911 ACRES MORE OR LESS.

#### **DESCRIPTION FOR 9.9 ACRES PORTION**

A portion of the southeast 1/4 of section 30, township 19 South, range 30 East, Seminole County, Florida, being more particularly described as:

Commence at the southeast corner of said southeast 1/4 of section 30; thence run S89°40'25"W, along the south line of said southeast 1/4 of section 30, a distance of 1299.39 feet; thence N25°17'07"E a distance of 33.27 feet to the southeast corner of lot 48, Tall Trees, as recorded in plat book 39, pages 36, 37, and 38, public records of Seminole County, Florida for a point of beginning; thence continue N25°17'07"E, along the southeasterly line of said Tall Trees, a distance of 810.69 feet; thence S64°26'12"E a distance of 664.66 feet to the northwesterly right-of-way line of International Parkway; thence S25°33'48"W along said northwesterly right-of-way, a distance of 490.00 feet to the north right-of-way line of Wilson Road; thence S89°40'25"W, along said north right-of-way line, a distance of 734.43 feet to the point of beginning.

CONTAINS 431,291 SQUARE FEET OR 9.901 ACRES MORE OR LESS.

## **DESCRIPTION FOR 10.25 ACRES PORTION**

A portion of the southeast 1/4 of section 30, township 19 South, range 30 East, Seminole County, Florida, being more particularly described as:

Commence at the southeast corner of said southeast 1/4 of section 30; thence run S89°40'25"W, along the south line of said southeast 1/4 of section 30, a distance of 1299.39 feet; thence N25°17'07"E a distance of 33.27 feet to the southeast corner of lot 48, Tall Trees, as recorded in plat book 39, pages 36, 37, and 38, public records of Seminole County, Florida; thence continue N25°17'07"E, along the southeasterly line of said Tall Trees, a distance of 1133.65 feet for a point of beginning; thence N00°14'21"E, along the easterly line of said Tall Trees, a distance of 641.68 feet; thence S89°45'58"E a distance of 574.54 feet to the west right-of-way line of International Parkway; thence S00°14'02"W, along said west right-of-way line, a distance of 913.65 feet; thence N64°26'12"W a distance of 635.71 feet to the point of beginning.

CONTAINS 446,824 SQUARE FEET OR 10.258 ACRES MORE OR LESS.

## **DESCRIPTION FOR 8.8ACRES PORTION**

A portion of the southeast 1/4 of section 30, township 19 South, range 30 East, Seminole County, Florida, being more particularly described as:

Commence at the southeast corner of said southeast 1/4 of section 30; thence run S89°40'25"W, along the south line of said southeast 1/4 of section 30, a distance of 1299.39 feet; thence N25°17'07"E a distance of 33.27 feet to the southeast corner of lot 48, Tall Trees, as recorded in plat book 39, pages 36, 37, and 38, public records of Seminole County, Florida; thence continue N25°17'07"E, along the southeasterly line of said Tall Trees, a distance of 1133.65 feet; thence N00°14'21"E, along the east line of said tall trees, a distance of 641.68 feet for a point of beginning; thence continue N00°14'21"E, along said east line, a distance of 926.82 feet to the south right-of-way line of Wayside Drive; thence S89°52'00"E, along said south right-of-way line, a distance of 276.12 feet; thence S00°05'34"W a distance of 501.56 feet; thence S89°28'52"E a distance of 297.10 feet to the west right-of-way line of International Parkway; thence S00°14'02"W, along said west right-of-way line, a distance of 424.27 feet; thence N89°45'58"W a distance of 574.54 feet to the point of beginning.

CONTAINS 383,126 SQUARE FEET OR 8.795 ACRES MORE OR LESS.

**EXHIBIT B**

**Final Master Plan**

**TRACT TABLE**

TRACT	TRACT USE	ACREAGE	PERCENT
<b>SOUTH RESIDENTIAL</b>			
U	UTILITY AND ACCESS RIGHT-OF-WAY	2.70 AC.	6.02%
R	RETENTION	1.38 AC.	4.04%
C	RETENTION	0.80 AC.	1.70%
O	OPEN SPACE / COMMON AREA / LANDSCAPE BUFFER / BUILDING SETBACK / SIDEWALK	6.89 AC.	19.95%
E	OPEN SPACE / COMMON AREA / SIDEWALK	0.28 AC.	0.83%
F	OPEN SPACE / COMMON AREA / SIDEWALK	0.84 AC.	2.39%
G	OPEN SPACE / SIDEWALK	0.14 AC.	0.42%
H	OPEN SPACE / LANDSCAPE BUFFER / BUILDING SETBACK / SIDEWALK	1.53 AC.	4.40%
	FEE SIMPLE TOWNHOMES	6.43 AC.	18.10%
	TOTAL AREA SOUTH RESIDENTIAL	14.76 AC.	43.00%
<b>COMMERCIAL</b>			
I	MINI-BUS	8.80 AC.	25.08%
<b>NORTH RESIDENTIAL</b>			
U	UTILITY AND ACCESS RIGHT-OF-WAY	1.52 AC.	4.52%
R	RETENTION	0.32 AC.	0.90%
L	RETENTION	0.86 AC.	1.95%
M	OPEN SPACE / COMMON AREA / LANDSCAPE BUFFER / BUILDING SETBACK / SIDEWALK	1.81 AC.	4.76%
N	OPEN SPACE / COMMON AREA / SIDEWALK	0.69 AC.	2.00%
O	OPEN SPACE / COMMON AREA / SIDEWALK	0.73 AC.	2.17%
	FEE SIMPLE TOWNHOMES	1.81 AC.	10.43%
	TOTAL AREA NORTH RESIDENTIAL	8.04 AC.	23.67%
	TOTAL SITE AREA	33.64 AC.	100%

**OPEN SPACE (SMALL SCALE AMENDMENT)**

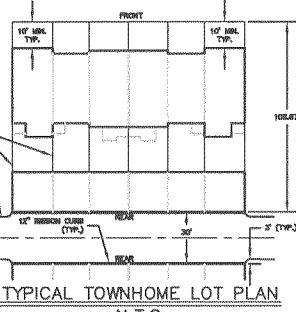
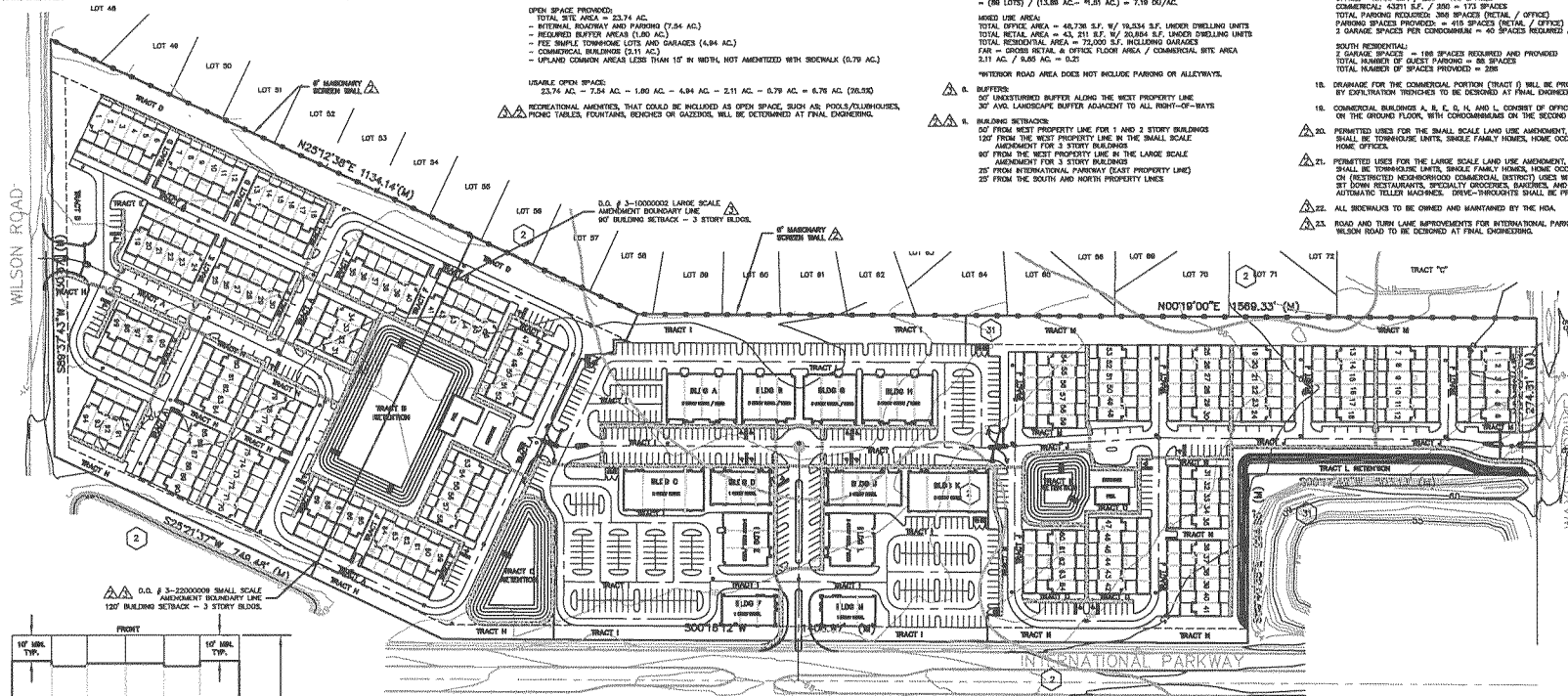
REQUIRED OPEN SPACE = 28% OF TOTAL SITE AREA.  
 TOTAL SITE AREA = 8.80 AC.  
 TOTAL OPEN SPACE REQUIRED = 2.46 AC.  
 OPEN SPACE PROVIDED:  
 TOTAL SITE AREA = 8.80 AC.  
 - INTERNAL ROADWAY AND PARKING (2.04 AC.)  
 - REQUIRED BUFFER AREAS (0.88 AC.)  
 - FEE SIMPLE TOWNHOME LOTS AND GARAGES (4.01 AC.)  
 - UPLAND COBHAM AREAS LESS THAN 10' IN WIDTH, NOT AMENITIZED WITH SIDEWALK (0.88 AC.)

**OPEN SPACE (LARGE SCALE AMENDMENT)**

REQUIRED OPEN SPACE = 28% OF TOTAL SITE AREA.  
 TOTAL SITE AREA = 23.74 AC.  
 TOTAL OPEN SPACE REQUIRED = 6.65 AC.  
 OPEN SPACE PROVIDED:  
 TOTAL SITE AREA = 23.74 AC.  
 - INTERNAL ROADWAY AND PARKING (7.54 AC.)  
 - REQUIRED BUFFER AREAS (1.80 AC.)  
 - FEE SIMPLE TOWNHOME LOTS AND GARAGES (4.94 AC.)  
 - COMMERCIAL BUILDING (2.11 AC.)  
 - UPLAND COBHAM AREAS LESS THAN 10' IN WIDTH, NOT AMENITIZED WITH SIDEWALK (0.79 AC.)

**SITE DATA NOTES**

- PARCEL ID # 20-19-20-300-0410-0000
- EXISTING ZONING: PUD, PLANNED UNIT DEVELOPMENT
- 3. SITE AREA:**  
 D.O. # 3-2200000 SMALL SCALE AMENDMENT: 8.80 AC.  
 D.O. # 3-1000000 LARGE SCALE AMENDMENT: 33.64 AC.  
 NORTH RESIDENTIAL: 8.04 AC.  
 SOUTH RESIDENTIAL: 14.75 AC.  
 COMMERCIAL: 8.80 AC.  
 TOTAL PROJECT ACRES: 33.64 AC.
- LAND USE DESIGNATION: PUD, PLANNED DEVELOPMENT
- 5. TOTAL NUMBER OF UNITS IN RESIDENTIAL PORTION: 163 LOTS**  
 D.O. # 3-2200000 SMALL SCALE AMENDMENT: 74 LOTS  
 D.O. # 3-1000000 LARGE SCALE AMENDMENT: 89 LOTS  
 NORTH RESIDENTIAL: 64 LOTS  
 SOUTH RESIDENTIAL: 99 LOTS  
 TOTAL NUMBER OF RESIDENTIAL UNITS IN MIXED USE AREA: 20
- 6. MINIMUM FLOOR AREA FOR ALL DWELLING UNITS = 1500 S.F. (INCLUDING GARAGES)**
- 7. ALLOWABLE NET DENSITY:**  
 SMALL SCALE AMENDMENT HAS ALLOWABLE NET DENSITY: 78 LOTS PER ACRE  
 NUMBER OF LOTS PROPOSED: 163 LOTS  
 LARGE SCALE AMENDMENT HAS ALLOWABLE NET DENSITY: 8.0 DU/AC.  
 = 8 LOTS / (13.88 AC.) = 0.58 DU/AC  
 = (89 LOTS) / (11.88 AC.) = 7.50 DU/AC
- MIXED USE AREA:  
 TOTAL OFFICE AREA = 46,736 S.F. / 19,254 S.F. UNDER DWELLING UNITS  
 TOTAL RETAIL AREA = 43,211 S.F. / 20,854 S.F. UNDER DWELLING UNITS  
 TOTAL RESIDENTIAL AREA = 72,000 S.F. INCLUDING GARAGES  
 FAR = GROSS RETAIL & OFFICE FLOOR AREA / COMMERCIAL SITE AREA  
 211 AC. / 8.80 AC. = 0.23  
 \*INTERIOR ROAD AREA DOES NOT INCLUDE PARKING OR ALLEYS
- BUFFERS:  
 50' UNDISTURBED BUFFER ALONG THE WEST PROPERTY LINE  
 50' AND LANDSCAPE BUFFER ADJACENT TO ALL RIGHT-OF-WAYS
- BUILDING SETBACKS:  
 50' FROM WEST PROPERTY LINE FOR 1 AND 2 STORY BUILDINGS  
 100' FROM THE WEST PROPERTY LINE IN THE SMALL SCALE AMENDMENT FOR 3 STORY BUILDINGS  
 50' FROM THE WEST PROPERTY LINE IN THE LARGE SCALE AMENDMENT FOR 3 STORY BUILDINGS  
 25' FROM INTERNATIONAL PARKWAY (WEST PROPERTY LINE)  
 25' FROM THE SOUTH AND NORTH PROPERTY LINES
- 11. LOT RETENTION:**  
 FRONT: 10' FOR PORCHES  
 SIDE: 5' TO GARAGE  
 REAR: 5' TO GARAGE  
 MINIMUM DISTANCE BETWEEN BUILDINGS: 20'
- MAXIMUM ALLOWED BUILDING HEIGHT = 35' FOR STRUCTURES WITHIN 100 FEET OF THE WEST PROPERTY LINE, 45' FOR ALL OTHERS.
- FOR THE FIRM MAP PANEL NOTE 121770240 E, DATED APRIL 17, 1995, NO PORTION OF THE SITE IS LOCATED WITHIN THE 100 YEAR FLOOD HAZARD AREA. THE SITE IS DESIGNATED ZONE X.
- UTILITY EASEMENTS DEDICATED TO SEMINOLE COUNTY SHALL BE PROVIDED OVER ALL WATER AND SEWER MAINS LOCATED OUTSIDE THE PUBLIC RIGHT OF WAY.
- ALL UTILITY LINES AND SYSTEMS SHALL MEET SEMINOLE COUNTY AND FOOT SPECIFICATIONS.
- ALL UTILITY LINES TO HAVE LOCATOR TAPE.
- ALL CONSTRUCTION MATERIALS AND OTHER PROPOSED IMPROVEMENTS SHALL MEET THE APPLICABLE CODES OF SEMINOLE COUNTY. SEMINOLE COUNTY DETAILS WILL BE UTILIZED ON THE FINAL ENGINEERING PLANS.
- TOTAL NUMBER OF PARKING:  
 NORTH RESIDENTIAL:  
 2 GARAGE SPACES = 128 SPACES REQUIRED AND PROVIDED  
 TOTAL NUMBER OF GUEST PARKING = 58 SPACES  
 TOTAL NUMBER OF SPACES PROVIDED = 186  
 COMMERCIAL:  
 PARKING SPACES REQUIRED:  
 OFFICE: 46736 S.F. / 200 = 234 SPACES  
 COMMERCIAL: 43211 S.F. / 200 = 216 SPACES  
 TOTAL PARKING PROVIDED: 396 SPACES (NETAL / OFFICE)  
 PARKING SPACES PROVIDED = 418 SPACES (NETAL / OFFICE)  
 2 GARAGE SPACES FOR CONDOMINIUM = 40 SPACES REQUIRED AND PROVIDED  
 SOUTH RESIDENTIAL:  
 2 GARAGE SPACES = 188 SPACES REQUIRED AND PROVIDED  
 TOTAL NUMBER OF GUEST PARKING = 88 SPACES  
 TOTAL NUMBER OF SPACES PROVIDED = 288
- DRAINAGE FOR THE COMMERCIAL PORTION (TRACT I) WILL BE PROVIDED BY EXISTING DITCHES TO BE DESCRIBED AT FINAL ENGINEERING.
- COMMERCIAL BUILDINGS A, B, E, G, H, AND L CONSIST OF OFFICE/RETAIL SPACE OR THE GROUND FLOOR, WITH CONDOMINIUMS ON THE SECOND FLOOR.
- PERMITTED USES FOR THE SMALL SCALE LAND USE AMENDMENT, D.O. #3-2200000 SHALL BE TOWNHOUSE UNITS, SINGLE FAMILY HOMES, HOME OCCUPATIONS, AND HOME OFFICES.
- PERMITTED USES FOR THE LARGE SCALE LAND USE AMENDMENT, D.O. #3-1000000 SHALL BE TOWNHOUSE UNITS, SINGLE FAMILY HOMES, HOME OCCUPATIONS, HOME OFFICES, OR (RESTRICTED NEIGHBORHOOD COMMERCIAL DISTRICT) USES WITH THE ADDITION OF DOWN RESTAURANTS, SPOONERY, CATERERS, BAKERS, AND BARS WITH NO OUTSIDE AUTOMATIC TELLER MACHINES. DRIVE-THROUGHS SHALL BE PROHIBITED.
- ALL SIDEWALKS TO BE OWNED AND MAINTAINED BY THE HOA.
- ROAD AND TURN LANE IMPROVEMENTS FOR INTERNATIONAL PARKWAY, WAYDOW DRIVE, AND WILSON ROAD TO BE DESCRIBED AT FINAL ENGINEERING.



**UTILITY PROVIDERS:**

**ELECTRIC:**  
 FLORIDA POWER AND LIGHT  
 CHARLIE JOHNSON  
 P.O. BOX 2148  
 SANFORD, FL 32772  
 PHONE: (407)-328-1822

**PHONE:**  
 SEMINOLE COUNTY  
 BOB LORZEL  
 122 COMMERCE WAY  
 SANFORD, FL 32771  
 PHONE: (407)-323-7811

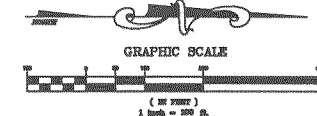
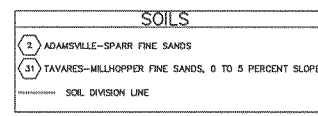
**WATER & WASTE WATER:**  
 SEMINOLE COUNTY  
 BECKY HODGEE  
 500 W. LAKE EMMY BLVD.  
 SANFORD, FL 32773  
 PHONE: (407)-253-4143

**PROJECT TEAM MEMBERS:**

**OWNER / DEVELOPER:**  
 SAVANNAH MEDIAN ACQUISITION GROUP LLC  
 100 OLD HERRING LAKES DRIVE, SUITE 210  
 ROSWELL, GA 30078  
 PHONE: (770) 552-8111

**ENGINEER:**  
 MADDEN ENGINEERS, INC.  
 431 E. HORLITE AVE., SUITE 260  
 MAITLAND, FLORIDA 32751  
 PHONE: (407) 828-8230

**SURVEYOR:**  
 MELTZER & ASSOCIATES, INC.  
 631 SOUTH ORLANDO AVE., SUITE 200  
 WINTER PARK, FL 32789  
 PHONE: (407) 829-6880



**MADDEN**  
 CIVIL ENGINEERS  
 431 E. Horlite Avenue  
 Suite 260  
 Maitland, Florida 32751  
 (407) 828-8230

OVERALL SITE PLAN FOR  
**SAVANNAH PARK**  
 SEMINOLE COUNTY, FLORIDA

CLIENT:  
 SAVANNAH MEDIAN ACQUISITION GROUP LLC  
 100 OLD HERRING LAKES DRIVE, SUITE 210  
 ROSWELL, GA 30078  
 (770)-552-8111

ENGINEER IN CHARGE:  
 CLAUDIO P. L. MORALES, P.E. (0172)  
 CLAUDIO P. L. MORALES, P.E. (0172)  
 REGISTERED PROFESSIONAL ENGINEER IN CHARGE

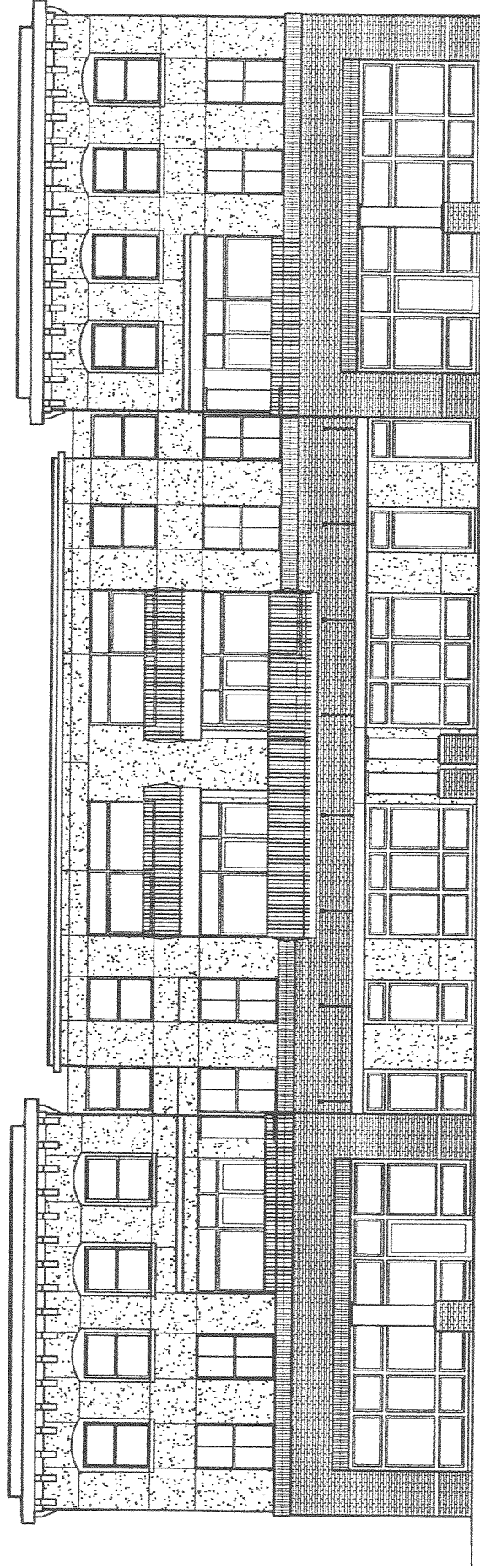
NO.	DATE	REVISIONS

JOB # 25111  
 DATE: 09/03/05  
 SCALE: 1" = 100'  
 DESIGNED BY: JAH  
 DRAWN BY: JAH  
 APPROVED BY: CHM

**EXHIBIT C**

**Building Elevations**

*Savannah Park at Heathrow*



Building A - Front Elevation - Office/Residential

*Savannah Meridian Acquisition Group L.L.C. Developer*

# *Savannah Park at Heathrow*



Building B - Front Elevation - Retail/Residential

*Savannah Meridian Acquisition Group L.L.C. Developer*



# *Savannah Park at Heathrow*



Building C - Front Elevation - Office

*Savannah Meridian Acquisition Group L.L.C. Developer*

**SITE DATA** 33.58 ACRES

33.58 ACRES  
 TOTAL SITE AREA: 1,462,745 S.F.  
 TOTAL IMPERVIOUS AREA: 658,235 S.F. (45%)

**RU-1 SMALL SCALE** 9.9 ACRES

64 TOWNHOUSE UNITS  
 ALL UNITS HAVE GARAGES w/ 20' MIN. DRIVEWAYS  
 DENSITY = 6.46 UNITS PER ACRE

**LANDSCAPE REQUIREMENTS ALONG PUBLIC RIGHT OF WAY @ WILSON ROAD**

- 1) 30' AVERAGE BUFFER WIDTH
- 2) A LANDSCAPE SCREEN THAT SHALL ATTAIN A HEIGHT OF AT LEAST 3' WITHIN ONE YEAR AFTER PLANTING AND SHALL SCREEN 75% OF THE PARKING AREAS TO THAT HEIGHT.
- 3) 4 CANOPY TREES / 100 L.F. OF FRONTAGE. TREES SHALL BE EVENLY SPACED 1,409 L.F. / 100 = 14.09 X 4 = 56 CANOPY TREES REQ'D

**MU-1 LARGE SCALE** 10.06 ACRES

A	1ST LEVEL RETAIL	18,000 SF	2ND LEVEL OFFICE	18,000 SF
B	1ST LEVEL RETAIL	18,000 SF	2ND LEVEL OFFICE	18,000 SF
C	1ST LEVEL RETAIL	6,000 SF		
D	1ST LEVEL RETAIL	6,000 SF		

TOTAL RETAIL 48,000 SF    TOTAL OFFICE 36,000 SF

16 MRO UNITS (2&3 STORIES)  
 RESIDENTIAL UNITS = 1800 - 2000 S.F. INCLUDING GARAGES  
 1ST = 34,200 S.F.  
 2ND = 34,200 S.F.  
 3RD = 34,200 S.F.  
 TOTAL = 102,600 S.F.

PARKING FOR RETAIL / OFFICE (10' X 20')  
 4/1000 = 336 SPACES / 400 INDICATED

**RU-2 LARGE SCALE** 4.82 ACRES

17 TOWNHOUSE UNITS  
 3 MRO UNITS  
 ALL UNITS HAVE GARAGES w/ 20' MIN. DRIVEWAYS  
 DENSITY = 4.14 UNITS PER ACRE

TOTAL TOWNHOUSE/SMALL SCALE:  
 167 TOWNHOUSE UNITS  
 MIN. SETBACK @ TOWNHOUSE UNITS 20'-0"

**RU-3 LARGE SCALE** (8.8 ACRES)

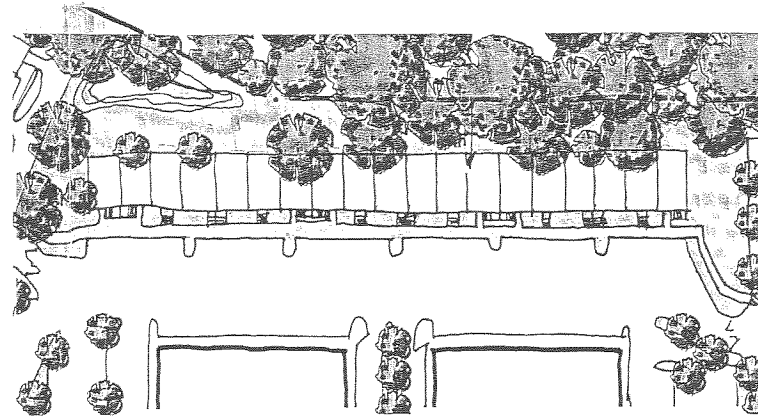
85 TOWNHOUSE UNITS  
 ALL UNITS HAVE GARAGES w/ 20' MIN. DRIVEWAYS  
 DENSITY = 9.6 UNITS PER ACRE

TOTAL TOWNHOUSE/SMALL SCALE:  
 167 TOWNHOUSE UNITS  
 MIN. SETBACK @ TOWNHOUSE UNITS 20'-0"

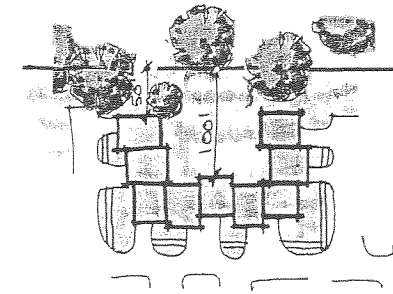
2 STORY TOWNHOUSE UNIT (within 100')  
 ADJACENT TO TALL TREES S/D  
 & A MIX OF 2 & 3 STORY TOWNHOUSE INTERIOR  
 • 1600 S.F. MINIMUM NOT INCLUDING GARAGES

- 35' MAX MEAN ROOF HEIGHT
- MIN. SETBACK - 20'-0" MEASURED FROM SIDEWALK TO GARAGE DOOR

2 & 3 STORY UNITS  
 1600 S.F. MINIMUM NOT INCLUDING GARAGES  
 35' MAX. MEAN ROOF HEIGHT



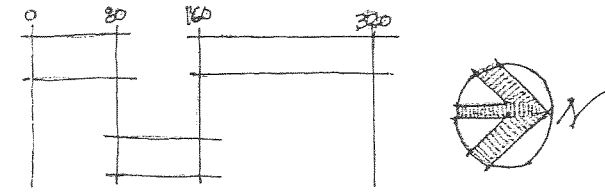
OFFICE LAYOUT



OPTIONAL COURTYARD LAYOUT

Conceptual Plan  
 Actual retention ponds will be sized at final engineering.  
 Soils information and grade elevations are complete.

Fire  
 Buildings will comply with Seminole County Fire Department standards.



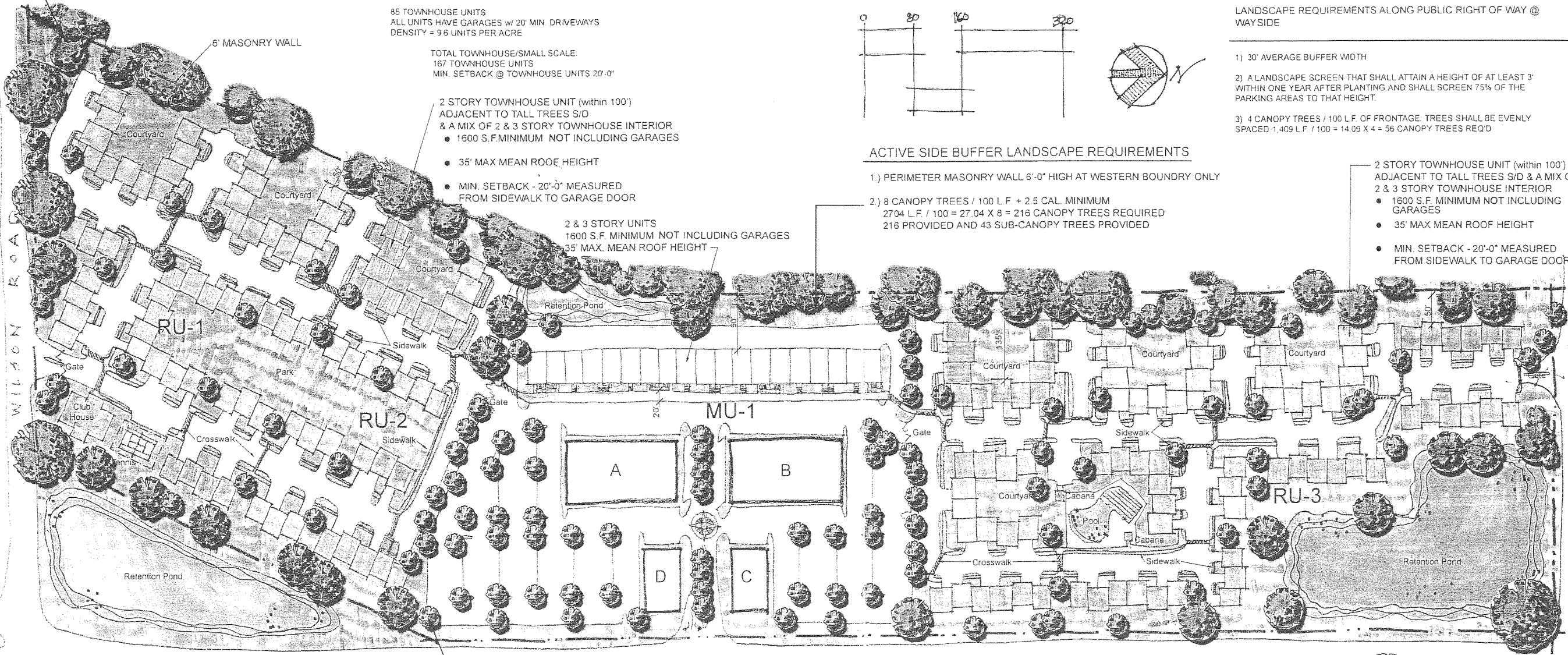
**ACTIVE SIDE BUFFER LANDSCAPE REQUIREMENTS**

- 1) PERIMETER MASONRY WALL 6'-0" HIGH AT WESTERN BOUNDARY ONLY
- 2) 8 CANOPY TREES / 100 L.F. + 2.5 CAL. MINIMUM  
 2704 L.F. / 100 = 27.04 X 8 = 216 CANOPY TREES REQUIRED  
 216 PROVIDED AND 43 SUB-CANOPY TREES PROVIDED

**LANDSCAPE REQUIREMENTS ALONG PUBLIC RIGHT OF WAY @ WAYSIDE**

- 1) 30' AVERAGE BUFFER WIDTH
- 2) A LANDSCAPE SCREEN THAT SHALL ATTAIN A HEIGHT OF AT LEAST 3' WITHIN ONE YEAR AFTER PLANTING AND SHALL SCREEN 75% OF THE PARKING AREAS TO THAT HEIGHT.
- 3) 4 CANOPY TREES / 100 L.F. OF FRONTAGE. TREES SHALL BE EVENLY SPACED 1,409 L.F. / 100 = 14.09 X 4 = 56 CANOPY TREES REQ'D

2 STORY TOWNHOUSE UNIT (within 100')  
 ADJACENT TO TALL TREES S/D & A MIX OF 2 & 3 STORY TOWNHOUSE INTERIOR  
 • 1600 S.F. MINIMUM NOT INCLUDING GARAGES  
 • 35' MAX MEAN ROOF HEIGHT  
 • MIN. SETBACK - 20'-0" MEASURED FROM SIDEWALK TO GARAGE DOOR



**LANDSCAPE REQUIREMENTS ALONG PUBLIC RIGHT OF WAY**

- 1) 30' AVERAGE BUFFER WIDTH
- 2) A LANDSCAPE SCREEN THAT SHALL ATTAIN A HEIGHT OF AT LEAST 3' WITHIN ONE YEAR AFTER PLANTING AND SHALL SCREEN 75% OF THE PARKING AREAS TO THAT HEIGHT.
- 3) 4 CANOPY TREES / 100 L.F. OF FRONTAGE. TREES SHALL BE EVENLY SPACED 1,409 L.F. / 100 = 14.09 X 4 = 56 CANOPY TREES REQ'D

NOTE: EXISTING TREES MAY BE USED TO MEET REQUIREMENTS

**PRELIMINARY MASTER PLAN**

*Savannah Park*

SEMINOLE COUNTY DEVELOPMENT ORDER

On June 8, 2004, Seminole County issued this Development Order relating to and touching and concerning the following described property:

Legal description attached as Exhibit A.

(The aforescribed legal description has been provided to Seminole County by the owner of the aforescribed property.)

FINDINGS OF FACT

Property Owners: MARGARET D. FOX TRUST UNDER THE WILL OF BYRON A. FOX THE GLENN A. LINGLE REVOCABLE TRUST

Project Name: SAVANNAH PARK AT HEATHROW

Requested Development Approval: Large Scale Land Use Amendment from Office to Planned Development (PD) and rezoning from A-1 (Agriculture) to PUD (Planned Unit Development)

The Development Approval sought is consistent with the Seminole County Comprehensive Plan and will be developed consistent with and in compliance to applicable land development regulations and all other applicable regulations and ordinances.

The owner of the property has expressly agreed to be bound by and subject to the development conditions and commitments stated below and has covenanted and agreed to have such conditions and commitments run with, follow and perpetually burden the aforescribed property.

Prepared by: JEFF HOPPER 1101 East First Street Sanford, Florida 32771

MARYANNE MORSE, CLERK OF CIRCUIT COURT CLERK OF SEMINOLE COUNTY BK 05396 PGS 0254-0261 FILE NUM 2004116443 RECORDED 07/23/2004 03:03:12 PM RECORDING FEES 69.50 RECORDED BY J Eckenroth

CERTIFIED COPY MARYANNE MORSE CLERK OF CIRCUIT COURT SEMINOLE COUNTY, FLORIDA BY: Eva Roach DEPUTY CLERK

RETURN TO SANDY MCCANN



DEVELOPMENT ORDER #3-10000002

NOW, THEREFORE, IT IS ORDERED AND AGREED THAT:

(1) The aforementioned application for development approval is **GRANTED**.

(2) All development shall fully comply with all of the codes and ordinances in effect in Seminole County at the time of issuance of permits including all impact fee ordinances.

(3) The conditions upon this development approval and the commitments made as to this development approval, all of which have been accepted by and agreed to by the owner of the property are as follows:

- ✓ a. Westward-facing balconies shall be prohibited within 100 feet of the west property line.
- ✓ b. Permitted uses shall be townhouse units, single family homes, home occupations and home offices, CN (Restricted Neighborhood Commercial District) uses with the addition of sit-down restaurants, specialty groceries, bakeries, and banks with no outside automatic teller machines. Drive-throughs shall be prohibited.
- ✓ c. Use of common areas shall be limited to open space, recreational amenities, stormwater management, and utility facilities serving all residents of the development.
- ✓ d. Density shall be limited to 8.0 units per net buildable acre over the residential portion of the development.
- e. Along the west site boundary, the following standards shall apply:
  - ✓ 1. 50-foot undisturbed buffer to be supplemented with vegetation in areas where needed, so that an active buffer is created;
  - ✓ 2. 6-foot masonry wall;
  - ✓ 3. 50-foot setback for 1- and 2-story structures; and
  - ✓ 4. 90-foot setback for 3-story brownstone buildings and 3-story mixed residential/office (MRO) buildings.
- ✓ f. No stormwater retention ponds or facilities shall be permitted within the 50-foot undisturbed buffer along the west property line.
- ✓ g. There shall be a 25-foot building setback from International Parkway.
- ✓ h. A 20-foot setback shall be required from the front wall of any unit to the nearest edge of internal streets or sidewalks.
- ✓ i. Mechanical units shall be located and/or screened so as not to be visible from International Parkway or adjoining single family development.
- ✓ j. A minimum of 25 percent of the project area must be designated as open space per the requirements of the Land Development Code. Wet retention areas to be counted as open space shall be amenitized in accordance with the design criteria of Section 30.1344 of the Land Development Code. The applicant shall demonstrate on the Final PUD Master Plan that the open space requirements have been met.
- k. Prior to Final Master Plan approval, the applicant shall obtain a joint use agreement with the Seminole County Public Works Department allowing the existing County retention ponds adjacent to the site to be incorporated into the project's stormwater management system.

## DEVELOPMENT ORDER #3-10000002

- ✓l. All landscape buffers and common areas shall be maintained by a homeowners association.
- ✓m. The developer shall provide a pedestrian circulation system giving access to all portions of the development as well as connecting to existing sidewalks outside the development.
- ✓n. Outdoor lighting shall be cutoff/shoebox style fixtures a maximum of 16 feet in height.
- ✓o. Street lighting adjacent to the west property boundary will be limited to decorative lighting affixed to the fronts of the units. Security lighting with motion sensors shall be permitted on any side of the buildings.
- ✓p. Building height shall be limited to 35 feet for structures within 100 feet of the west property line, 45 feet for all others. Height shall be measured from the mean elevation between roof ridge and eaves, as specified in the Land Development Code.
- ✓q. Existing trees that are preserved during construction may satisfy the landscaping requirements of this development order or the Land Development Code.
- ✓r. Review of the Final Master Plan by the Board of County Commissioners shall be a public hearing and architectural renderings of the proposed development shall be required.
- s. No advertising signs shall be permitted on the west side of the brownstone row of buildings.
- ✓t. Dock-high loading facilities shall be prohibited.
- ✓u. No single non-residential building footprint shall exceed 10,000 square feet.

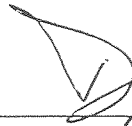
(4) This Development Order touches and concerns the aforescribed property and the conditions, commitments and provisions of this Development Order shall perpetually burden, run with and follow the said property and be a servitude upon and binding upon said property unless released in whole or part by action of Seminole County by virtue of a document of equal dignity herewith. The owner of the said property has expressly covenanted and agreed to this provision and all other terms and provisions of this Development Order.

**DEVELOPMENT ORDER #3-10000002**

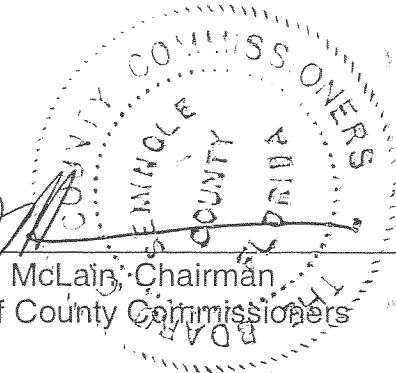
(5) The terms and provisions of this Order are not severable and in the event any portion of this Order shall be found to be invalid or illegal then the entire order shall be null and void.

**Done and Ordered on the date first written above.**

By: \_\_\_\_\_



Daryl G. McLain, Chairman  
Board of County Commissioners



OWNER'S CONSENT AND COVENANT

COMES NOW, Margaret D. Fox, on behalf of herself and her successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Development Order.

Mary Anne Jarrell  
Witness

MARY ANNE JARRELL  
Print Name

Margaret D. Fox  
Margaret D. Fox

Cynthia Detwiler  
Witness

Cynthia Detwiler  
Print Name

STATE OF FLORIDA

COUNTY OF SEMINOLE

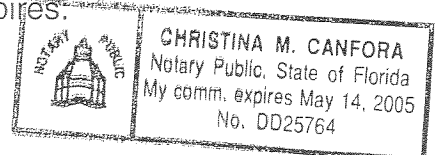
I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared MARGARET D. FOX, and is personally known to me or who has produced \_\_\_\_\_ as identification and who acknowledged and executed the foregoing instrument.

WITNESS my hand and official seal in the County and State last aforesaid this 22 day of July, 2004.

Christina M Canfora

Notary Public, in and for the County and State  
Aforementioned

My Commission Expires:



OWNER'S CONSENT AND COVENANT

COMES NOW, the Trust Under the Will of Byron A. Fox, on behalf of itself and its successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Development Order.

Mary Anne Jarrell  
Witness

MARY ANNE JARRELL  
Print Name

Cynthia Detwiler  
Witness

Cynthia Detwiler  
Print Name

Trust Under the Will of Byron A. Fox

Sandra A Stibung, TEE  
formerly known as Sandra A Bryant, TEE

By: Sandra Anne Bryant as successor  
Trustee of Trust Under the Will of  
Byron A. Fox

STATE OF FLORIDA

COUNTY OF SEMINOLE

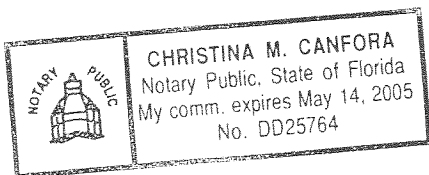
I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared SANDRA ANNE BRYANT, and is personally known to me or who has produced \_\_\_\_\_ as identification and who acknowledged and executed the foregoing instrument.

WITNESS my hand and official seal in the County and State last aforesaid this 22 day of July, 2004.

Christina M Canfora

Notary Public, in and for the County and State  
Aforementioned

My Commission Expires:





OWNER'S CONSENT AND COVENANT

COMES NOW, The Glenn A. Lingle Revocable Trust, on behalf of itself and its heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Development Order.

[Signature]  
Witness

Lenrico E. Williams  
Print Name

[Signature]  
Witness

Mallory Marriott  
Print Name

The Glenn A. Lingle Revocable Trust

[Signature]

By: Glenn A. Lingle as Trustee of  
The Glenn A. Lingle Revocable Trust

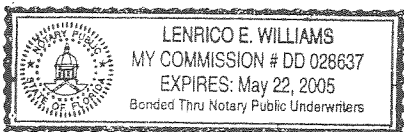
STATE OF FLORIDA

COUNTY OF SEMINOLE Orange

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared GLENN A. LINGLE, and is personally known to me or who has produced FL Drivers License as identification and who acknowledged and executed the foregoing instrument.

WITNESS my hand and official seal in the County and State last aforesaid this 7<sup>TH</sup> day of July, 2004.

[Signature]  
Lenrico E. Williams  
Notary Public, in and for the County and State  
Aforementioned



My Commission Expires:

EXHIBIT A

**Project Legal Description:**

A portion of the southeast 1/4 of section 30, township 19 South, range 30 East, Seminole County, Florida, being more particularly described as:

Commence at the southeast corner of said southeast 1/4 of section 30; thence run S89°40'25"W, along the south line of said southeast 1/4 of section 30, a distance of 1299.39 feet; thence N25°17'07"E a distance of 33.27 feet to the southeast corner of lot 48, Tall Trees, as recorded in plat book 39, pages 36, 37, and 38, public records of Seminole County, Florida; thence continue N25°17'07"E, along the southeasterly line of said Tall Trees, a distance of 810.69 feet for a point of beginning; thence continue N25°17'07"E, along the southeasterly line of said Tall Trees, a distance of 322.95 feet; thence S64°26'12"E a distance of 635.71 feet to the west right-of-way line of International Parkway; thence S00°14'02"W, along said west right-of-way line, a distance of 71.32 feet; thence S25°33'48"W, along the northwesterly right-of-way line of said International Parkway, a distance of 258.48 feet; thence N64°26'12"W a distance of 664.66 feet to the point of beginning.

CONTAINS 213,920 SQUARE FEET OR 4.911 ACRES MORE OR LESS.

A portion of the southeast 1/4 of section 30, township 19 South, range 30 East, Seminole County, Florida, being more particularly described as:

Commence at the southeast corner of said southeast 1/4 of section 30; thence run S89°40'25"W, along the south line of said southeast 1/4 of section 30, a distance of 1299.39 feet; thence N25°17'07"E a distance of 33.27 feet to the southeast corner of lot 48, Tall Trees, as recorded in plat book 39, pages 36, 37, and 38, public records of Seminole County, Florida; thence continue N25°17'07"E, along the southeasterly line of said Tall Trees, a distance of 1133.65 feet for a point of beginning; thence N00°14'21"E, along the easterly line of said Tall Trees, a distance of 641.68 feet; thence S89°45'58"E a distance of 574.54 feet to the west right-of-way line of International Parkway; thence S00°14'02"W, along said west right-of-way line, a distance of 913.65 feet; thence N64°26'12"W a distance of 635.71 feet to the point of beginning.

CONTAINS 446,824 SQUARE FEET OR 10.258 ACRES MORE OR LESS.

A portion of the southeast 1/4 of section 30, township 19 South, range 30 East, Seminole County, Florida, being more particularly described as:

Commence at the southeast corner of said southeast 1/4 of section 30; thence run S89°40'25"W, along the south line of said southeast 1/4 of section 30, a distance of 1299.39 feet; thence N25°17'07"E a distance of 33.27 feet to the southeast corner of lot 48, Tall Trees, as recorded in plat book 39, pages 36, 37, and 38, public records of Seminole County, Florida; thence continue N25°17'07"E, along the southeasterly line of said Tall Trees, a distance of 1133.65 feet; thence N00°14'21"E, along the east line of said tall trees, a distance of 641.68 feet for a point of beginning; thence continue N00°14'21"E, along said east line, a distance of 926.82 feet to the south right-of-way line of Wayside Drive; thence S89°52'00"E, along said south right-of-way line, a distance of 276.12 feet; thence S00°05'34"W a distance of 501.56 feet; thence S89°28'52"E a distance of 297.10 feet to the west right-of-way line of International Parkway; thence S00°14'02"W, along said west right-of-way line, a distance of 424.27 feet; thence N89°45'58"W a distance of 574.54 feet to the point of beginning.

CONTAINS 383,126 SQUARE FEET OR 8.795 ACRES MORE OR LESS.

SEMINOLE COUNTY DEVELOPMENT ORDER

On February 24, 2004, Seminole County issued this Development Order relating to and touching and concerning the following described property:

Legal description attached as Exhibit A.

(The aforescribed legal description has been provided to Seminole County by the owner of the aforescribed property.)

FINDINGS OF FACT

Property Owners: MARGARET D. FOX TRUST UNDER THE WILL OF BYRON A. FOX THE GLENN A. LINGLE REVOCABLE TRUST

Project Name: SAVANNAH PARK AT HEATHROW

Requested Development Approval: Small Scale Land Use Amendment from Office to Planned Development (PD) and rezoning from A-1 (Agriculture) to PUD (Planned Unit Development)

The Development Approval sought is consistent with the Seminole County Comprehensive Plan and will be developed consistent with and in compliance to applicable land development regulations and all other applicable regulations and ordinances.

The owner of the property has expressly agreed to be bound by and subject to the development conditions and commitments stated below and has covenanted and agreed to have such conditions and commitments run with, follow and perpetually burden the aforescribed property.

Prepared by: JEFF HOPPER 1101 East First Street Sanford, Florida 32771

MARYANNE MORSE, CLERK OF CIRCUIT COURT CLERK OF SEMINOLE COUNTY BK 05278 PGS 0867-0875 FILE NUM 2004062426 RECORDED 04/26/2004 08:53:12 AM RECORDING FEES 42.00 RECORDED BY L Woodley

CERTIFIED COPY MARYANNE MORSE CLERK OF CIRCUIT COURT SEMINOLE COUNTY, FLORIDA BY: [Signature] DEPUTY CLERK

RETURN TO SANDY MCCANN



**NOW, THEREFORE, IT IS ORDERED AND AGREED THAT:**

- (1) The aforementioned application for development approval is **GRANTED**.
- (2) All development shall fully comply with all of the codes and ordinances in effect in Seminole County at the time of issuance of permits including all impact fee ordinances.
- (3) The conditions upon this development approval and the commitments made as to this development approval, all of which have been accepted by and agreed to by the owner of the property are as follows:
  - a. Westward-facing balconies shall be prohibited within 100 feet of the west property line.
  - b. Permitted uses shall be townhouse units, single family homes, home occupations and home offices.
  - c. Use of common areas shall be limited to open space, recreational amenities, stormwater management, and utility facilities serving all residents of the development.
  - d. Density shall be limited to 8.0 units per net buildable acre or a maximum of 79 dwelling units.
  - e. Along the west site boundary, the following requirements shall apply:
    1. 50-foot undisturbed buffer to be supplemented with vegetation in areas where needed, so that an active buffer is created;
    2. 6-foot masonry wall;
    3. 50-foot setback for all two-story structures; and
    4. 120-foot setback for all three-story buildings.
  - f. Required setbacks and buffers along the south property line shall be as follows:
    1. 25-foot setback for all one-story buildings;
    2. 25-foot setback for all two-story buildings;
    3. 25-foot setback for all three-story buildings; and
    4. 15-foot landscape buffer with 4 canopy and 5 understory trees per every 100'.
  - g. A 20-foot setback shall be required from the front wall of any unit to the nearest edge of the street or sidewalk.
  - h. Mechanical units shall be located and/or screened so as not to be visible from International Parkway or adjoining single family development.
  - i. A minimum of twenty-five (25) percent of the project area must be designated as open space per the requirements of the Land Development Code. Wet retention areas to be counted as open space shall be amenitized in accordance with the design criteria of Section 30.1344 of the Land Development Code. The applicant shall demonstrate on the Final PUD Master Plan that the open space requirements have been met.
  - j. Prior to Final Master Plan approval, the applicant shall obtain a joint use agreement with the Seminole County Public Works Department allowing the existing County retention ponds adjacent to the site to be incorporated into the project's stormwater management system.
  - k. All landscape buffers and common areas shall be maintained by a homeowners association.

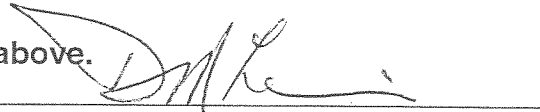
- l. The developer shall provide a pedestrian circulation system giving access to all public portions of the development as well as connecting to existing sidewalks outside the development.
- m. Outdoor lighting shall be cutoff/shoebox style fixtures no more than 16 feet in height.
- n. Street lighting adjacent to the west property boundary will be limited to decorative lighting affixed to the fronts of the units. Security lighting with motion sensors shall be permitted on any side of the buildings.
- o. Building height shall be limited to 35 feet for structures within 100 feet of the west property line, 45 feet for all others. Height shall be measured from the mean elevation between roof ridge and eaves, as specified in the Land Development Code.
- p. In the event that access to the site from International Parkway is provided, a cross-access easement shall be established to connect with said road over property described in Exhibit B.
- q. In the event that access from International Parkway is not provided, there shall be a second access to the site for emergency purposes only. The location and design of this emergency access shall be determined prior to Final Master Plan approval.
- r. Existing trees that are preserved during construction may satisfy the landscaping requirements of this development order or the Land Development Code.
- s. Review of the Final Master Plan by the Board of County Commissioners shall be a public hearing and architectural renderings of the proposed development shall be required.

(4) This Development Order touches and concerns the aforescribed property and the conditions, commitments and provisions of this Development Order shall perpetually burden, run with and follow the said property and be a servitude upon and binding upon said property unless released in whole or part by action of Seminole County by virtue of a document of equal dignity herewith. The owner of the said property has expressly covenanted and agreed to this provision and all other terms and provisions of this Development Order.

(5) The terms and provisions of this Order are not severable and in the event any portion of this Order shall be found to be invalid or illegal then the entire order shall be null and void.

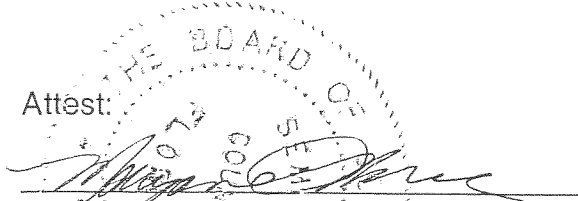
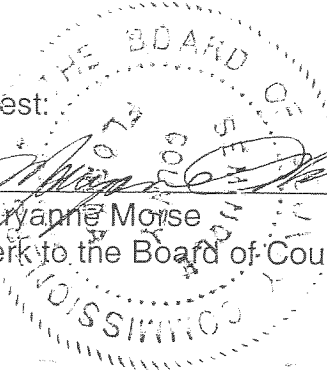
Done and Ordered on the date first written above.

By:



Daryl G. McLain  
Chairman  
Board of County Commissioners

Attest:

  
Maryanne Morse  
Clerk to the Board of County Commissioners

OWNER'S CONSENT AND COVENANT

COMES NOW, Margaret D. Fox, on behalf of herself and her successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Development Order.

*Margaret D. Fox*  
Witness

*MARGARET M CONNOR*  
Print Name

*Margaret D. Fox by*  
Margaret D. Fox. *May Anne Jarell*  
*her attorney*  
*in fact*

*Somer E Froemming*  
Witness

*SOMER E FROEMMING*  
Print Name

STATE OF FLORIDA

COUNTY OF SEMINOLE

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared MARGARET D. FOX, and is personally known to me or who has produced \_\_\_\_\_ as identification and who acknowledged and executed the foregoing instrument.

WITNESS my hand and official seal in the County and State last aforesaid this 1 day of April, 2004.

*Michael T Connor*

Notary Public, in and for the County and State Aforementioned

My Commission Expires:



Michael T Connor  
My Commission DD099445  
Expires May 04, 2006

OWNER'S CONSENT AND COVENANT

COMES NOW, the Trust Under the Will of Byron A. Fox, on behalf of itself and its successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Development Order.

*Margaret M. Connor*  
Witness

*MARGARET M CONNOR*  
Print Name

*James E. Froemming*  
Witness

*James E Froemming*  
Print Name

Trust Under the Will of Byron A. Fox

*Sandra A Bryant aka*

*Sandra A Stobung, TRS*

By: Sandra Anne Bryant as successor  
Trustee of Trust Under the Will of  
Byron A. Fox

STATE OF FLORIDA

COUNTY OF SEMINOLE

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared SANDRA ANNE BRYANT, and is personally known to me or who has produced \_\_\_\_\_ as identification and who acknowledged and executed the foregoing instrument.

WITNESS my hand and official seal in the County and State last aforesaid this 1 day of April, 2004.

*Michael T Connor*

Notary Public, in and for the County and State  
Aforementioned

My Commission Expires:



Michael T Connor  
My Commission DD009445  
Expires May 04, 2006



OWNER'S CONSENT AND COVENANT

COMES NOW, The Glenn A. Lingle Revocable Trust, on behalf of itself and its heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Development Order.

Margaret M. Connor  
Witness

The Glenn A. Lingle Revocable Trust

MARGARET M. CONNOR  
Print Name

Glenn A. Lingle  
By: Glenn A. Lingle as Trustee of  
The Glenn A. Lingle Revocable Trust

Armer E. Froemming  
Witness

Armer E. Froemming  
Print Name

STATE OF FLORIDA

COUNTY OF SEMINOLE

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared GLENN A. LINGLE, and is personally known to me or who has produced \_\_\_\_\_ as identification and who acknowledged and executed the foregoing instrument.

WITNESS my hand and official seal in the County and State last aforesaid this 1 day of April, 2004.

Michael T. Connor

Notary Public, in and for the County and State  
Aforementioned

My Commission Expires:



Michael T Connor  
My Commission DD099445  
Expires May 04, 2008

EXHIBIT A

**Project Legal Description:**

A portion of the southeast 1/4 of section 30, township 19 South, range 30 East, Seminole County, Florida, being more particularly described as:

Commence at the southeast corner of said southeast 1/4 of section 30; thence run S89°40'25"W, along the south line of said southeast 1/4 of section 30, a distance of 1299.39 feet; thence N25°17'07"E a distance of 33.27 feet to the southeast corner of lot 48, Tall Trees, as recorded in plat book 39, pages 36, 37, and 38, public records of Seminole County, Florida for a point of beginning; thence continue N25°17'07"E, along the southeasterly line of said Tall Trees, a distance of 810.69 feet; thence S64°26'12"E a distance of 664.66 feet to the northwesterly right-of-way line of International Parkway; thence S25°33'48"W along said northwesterly right-of-way, a distance of 490.00 feet to the north right-of-way line of Wilson Road; thence S89°40'25"W, along said north right-of-way line, a distance of 734.43 feet to the point of beginning.

CONTAINS 431,291 SQUARE FEET OR 9.901 ACRES MORE OR LESS.

**EXHIBIT B**

A portion of the southeast 1/4 of section 30, township 19 South, range 30 East, Seminole County, Florida, being more particularly described as:

Commence at the southeast corner of said southeast 1/4 of section 30; thence run S89°40'25"W, along the south line of said southeast 1/4 of section 30, a distance of 1299.39 feet; thence N25°17'07"E a distance of 33.27 feet to the southeast corner of lot 48, Tall Trees, as recorded in plat book 39, pages 36, 37, and 38, public records of Seminole County, Florida; thence continue N25°17'07"E, along the southeasterly line of said Tall Trees, a distance of 810.69 feet for a point of beginning; thence continue N25°17'07"E, along the southeasterly line of said Tall Trees, a distance of 322.95 feet; thence S64°26'12"E a distance of 635.71 feet to the west right-of-way line of International Parkway; thence S00°14'02"W, along said west right-of-way line, a distance of 71.32 feet; thence S25°33'48"W, along the northwesterly right-of-way line of said International Parkway, a distance of 258.48 feet; thence N64°26'12"W a distance of 664.66 feet to the point of beginning.

CONTAINS 213,920 SQUARE FEET OR 4.911 ACRES MORE OR LESS.

A portion of the southeast 1/4 of section 30, township 19 South, range 30 East, Seminole County, Florida, being more particularly described as:

Commence at the southeast corner of said southeast 1/4 of section 30; thence run S89°40'25"W, along the south line of said southeast 1/4 of section 30, a distance of 1299.39 feet; thence N25°17'07"E a distance of 33.27 feet to the southeast corner of lot 48, Tall Trees, as recorded in plat book 39, pages 36, 37, and 38, public records of Seminole County, Florida; thence continue N25°17'07"E, along the southeasterly line of said Tall Trees, a distance of 1133.65 feet for a point of beginning; thence N00°14'21"E, along the easterly line of said Tall Trees, a distance of 641.68 feet; thence S89°45'58"E a distance of 574.54 feet to the west right-of-way line of International Parkway; thence S00°14'02"W, along said west right-of-way line, a distance of 913.65 feet; thence N64°26'12"W a distance of 635.71 feet to the point of beginning.

CONTAINS 446,824 SQUARE FEET OR 10.258 ACRES MORE OR LESS.

A portion of the southeast 1/4 of section 30, township 19 South, range 30 East, Seminole County, Florida, being more particularly described as:

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CONTAINS 383,126 SQUARE FEET OR 8.795 ACRES MORE OR LESS.

