

SEMINOLE COUNTY GOVERNMENT
AGENDA MEMORANDUM

SUBJECT: Final Master Plan for Celery Estates South PUD (Robert Horian, applicant)

DEPARTMENT: Planning & Development **DIVISION:** Planning

AUTHORIZED BY: Dan Matthys **CONTACT:** Tina Deater **EXT.** 7440

Agenda Date <u>05/10/05</u> Regular <input checked="" type="checkbox"/> Consent <input type="checkbox"/> Work Session <input type="checkbox"/> Briefing <input type="checkbox"/> Public Hearing – 1:30 <input type="checkbox"/> Public Hearing – 7:00 <input type="checkbox"/>
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MOTION/RECOMMENDATION:

1. APPROVE the Final Master Plan and authorize the Chairman to execute the Developer's Commitment Agreement for Celery Estates South, consisting of approximately 14.27 acres and located on the southeast corner of Celery Avenue and Brisson Avenue, based on staff findings (Robert Horian, applicant); or
2. DENY the Final Master Plan and the Developer's Commitment Agreement for Celery Estates South, consisting of approximately 14.27 acres located on the southeast corner of Celery Avenue and Brisson Avenue, based on staff findings (Robert Horian, applicant); or
3. CONTINUE the request until a time and date certain.

District 5 – Commissioner Carey

Tina Deater, Senior Planner

BACKGROUND:

The applicant is seeking Final Master Plan approval for a 46 lot single family subdivision. The applicant obtained a large scale land use amendment and PUD Preliminary Master Plan approval on December 14, 2004. The proposed Final Master Plan complies with all of the conditions contained in the approved development order. The applicant also provided the attached architectural renderings and entrance sign plan, in compliance with the development order.

STAFF RECOMMENDATION:

APPROVE the Final Master Plan and authorize the Chairman to execute the Developer's Commitment Agreement for Celery Estates South consisting of approximately 14.27 acres and located on the southeast corner of Celery Avenue and Brisson Avenue.

ATTACHMENTS:

- Developer's Commitment Agreement
- Architectural Renderings
- Entrance Sign Plan

Reviewed by: <u>RD</u> Co Atty: <u>RD</u> DFS: <u>RD</u> Other: <u>RD</u> DCM: <u>RD</u> CM: <u>RD</u> File No. <u>rpdp01</u>
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**CELERY ESTATES SOUTH FINAL MASTER PLAN
DEVELOPER'S COMMITMENT AGREEMENT
COMMITMENTS, CLASSIFICATIONS AND DISTRICT DESCRIPTION**

The Celery Estates South PUD Final Master Plan Developer's Commitment Agreement Commitments, Classifications, and District Description dated March 22, 2005 reads as follows:

I. **LEGAL DESCRIPTION.** The legal description is attached hereto as Exhibit "A".

II. **PROPERTY OWNERS.** The current property owner is:

Legacy Investments, LLC.
550 N. Palmetto Ave.
Sanford, FL 32771

III. **STATEMENT OF BASIC FACTS.**

- A. Total Acreage: 14.27 acres
- B. Zoning: Planned Unit Development (PUD)
- C. Net Density: A maximum of 4 units per net buildable acre.
- D. The development approval sought is consistent with the Seminole County Comprehensive Plan and will be developed consistent with and in compliance to applicable land development regulations and all other applicable regulations and ordinances.
- E. The Owners of the Property have expressly agreed to be bound by and subject to the development conditions and commitments stated below and have covenanted and agreed to have such commitments run with, and follow and perpetually burden the Property.

IV. **OPEN SPACE CALCULATIONS.**

Open Space shall be provided at an overall rate of 25%. Open space (as listed below) is achieved through active recreation, passive recreation, and other green space. Open space amenities shall include a tot lot, picnic tables and a pavilion. Wet retention areas to be counted as open space shall be amenitized in accordance with the design criteria of Section 30.1344 of the Land Development Code and shall include a landscaped walking path.

Maintenance of the Common Open Space shall be the responsibility of the Home Owners Association.

Total Land Area:	14.27 acres
Open Space Required:	25% = 14.27 acres x 0.25 = 3.56 acres
Open Space Provided:	3.56 acres

V. **LOT PLAN – LAND USE BREAKDOWN.**

<u>Lot</u>	<u>Use</u>	<u>Acreage</u>	<u>% of Site</u>
1-46	Single-Family	7.69 acres	53.89%
N/A	Onsite ROW	2.13 acres	14.93%
N/A	25' Buffer	0.54 acres	3.78%
N/A	Detention/Rec Areas/ Open Space	3.04 acres	21.30%
N/A	ROW Dedication (Celery Ave. &Brisson Ave)	0.74 acres	5.19%
N/A	Maintenance Easement	0.13 acres	0.91%
	Total	14.27 acres	100%

VI. **BUILDING SETBACKS AND STANDARDS**

A. Single Family Home Setbacks

- 20' Front Yard
- 5' Side Yard
- 20' Side Street
- 20' Rear Yard
- 7.5' Rear Swimming Pool Setback
- 7.5' Side Swimming Pool Setback
- 22.5' Side Street Swimming Pool Setback
- 5' Rear Screened Enclosure and Shed Setback
- 5' Side Screened Enclosure and Shed Setback
- 20' Side Street Setback for Screened Enclosures and Sheds

B. Minimum Lot Size

Lots shall contain a minimum of 5,000 square and shall have a minimum width of 50' at the building line. Corner lots shall contain a minimum of 6,000 square and shall have a minimum width of 60' at the building line.

C. Maximum Building Height

35'

VII. **PERMITTED USES.**

Single-family homes and customary accessory uses, home occupations and home offices.

VIII. **LANDSCAPE AND BUFFER CRITERIA.**

- A. The buffer adjacent to Celery Avenue shall be a minimum of 25' in width and shall contain a six-foot high clay brick wall, within the 5' feet of buffer furthest from the post-development Celery Avenue right-of-way.
- B. The buffer shall be landscaped (on the Celery Avenue side of the wall) to include at a minimum, the following per every 100 linear feet along Celery Avenue:
 - a. Two canopy trees of a minimum 4-inch caliper per 100 linear feet along Celery Avenue.
 - b. Four understory/sub-canopy trees of minimum 1.5 inch caliper.
 - c. A continuous hedge line of at least 30 inches in height and 30 inches on center (as measured at the time of planting) located behind the required landscape trees. The hedge may be interrupted for ingress and egress.
- C. Due to the grading required on site and the proposed development on the property to the south the trees along the property line cannot be preserved. A tree removal plan shall be provided with the PSP, which indicates which trees are native and which have been planted as nursery stock. The native trees which are being removed have been mitigated as indicated on the plans. A plan depicting the location and design specifications of such replacement trees shall be subject to review and approval by county staff at the time of final engineering approval.
- D. Landscape material style and size shall meet or exceed Seminole County Land Development Code.
- E. The Homeowner's Association shall maintain all landscape buffers, open space and the Maintenance Easement along Brisson Avenue.

Tree Species	Estimated Number of Existing Trees	Estimated Number of Trees to be Removed
Oak (ROW)	11	11
Oak	139	139
Palm (ROW)	1	1
Palm	86	86
Pine (ROW)	3	3
Pine	7	7
Bay	2	2
Cypress	10	10
Cedar	1	1
Magnolia	2	2
Total	262	262

The number of existing trees and trees to be preserved are estimated numbers based on surveys of representative areas of the Property. The Owners are not proposing to preserve any existing trees.

IX. MICELLANEOUS DEVELOPMENT COMMITMENTS.

- A. The development of the Property shall comply with the Final PUD Master Plan attached hereto as Exhibit "B".
- B. Road improvements on Celery Avenue, such as the turn lane, shall be constructed concurrently with the development as reflected on the Final PUD Master Plan. The developer shall dedicate a 5 feet strip of Right-of-Way along Brisson Avenue and a 30 feet strip of Right-of-Way along Celery Avenue to Seminole County.
- C. The developer shall construct a 5-foot wide sidewalk along the south side of Celery Avenue.
- D. Construction activity shall be permitted only between the hours of 7:00 am to 9:00 pm, Monday through Saturday. Exceptions may be granted by the County Engineer or the Development Review Manager.

X. PUBLIC FACILITIES.

WATER:

Water service shall be provided by City of Sanford. Service lines and fire hydrants shall conform to City of Sanford and Department of Environmental Protection Standards.

SANITARY SEWER:

Sanitary sewer shall be provided by City of Sanford. Service lines shall conform to City of Sanford and Department of Environmental Protection Standards.

STORM DRAINAGE:

Storm water pollution abatement and attenuation for pre-post conditions are to be provided on-site according to Seminole County and St. John's River Water Management District requirements.

FIRE PROTECTION:

Fire Protection shall be provided by Seminole County and City of Sanford (Utilities). Fire hydrants shall be located according to City of Sanford and Seminole County regulations.

XI. STANDARD COMMITMENTS.

- A. Unless specifically addressed otherwise herein, all development shall fully comply with the codes and ordinances, including impact fee ordinance, of Seminole County.
- B. All obligations, liabilities, and responsibilities incurred or implied by the Owners of this agreement shall be assumed by any successors-in-interest of any portion of the Property.

- C. This agreement concerns the Property, and the conditions, commitments and provisions of the agreement shall perpetually burden, run with, and follow the said property and be a servitude upon and binding upon said property unless released in full or in part by action of Seminole County by virtue of a document of equal dignity herewith. The Owners of the Property have expressly covenanted and agreed to the provision and all other terms and provisions of this agreement.
- D. The terms and provisions of this agreement are not severable, and in the event any portion of this agreement shall be found to be invalid or illegal, then the entire agreement shall be null and void.

XII. **INTERPRETATION; RELATIONSHIP TO FINAL MASTER PLAN AND DEVELOPMENT ORDER.**

This Developer's Commitment Agreement is intended to summarize material provisions of the Final Master Plan of the Property approved concurrently herewith by the Board of County Commissioners of Seminole County. In the event of an inconsistency between this Developer's Commitment Agreement and the Final Master Plan, the terms and conditions of the Developer's Commitment Agreement shall control. Furthermore, in the event of a conflict between the terms of the Developer's Commitment Agreement and Development Order Number 04-10000001, the terms of the Developer's Commitment Agreement shall control.

DONE AND ORDERED ON THE DATE FIRST WRITTEN ABOVE.

ATTEST:

BOARD OF COUNTY COMMISSIONERS
SEMINOLE COUNTY, FLORIDA

(Name of Clerk, typed, printed or stamped)
Clerk of the Board

(Name of Chairman, typed, printed or stamped), Chairman

OWNERS' CONSENT AND COVENANT

COMES NOW, the owner, Legacy Investment LLC, on behalf of itself and its heirs agents, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Development Commitment Agreement.

WITNESSES:

OWNERS:

Print Name:_____

Legacy Investment, LLC,

Print Name:_____

Robert Horian, President of Legacy Investment LLC

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this ___ day of _____, 2005, by _____, as _____, who is personally known to me or who has produced _____ as identification.

Notary Public

(Name of Notary, typed, printed or stamped)
My Commission Expires:

**EXHIBIT A
LEGAL DESCRIPTION**

**LEG SEC 32 TWP 19S RGE 31E W $\frac{3}{4}$ OF N $\frac{1}{2}$ OF NW $\frac{1}{4}$ OF NE $\frac{1}{4}$, ALL LYING IN
SEMINOLE COUNTY, FL, LESS ROADS ROW'S**

FINAL MASTER PLAN FOR CELERY ESTATES SOUTH

SEMINOLE COUNTY UNINCORPORATED, FLORIDA

OWNER/DEVELOPER

SUNCOR PROPERTIES, INC. / LEGACY INVESTMENTS, LLC.
550 N. PALMETTO AVE.
SANFORD, FL 32771
BOB HORIAN, PRESIDENT
(407) 688-7644
TONY CIPPARONE, VICE PRESIDENT
(407) 443-5510

ENGINEER

CPH ENGINEERS, INC.
500 W. FULTON STREET
SANFORD, FL 32771
ATTN: GEORGE E. HENNESSEE, P.E.
(407) 322-6841

SURVEYOR

MIMS SURVEYING AND MAPPING, INC.
8238 FORT THOMAS WAY
ORLANDO, FL 32822
ATTN: WALTER T. MIMS, LS
(407) 275-6691

UTILITIES

WATER:
CITY OF SANFORD
300 N PARK AVE.
SANFORD, FL 32771
ATTN: PAUL MOORE, P.E. DIRECTOR
(407) 330-5600

SEWER:
CITY OF SANFORD
300 N PARK AVE.
SANFORD, FL 32771
ATTN: PAUL MOORE, P.E. DIRECTOR
(407) 330-5600

ELECTRIC:
FLORIDA POWER AND LIGHT
P.O. BOX 2149
SANFORD, FL 32772
ATTN: CHARLIE JOHNSON
(407) 328-1922

UTILITIES

TELEPHONE:
BELLSOUTH
132 COMMERCE WAY
SANFORD, FL 32771
ATTN. SCOTT LORENZ
(407) 302-7611

CABLE:
BRIGHT HOUSE NETWORKS
2617 S. FRENCH AVE.
SANFORD, FL 32773
ATTN. REVIEWER
(407) 645-4701

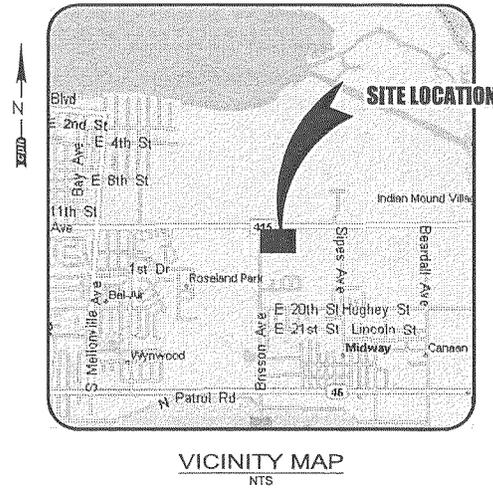
PERMITTING AGENCIES

FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
FDEP DRINKING WATER SECTION
CENTRAL FLORIDA DISTRICT
3319 MAGUIRE BLVD., SUITE 232
ORLANDO, FLORIDA 32803-3767
ATTN: KYLE KUBANEK
(407) 893-3300

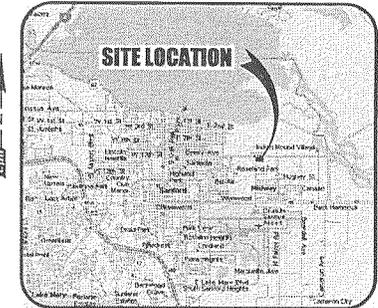
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
FDEP DOMESTIC WASTEWATER SECTION
CENTRAL FLORIDA DISTRICT
3319 MAGUIRE BLVD., SUITE 232
ORLANDO, FLORIDA 32803-3767
ATTN: DAPHNE STOKER
(407) 893-3315

ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT
618 E. SOUTH STREET
ORLANDO, FL 32801
(407) 897-4300
ATTN: ROD PAKZADIAN

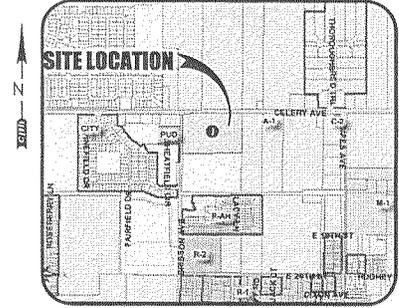
SEMINOLE COUNTY SERVICES BUILDING
1101 EAST FIRST STREET
SANFORD, FL 32771
(407) 665-7438
ATTN. REVIEWER



VICINITY MAP
NTS



LOCATION MAP
NTS



ZONING MAP
NTS

INDEX OF SHEETS

C-1	COVER SHEET
C-2	TOPOGRAPHIC SURVEY
C-3	SOILS SURVEY
C-4	PRELIMINARY MASTER PLAN
C-5	UTILITY PLAN
C-6	SECTIONS SHEET
C-7	TRACT OWNERSHIP PLAN
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE NOTES AND DETAILS
TR-1	TREE RETENTION PLAN

DEVELOPER/OWNER ACKNOWLEDGEMENTS

- LEGAL INSTRUMENTS WILL BE INSTITUTED TO PROVIDE FOR THE MANAGEMENT OF COMMON AREAS AND FACILITIES.
- POTABLE WATER FOR THE DEVELOPMENT WILL BE PROVIDED BY CITY OF SANFORD.
- FIRE HYDRANTS WILL BE INSTALLED WITHIN THE DEVELOPMENT AS REQUIRED TO PROVIDE ADEQUATE FIRE PROTECTION.
- SEWAGE/DOMESTIC WASTEWATER EFFLUENT FROM THE DEVELOPMENT WILL BE TREATED BY CITY OF SANFORD THROUGH THEIR COLLECTION SYSTEM.

CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE-CALL OF FLORIDA, INC. @ 1-800-432-4770 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION

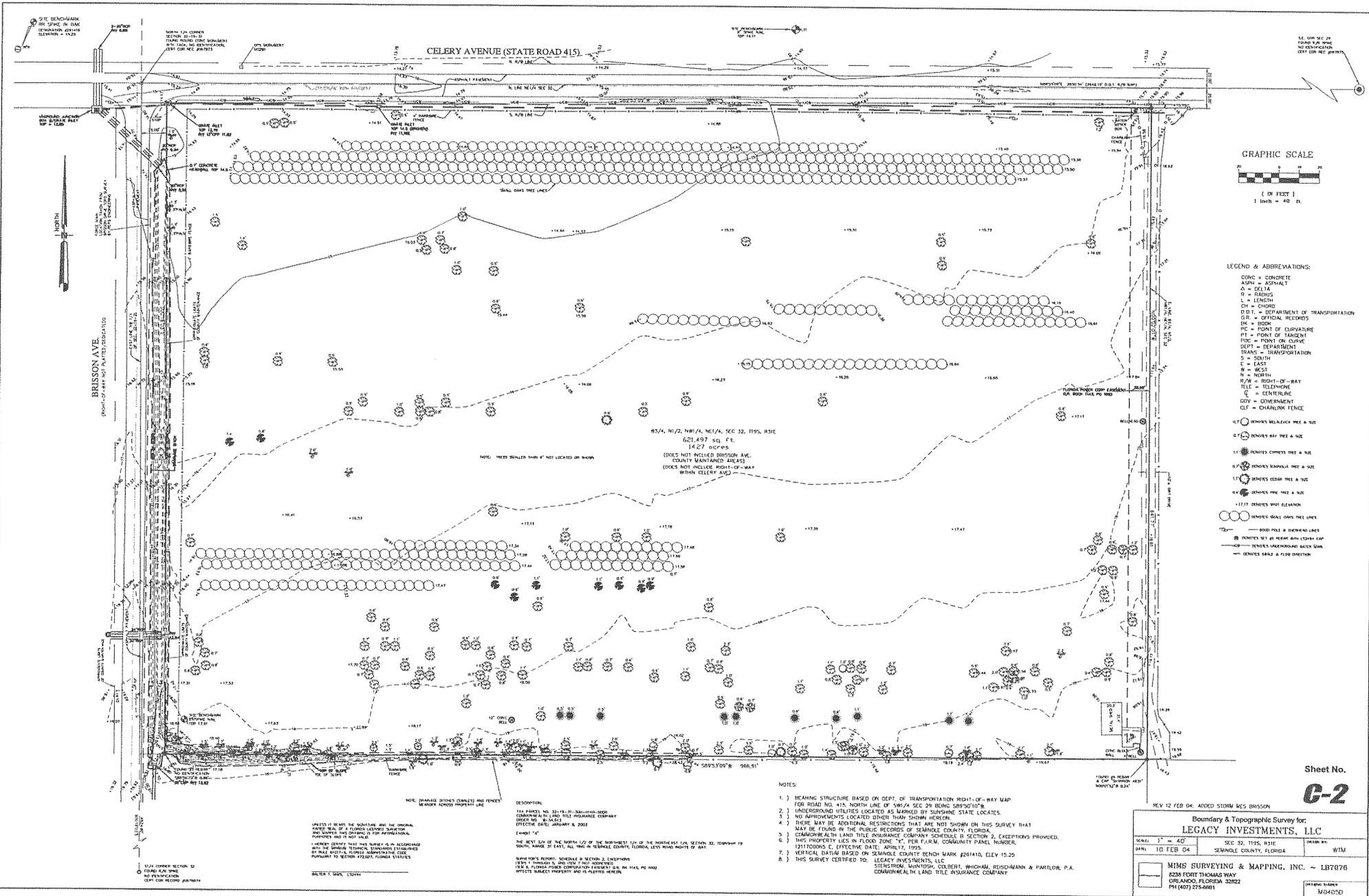
Engineer
Landowner/Architect
Surveyor
City of Sanford
100 West Palm Beach Street, Sanford, FL 32771
P.O. Box 1000, Sanford, FL 32771
© 2004

Scale: N.T.S.
Date: JUNE 2004
Drawn By: J.E.M.
Checked By: J.E.M.
Approved By: J.E.M.
File: COTER
© 2004

Activity	Name	Date	By
Designed by:	J.E.M.	06/01	J.E.M.
Checked by:	J.E.M.	06/01	J.E.M.
Approved by:	J.E.M.	06/01	J.E.M.

COVER SHEET
CELERY ESTATES - SOUTH
SEMINOLE COUNTY, FLORIDA

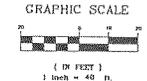
Sheet No.
C-1



CELERY AVENUE (STATE ROAD 415)

BRISSON AVE

85/4, N1/2, NW1/4, NE1/4, SEC 22, T9S, R3E
 621,497 sq. ft.
 14.27 acres
 (DOES NOT INCLUDE BRISSON AVE. COUNTY MAINTAINED AREAS)
 (DOES NOT INCLUDE RIGHT-OF-WAY WITHIN CELERY AVE)



- LEGEND & ABBREVIATIONS:
- CONC = CONCRETE
 - ASPH = ASPHALT
 - Δ = DELTA
 - R = RADIUS
 - L = LENGTH
 - CH = CHORD
 - DEPT = DEPARTMENT OF TRANSPORTATION
 - GR = OFFICIAL RECORDS
 - IR = IRON
 - PC = POINT OF CURVATURE
 - PT = POINT OF TANGENCY
 - PIC = POINT ON CURVE
 - DEPT = DEPARTMENT
 - TRANS = TRANSPORTATION
 - S = SOUTH
 - E = EAST
 - N = NORTH
 - W = WEST
 - R/W = RIGHT-OF-WAY
 - TELE = TELEPHONE
 - C = CENTERLINE
 - GOV = GOVERNMENT
 - CLF = CHAINING FENCE
- DENOTES WELLS
 - DENOTES BAY TREE & SIZE
 - DENOTES CYPRESS TREE & SIZE
 - DENOTES MANGROVE TREE & SIZE
 - DENOTES CEDAR TREE & SIZE
 - DENOTES PINE TREE & SIZE
 - DENOTES SHOT ELEVATION
 - DENOTES SMALL OAKS TREE LINES
 - DENOTES POLE & SHOWN LINES
 - DENOTES SET BY MEAN 60% LITHIC CAP
 - DENOTES UNDERGROUND WATER MAIN
 - DENOTES SCALE & FLOW DIRECTION

- NOTES:
1. BEARING STRUCTURE BASED ON DEPT. OF TRANSPORTATION RIGHT-OF-WAY MAP FOR ROAD NO. 415, NORTH LINE OF NW1/4 SEC 29 BEING SR1501078
 2. UNDERGROUND UTILITIES LOCATED AS MARKED BY SUNSHINE STATE LOCATES
 3. NO IMPROVEMENTS LOCATED OTHER THAN SHOWN HEREON
 4. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA
 5. SEMINOLE LAND TITLE INSURANCE COMPANY SCHEDULE B SECTION 2, EXCEPTIONS PROVIDED
 6. THIS PROPERTY LIES IN FLOOD ZONE "X" PER F.A.R.M. COMMUNITY PANEL NUMBER 22120003 (EFFECTIVE DATE, JANUARY, 1995)
 7. VERTICAL DATUM BASED ON SEMINOLE COUNTY BENCH MARK #281410, ELEV 10.25
 8. THIS SURVEY CERTIFIED TO: LEGACY INVESTMENTS, LLC, STEPHEN MONTGOMERY, CLERK, WHICHAM, BOSSDAMANN & PARELOR, P.A. COMMONWEALTH LAND TITLE INSURANCE COMPANY

Sheet No. **C-2**

Boundary & Topographic Survey for
LEGACY INVESTMENTS, LLC

SCALE: 1" = 40'
 DATE: 10 FEB 08
 SEC 22, T9S, R3E
 SEMINOLE COUNTY, FLORIDA

MIMS SURVEYING & MAPPING, INC. ~ LBT076
 6228 FORT THOMAS WAY
 ORLANDO, FLORIDA 32822
 PH (407) 275-6661

DATE: 10 FEB 08
 BY: WTM
 CHECKED BY: M4045D

SOIL LEGEND

SYMBOL	NAME	HYDROLOGIC GROUP
20	MYANKA AND EAUGALLIE FINE SAND	B/D
25	PINEDA FINE SAND	B/D
29	ST. JOHNS AND EAUGALLIE FINE SAND	B/D

CELERY AVENUE (COUNTY ROAD 415)

BRISSON AVENUE

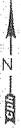
20

25

SUBJECT SITE

29

20



Scale: 1" = 40'
 Date: JUNE 2004
 Job No. S11004
 J.E.M.
 Approved: C. 2004

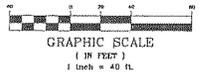
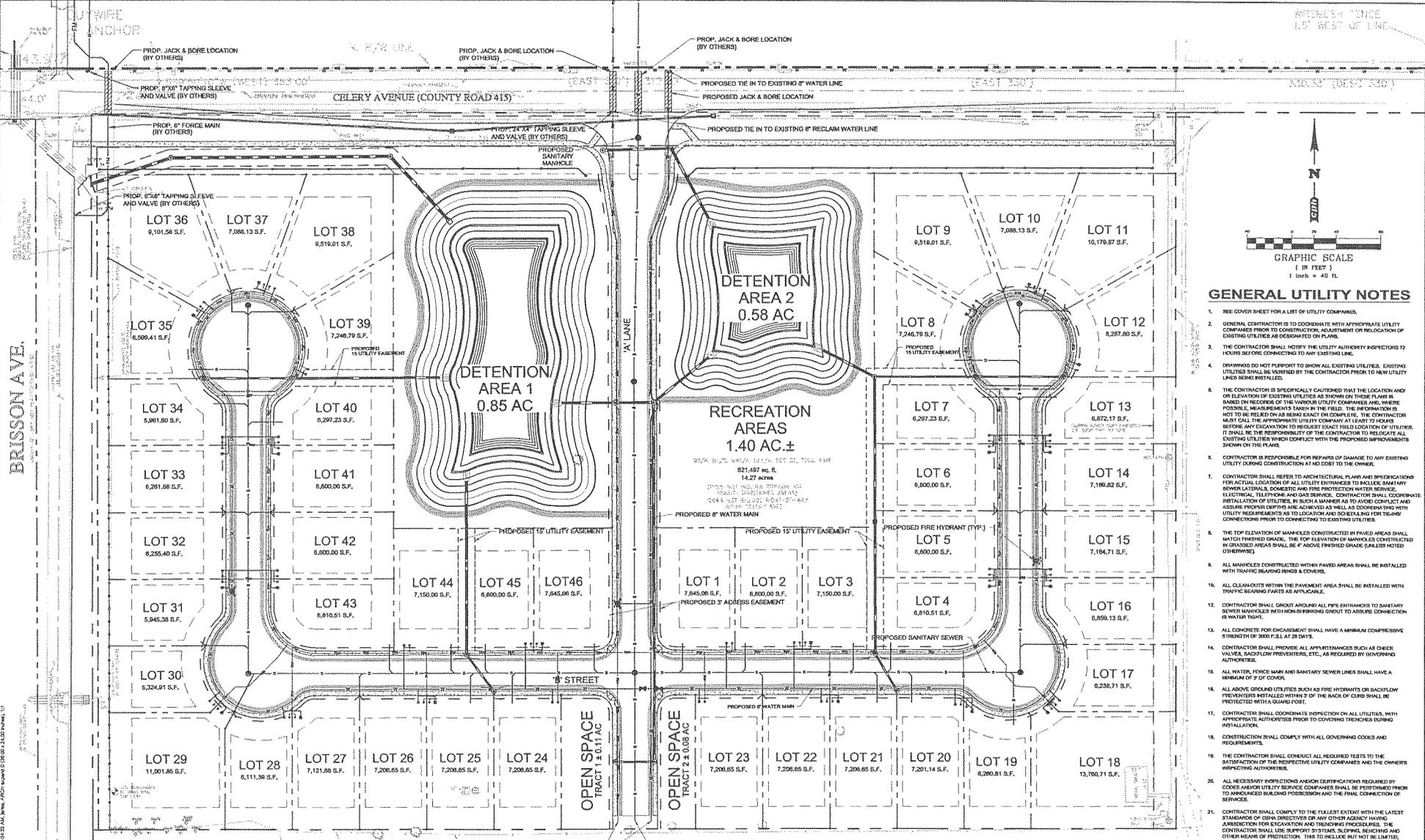
Activity	Name	Date	Δ
Designed by:	J.E.M.	05/04	Δ
Drawn by:	J.E.M.	05/04	Δ
Checked by:	J.E.M.	05/04	Δ
Approved by:	J.E.M.	05/04	Δ

Comments: PER SEMINOLE CITY DRC COMMENTS DATED 7/18/04
 Revision

SOILS SURVEY
 CELERY ESTATES - SOUTH
 SEMINOLE COUNTY, FLORIDA

Sheet No.
C-3

10/15/04 10:57:00 AM Project: C:\Users\jeh\My Documents\Projects\SOILS SURVEY\SOILS SURVEY.dwg Plot: C:\Users\jeh\My Documents\Projects\SOILS SURVEY\SOILS SURVEY.dwg



GENERAL UTILITY NOTES

- SEE COVER SHEET FOR A LIST OF UTILITY COMPANIES.
- GENERAL CONTRACTOR IS TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION. ADJUSTMENT OR RELOCATION OF EXISTING UTILITIES AS DEMONSTRATED ON PLANS.
- THE CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO NEW UTILITY LINE BEING INSTALLED.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY REPAIR MATERIALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICT AND ASSURE PROPER SPACING AND SERVICE. CONTRACTOR SHALL COMPLY WITH UTILITY REQUIREMENTS AS TO LOCATION AND PROTECTING FOR THEM CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
- THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN PAVED AREAS SHALL MATCH FINISHED GRADE. THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN GRADED AREAS SHALL BE 4" ABOVE FINISHED GRADE (UNLESS NOTED OTHERWISE).
- ALL MANHOLES CONSTRUCTED WITHIN PAVED AREAS SHALL BE NOTIFIED WITH TRAFFIC BEARING RINGS & COVERS.
- ALL CLEAN-OUTS WITHIN THE PAVEMENT AREA SHALL BE INSTALLED WITH TRAFFIC BEARING PARTS AS APPLICABLE.
- CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS WATER TIGHT.
- ALL CONCRETE FOR ENCASUREMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS.
- CONTRACTOR SHALL PROVIDE ALL APPURTENANCES SUCH AS CHECK VALVES, BACKFLOW PREVENTERS, ETC., AS REQUIRED BY GOVERNING AUTHORITIES.
- ALL WATER, FORCE MAIN AND SANITARY SEWER LINES SHALL HAVE A MINIMUM OF 2' OF COVER.
- ALL ABOVE GROUND UTILITIES SUCH AS FIRE HYDRANTS OR BACKFLOW PREVENTERS INSTALLED WITHIN 7' OF THE BACK OF CURB SHALL BE PROTECTED WITH A SLOTTED PIPE.
- CONTRACTOR SHALL COORDINATE INSPECTION ON ALL UTILITIES, WITH APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHED DURING INSTALLATION.
- CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND REQUIREMENTS.
- THE CONTRACTOR SHALL CONTACT ALL REQUIRED PERMITS AND THE OWNERS INSPECTING AUTHORITIES.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY GOVERNING AUTHORITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER LOCAL, STATE, FEDERAL OR COUNTY REGULATIONS AND THE FLORIDA TRINCH SAFETY ACT (FLSA), LAWS OF FLORIDA. ANY MATERIAL, CONSTRUCTION METHODS, OR MATERIAL COST TO COMPLY WITH THESE LAWS SHALL BE INCIDENTAL TO THE CONTRACT.
- THE CONTRACTOR SHALL RECOGNIZE AND ADOPT BY ALL OSHA EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRINCH SAFETY ACT (FLSA), LAWS OF FLORIDA. ANY MATERIAL, CONSTRUCTION METHODS, OR MATERIAL COST TO COMPLY WITH THESE LAWS SHALL BE INCIDENTAL TO THE CONTRACT.

PROPOSED LEGEND

- W — PROPOSED WATER MAIN
- W — PROPOSED WATER SERVICE, SEE CITY DETAILS SHEET
- F — PROPOSED FIRE HYDRANT, SEE CITY DETAILS SHEET
- P — PROPOSED FIRE FITTING
- V — PROPOSED GATE VALVE
- RW — PROPOSED RECLAIM WATER MAIN
- RW — PROPOSED RECLAIM SERVICE, SEE CITY DETAILS SHEET
- S — PROPOSED SANITARY SEWER MAIN
- S — PROPOSED SANITARY SEWER SERVICE, SEE CITY DETAILS SHEET
- SS — PROPOSED STORM SEWER PIPE

CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE-CALL OF FLORIDA, INC. @ 1-800-432-4773 FOR LOCATION OF PARTICIPATING UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR CONTRACTING ALL NON-PARTICIPATING UTILITIES INDIVIDUALLY.

CONTRACTOR TO PROVIDE STUBOUT @ EL. ± 15'-4"

2" TEMP. BLOW-OFF (FUTURE CONNECTION)

Engineers
 Landscape Architects
 Surveyors
 Professional Mechanical
 Professional Electrical
 Professional Civil
 Professional Environmental
 Professional Planning
 Professional Traffic
 Professional Urban
 Professional Water Resources
 Professional Wind Engineering
 Professional Woodwork
 Professional Zoning

epn
 Engineering & Planning
 1000 N. W. 10th St., Suite 1000
 Ft. Lauderdale, FL 33304
 Phone: (954) 561-1100
 Fax: (954) 561-1101
 www.epn.com

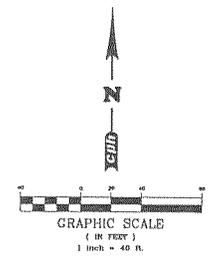
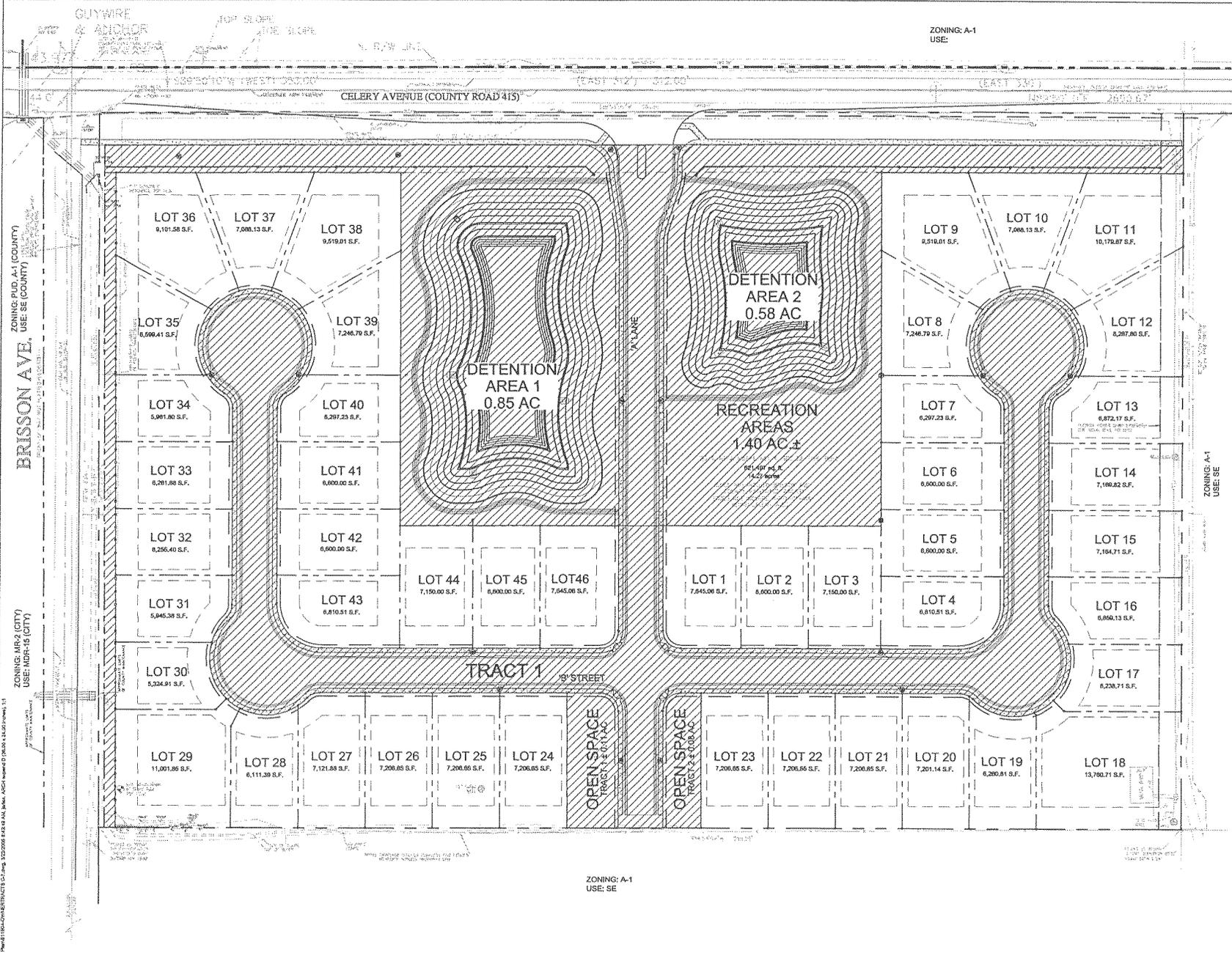
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Date:	JUNE 2004
Drawn by:	J.E.M.
Checked by:	J.E.M.
Approved by:	J.E.M.
Project No.:	111604
Job No.:	111604
File No.:	UTILITY
Revision:	
No.:	
Date:	

UTILITY PLAN

CELERY ESTATES - SOUTH

SEMIHOLE COUNTY, FLORIDA

Sheet No.
0-5



OWNERSHIP LEGEND

 TRACTS TO BE OWNED AND MAINTAINED BY THE CELERY ESTATES SOUTH P.L.L.C.

 LOTS 1 - 46

LOTS 1 THRU 46 TO BE OWNED AND MAINTAINED BY PRIVATE HOME OWNERS

ZONING: PUD, A-1 (COUNTY)
USE: SE (COUNTY)

ZONING: MR-2 (CITY)
USE: MDR-15 (CITY)

ZONING: A-1
USE:

ZONING: A-1
USE: SE

ZONING: A-1
USE: SE

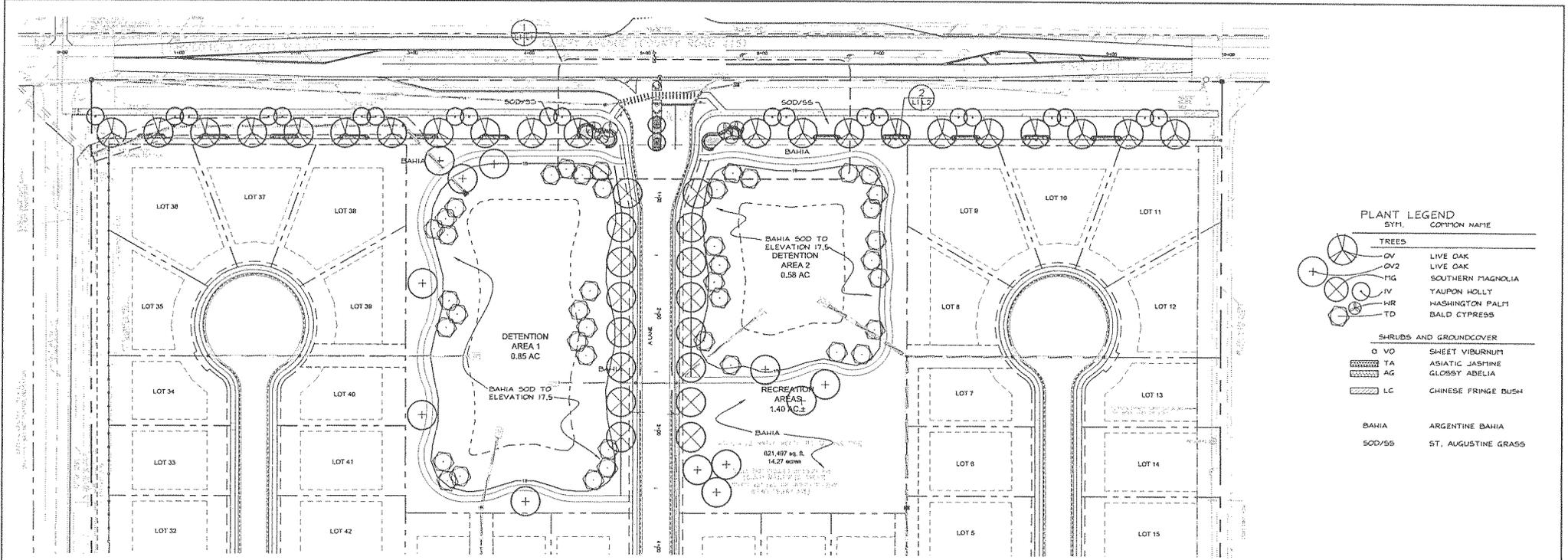
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07/26/04	PER SEMINOLE CNTY DRC COMMENTS DATED 7/16/04	J.E.M.	1				N.D.E.	N.N.N.	J.E.M.	MAY 2004	1" = 40'
02/14/05	PER SEMINOLE CNTY DRC COMMENTS DATED 01/21/05	J.E.M.	2				N.D.E.	J.E.M.	J.E.M.		

CELERY ESTATES
SOUTH
SEMINOLE COUNTY, FLORIDA



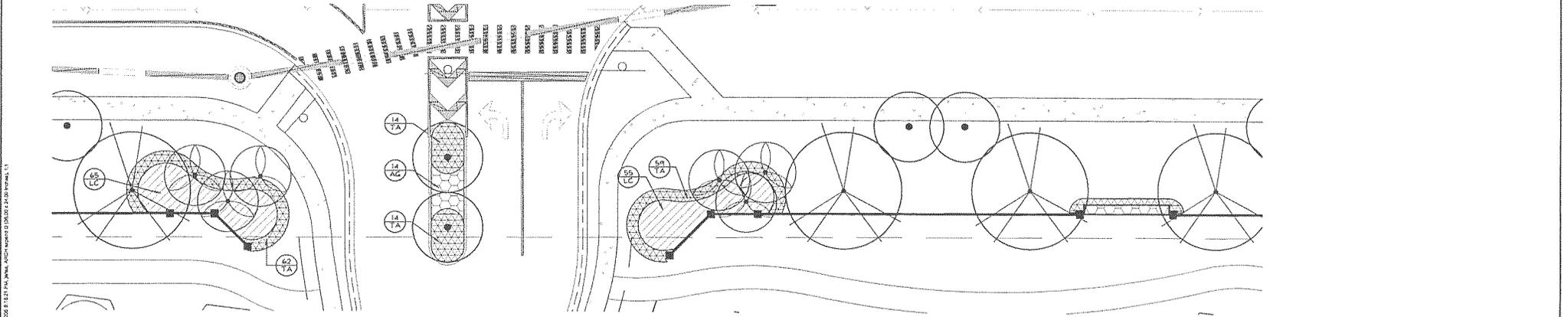
TRACT OWNERSHIP PLAN

Sheet No.
C-7



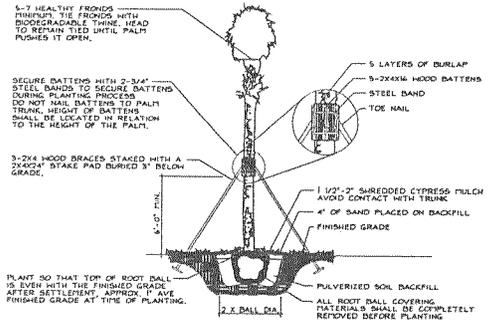
PLANT LEGEND

SYML.	COMMON NAME
TREES	
OV	LIVE OAK
OV2	LIVE OAK
FIG	SOUTHERN MAGNOLIA
IV	YALPON HOLLY
HR	HASHINGTON PALM
TD	BALD CYPRESS
SHRUBS AND GROUNDCOVER	
VO	SHEET VIBURNUM
TA	ASIATIC JASMINE
AG	GLOSSY ABELIA
LC	CHINESE FRINGE BUSH
BAHIA	ARGENTINE BAHIA
SOD/55	ST. AUGUSTINE GRASS

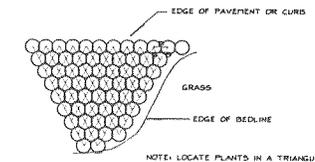


ENLARGED LANDSCAPE PLAN
SCALE: 1"=10'

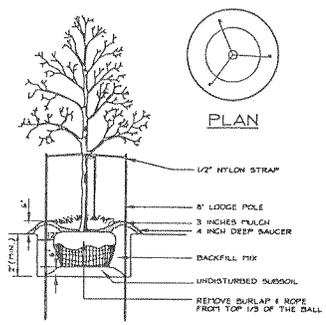
<table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Revision</th> <th>Approved</th> <th>Initials</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>12/21/2014</td> <td>PER SEMINOLE CNTY DRC COMMENTS DATED 12/21/14</td> <td>J.E.M.</td> <td></td> <td></td> </tr> </tbody> </table>	No.	Date	Revision	Approved	Initials	Date	1	12/21/2014	PER SEMINOLE CNTY DRC COMMENTS DATED 12/21/14	J.E.M.			<table border="1"> <thead> <tr> <th>Designed by:</th> <th>Drawn by:</th> <th>Checked by:</th> <th>Approved by:</th> </tr> </thead> <tbody> <tr> <td>K.D.L.</td> <td>L.S.T.</td> <td>J.K.W.</td> <td>J.K.W.</td> </tr> </tbody> </table>	Designed by:	Drawn by:	Checked by:	Approved by:	K.D.L.	L.S.T.	J.K.W.	J.K.W.	<table border="1"> <thead> <tr> <th>7/04</th> <th>7/04</th> <th>7/04</th> <th>7/04</th> </tr> </thead> <tbody> <tr> <td>Scale: 1" = 40'</td> <td>Date: 11/04</td> <td>Job No: S11004</td> <td>File: LSP</td> </tr> </tbody> </table>	7/04	7/04	7/04	7/04	Scale: 1" = 40'	Date: 11/04	Job No: S11004	File: LSP	<p>CELERY ESTATES SOUTH SunCor Properties, Inc SEMINOLE COUNTY, FLORIDA</p>		<p>James K. Wynn, P.E. LAL200011</p>	<p>LANDSCAPE NOTES AND DETAILS</p>	<p>Sheet No. L-1</p>
No.	Date	Revision	Approved	Initials	Date																														
1	12/21/2014	PER SEMINOLE CNTY DRC COMMENTS DATED 12/21/14	J.E.M.																																
Designed by:	Drawn by:	Checked by:	Approved by:																																
K.D.L.	L.S.T.	J.K.W.	J.K.W.																																
7/04	7/04	7/04	7/04																																
Scale: 1" = 40'	Date: 11/04	Job No: S11004	File: LSP																																



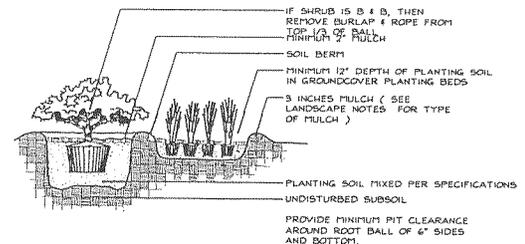
PALM STAKING DETAIL
N.T.S.



SHRUB/GROUNDCOVER SPACING PLAN
N.T.S.



TREE PLANTING
N.T.S.



SHRUB AND GROUNDCOVER PLANTING DETAIL
N.T.S.

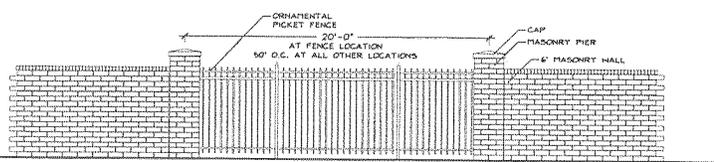
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	DESCRIPTION
------	------	----------------	-------------	-------------

TREES				
OV	21	QUERCUS VIRGINIANA	LIVE OAK	4\"/>

SHRUBS AND GROUNDCOVER				
O VO	328	VIBURNUM ODORATISSIMUM	SHEET VIBURNUM	7 GAL., 30\"/>

BAHIA	BY CONTR.	PASPALUM NOTATUM 'ARGENTINE'	ARGENTINE BAHIA	SEED AND MULCH, CONTRACTOR TO VERIFY
SOD/SS	BY CONTR.	STENOTAPHRUM SECUNDATUM	ST. AUGUSTINE GRASS	LIVE SOD, CONTRACTOR TO VERIFY QTY.

NOTE:
IF SPECIFIED PLANTS ARE UNAVAILABLE AT TIME OF CONSTRUCTION, CONTRACTOR MAY REPLACE SPECIFIED PLANTS WITH PLANTS APPROVED BY LANDSCAPE ARCHITECT AND COUNTY STAFF.
ALL OPEN SPACE AREAS WITHIN THE PROPERTY SHALL BE SODDED UNLESS PAVED, SEEDED AND MULCHED OR PLANTED WITH SHRUBS AND GROUND COVER.



MASONRY WALL AND FENCE ELEVATION
SCALE: 1/4\"/>

No.	Date	Revision	Approved	No.	Date	Revision	Approved	Designed by	K.D.L.	7/04	Scale	1\"/>
1				1				Drawn by	L.E.T.	7/04		
2				2				Checked by	J.K.W.	7/04		DATE: JULY 2004
				3				Approved by	J.K.W.	7/04		JOB NO: ST1604

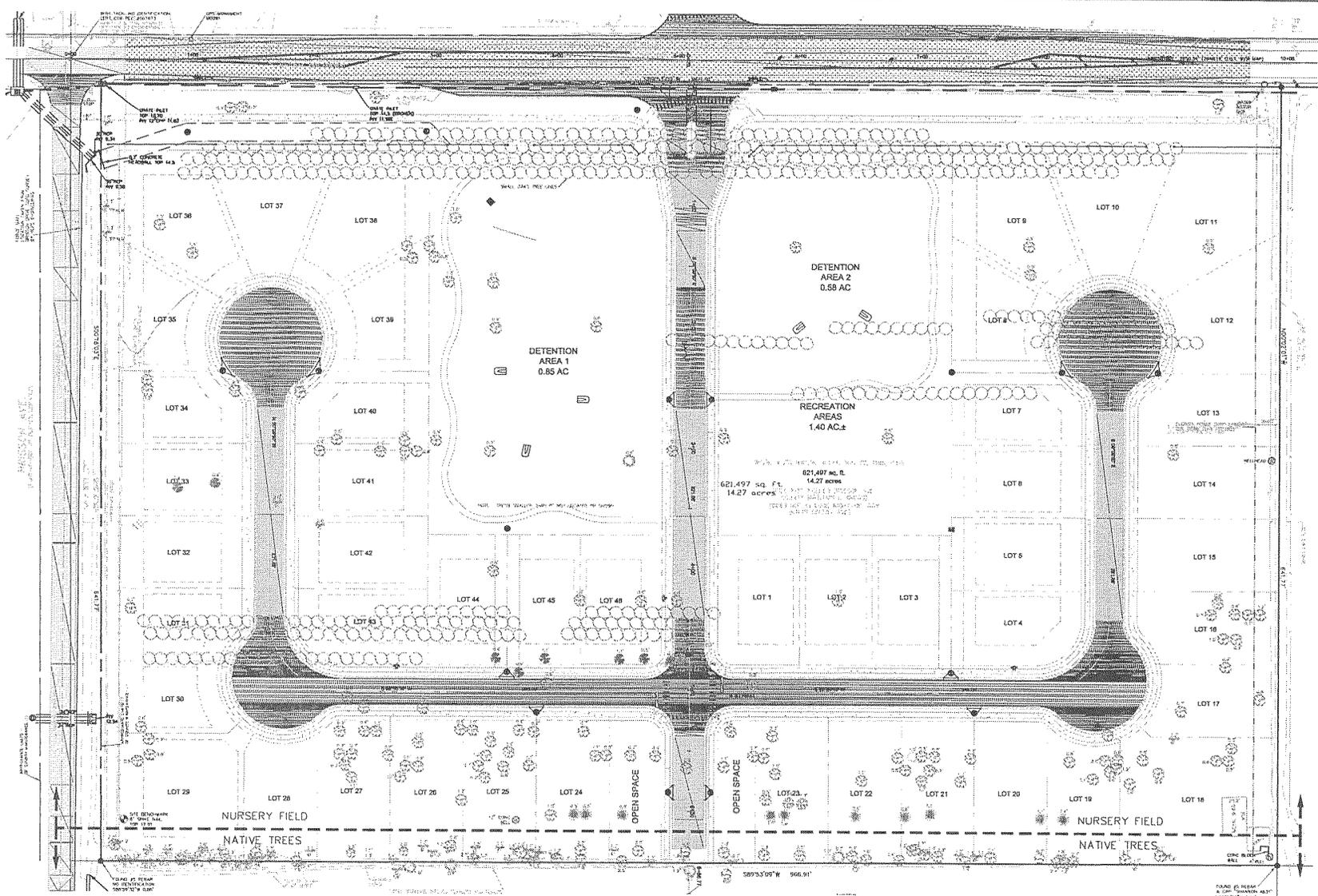
CELERY ESTATES SOUTH
SunCor Properties, Inc
SEMINOLE COUNTY, FLORIDA



James F. White, P.E.
LX000011

LANDSCAPE NOTES AND DETAILS

Sheet No.
L-2



TREES IN R.O.W. SIZE (INCHES) INCHES		OTHER TREES SIZE (INCHES)			
8	OAK	10	BAY	6	OAK
12	OAK	9	BAY	12	OAK
10.5	PINE	9	SEEDAR	20	OAK
10.5	PINE	6	CYPRESS	25	OAK
5.5	OAK	6	CYPRESS	12	PALM
10	OAK	12	CYPRESS	15	PALM
10	OAK	12	CYPRESS	14	PALM
10	OAK	12	CYPRESS	24	PALM
24	PALM	7	CYPRESS	18	PALM
8	OAK	7	CYPRESS	18	PALM
10.5	OAK	13	CYPRESS	18	PALM
10	OAK	13	CYPRESS	15	PALM
7	OAK	17	CYPRESS	18	PALM
7	OAK	9	MAGNOLIA	20	PALM
7	OAK	9	MAGNOLIA	18	PALM
7	OAK	12	MALIBU	18	PALM
64	NURSERY	12	MALIBU	18	PALM
		12	MALIBU	12	PALM
		6	OAK	12	PALM
		6	OAK	14	PALM
		14.5	OAK	16	PALM
		10	OAK	12	PALM
		17	OAK	13	PALM
		2	OAK	15	PALM
		10	OAK	16	PALM
		10	OAK	16	PALM
		10	OAK	15	PALM
		5	OAK	16	PALM
		2	OAK	14	PALM
		12	OAK	17	PALM
		12	OAK	17	PALM
		12	OAK	17	PALM
		6	OAK	17	PALM
		8	OAK	18	PALM
		10	OAK	18	PALM
		10.5	OAK	16	PALM
		3	OAK	17	PALM
		6	OAK	18	PALM
		6	OAK	18	PALM
		6	OAK	14	PALM
		12	OAK	14	PALM
		10	OAK	14	PALM
		10.5	OAK	14	PALM
		10.5	OAK	14	PALM
		12	OAK	16	PALM
		12	OAK	16	PALM
		8	OAK	12	PALM
		8	OAK	12	PALM
		8	OAK	12	PALM
		8	OAK	12	PALM
		13	OAK	15	PALM
		10.5	OAK	21	PALM
		10	OAK	27	PALM
		13	OAK	15	PALM
		6	OAK	17	PINE
		6	OAK	7	PINE
		7	OAK	10.5	PINE
		12	OAK	13	PINE
		10.5	OAK	8	PINE
		8	OAK		
		13	OAK		
		10	OAK		
		12	OAK		
		8	OAK		
		0	OAK		
		15	OAK		
		10	OAK		
		7	OAK		
		12	OAK		
		34	OAK		
		29	OAK		
		15	OAK		
		24.5	OAK		
		33	OAK		
		24	OAK		
		10	OAK		
		27	OAK		
		24	OAK		
		14	OAK		
		32	OAK		
		18	OAK		
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		10	OAK		
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		15	OAK		
		29	OAK		
		14	OAK		
		26	OAK		
		10	OAK		
		10	OAK		
		7	OAK		
		10.5	OAK		

TREE DATA

TREES REMOVED	REQUIRED REPLACEMENTS 2" MIN. CAL.
3"-12" 8	16
13"-23" 10	30
24" 18	72
	118

REQUIRED REPLACEMENT TREES = 118
PROVIDED TREES = 118

No.	Date	Revision	Approved	No.	Date	Revision	Approved	Designed by:	C.N.W.	7/04	Scale:	1" = 40'
								Drawn by:	C.N.W.	7/04	Date:	11/04
								Checked by:	M.J.U.	7/04	Job No.:	311804
								Approved by:	M.J.U.	7/04	Title:	LSP

CELERY ESTATES SOUTH
SunCor Properties, Inc
SEMINOLE COUNTY, FLORIDA



JAMES H. WYTER, P.L.L.C.
P11

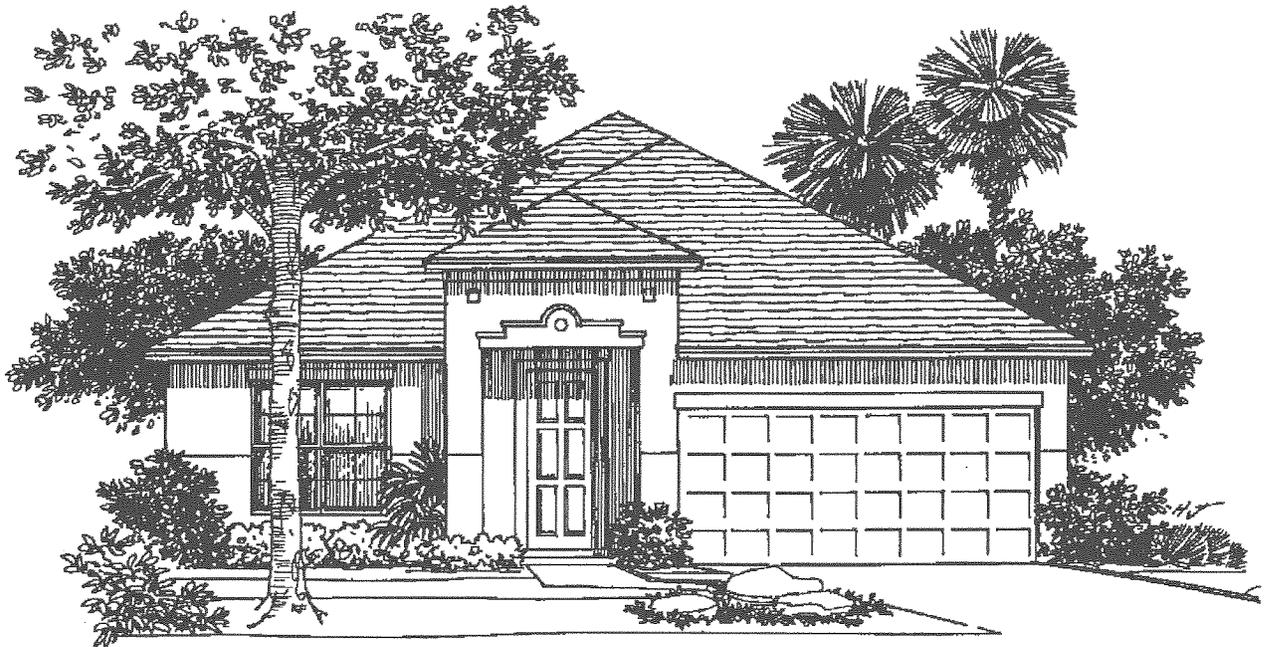
TREE RETENTION PLAN

Sheet No.
TR-1

Seville Palm

3 Bedroom, Activity, 2 Bath, 2 Car Garage

Elevations



Elevation "MW"

SQUARE FOOTAGE
(APPROX)

Living..... 1978 Sq. Ft.
Entry..... 20 Sq. Ft.
Garage..... 381 Sq. Ft.
Total Under Roof..... 2379 Sq. Ft.

Concrete Line

1978-40006000 Rev_M1

10/01/04



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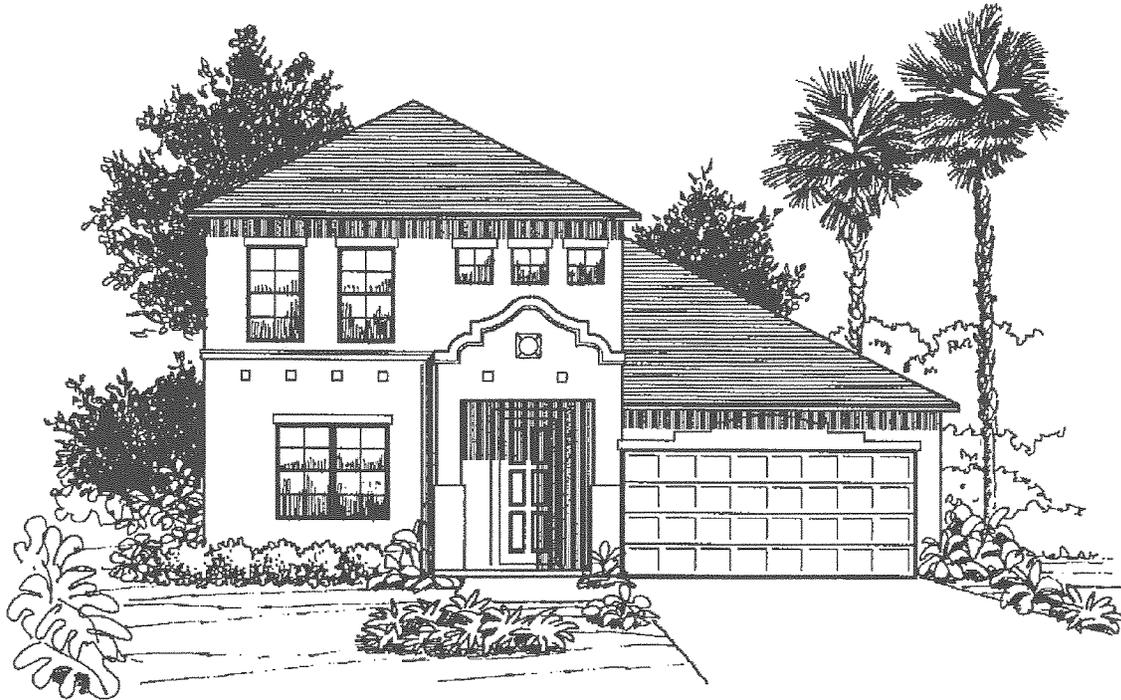


Corporate Master

Seville Palm w/ Game

3 Bedroom, Activity, Game, 2 Bath, 2 Car Garage

Elevations



Elevation "MW"

SQUARE FOOTAGE (APPROX)

First Floor.....1978 Sq. Ft.
Second Floor.....487 Sq. Ft.
Total Living..... 2465 Sq. Ft.
Entry..... 20 Sq. Ft.
Garage..... 381 Sq. Ft.
Total Under Roof..... 2866 Sq. Ft.

Concrete Line

2465-40006000 Rev_M1

10/01/04



EQUAL HOUSING
OPPORTUNITY

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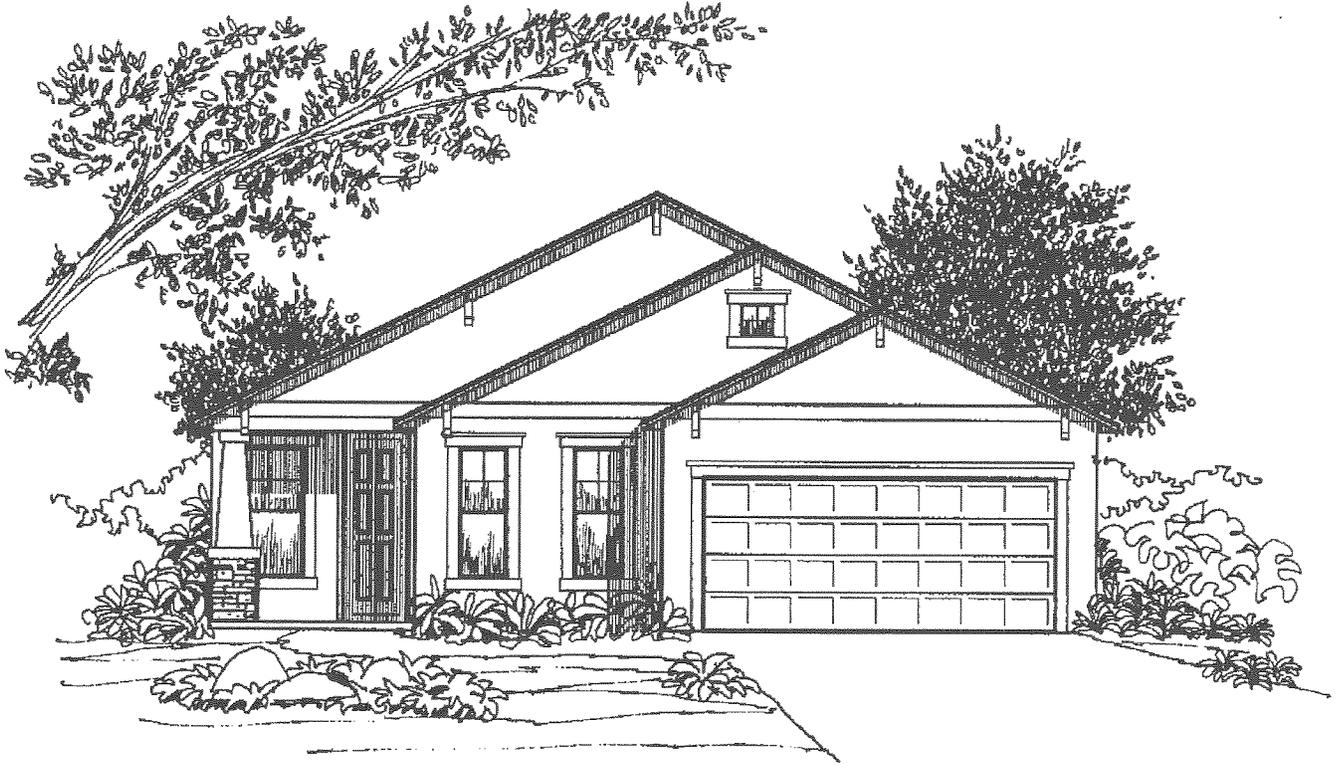


Corporate Master

Valencia Palm

3 Bedroom, Activity, 2 Bath, 2 Car Garage

Elevations



Elevation "OW"

SQUARE FOOTAGE (APPROX)

Living.....	1770 Sq. Ft.
Entry.....	67 Sq. Ft.
Garage.....	400 Sq. Ft.
Total Under Roof.....	2237 Sq. Ft.

Concrete Line

1770-40006000 Rev_M1

10/1/04



EQUAL HOUSING
OPPORTUNITY

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Mercedes
HOMES

Corporate Master

Cordoba Palm

3 Bedroom, 2 Bath, 2 Car Garage

Elevations



Elevation "MW"

**SQUARE FOOTAGE
(APPROX)**

Living.....	1532 Sq. Ft.
Entry.....	67 Sq. Ft.
Garage.....	395 Sq. Ft.
Total Under Roof.....	1994 Sq. Ft.

Concrete Line

1532-40005108 Rev_M1

10/01/04



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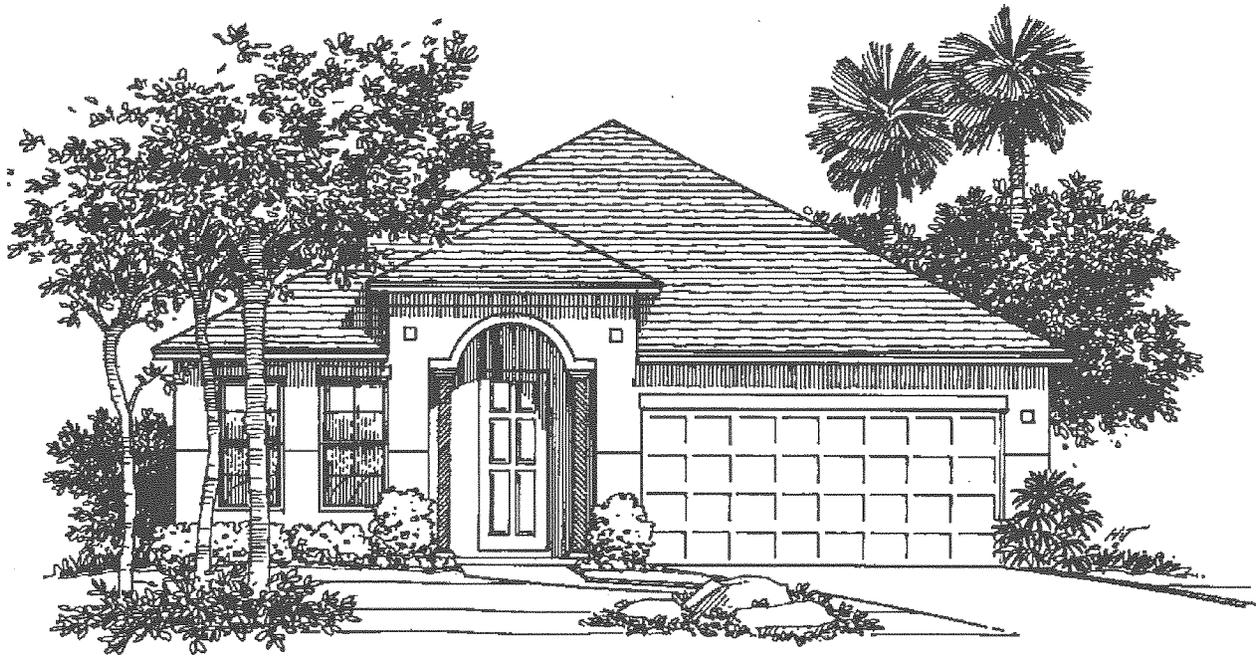


Corporate Master

Barcelona Palm

3 Bedroom, Study, 2 Bath, 2 Car Garage

Elevations



Elevation "MW"

SQUARE FOOTAGE (APPROX)

Living.....	1723 Sq. Ft.
Entry.....	33 Sq. Ft.
Garage.....	384 Sq. Ft.
Total Under Roof.....	2140 Sq. Ft.

Concrete Line

1723-38085806 Rev_M1

10/01/04



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Corporate Master

Cordoba Palm

3 Bedroom, 2 Bath, 2 Car Garage

Elevations



Elevation "MW"

SQUARE FOOTAGE (APPROX)

Living.....	1532 Sq. Ft.
Entry.....	67 Sq. Ft.
Garage.....	395 Sq. Ft.
<u>Total Under Roof.....</u>	<u>1994 Sq. Ft.</u>

Concrete Line

1532-40005108 Rev_M1

10/01/04



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Corporate Master

Marbella Palm

4 Bedroom, Study, Loft, 2-1/2 Bath, 2 Car Garage

Elevations



Elevation "OW"

SQUARE FOOTAGE (APPROX)

First Floor.....	1182 Sq. Ft.
Second Floor.....	1055 Sq. Ft.
Total.....	2237 Sq. Ft.
Entry.....	51 Sq. Ft.
Garage.....	398 Sq. Ft.
Total Under Roof.....	2686 Sq. Ft.

Concrete Line

2237-40005008 Rev_M1

10/01/04



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Marbella Palm w/ Game

4 Bedroom, Study, Game, Loft, 2-1/2 Bath, 2 Car Garage

Elevations



Elevation "OW"

SQUARE FOOTAGE (APPROX)

First Floor.....	1182 Sq. Ft.
Second Floor.....	1467 Sq. Ft.
Total.....	2649 Sq. Ft.
Entry.....	51 Sq. Ft.
Garage.....	398 Sq. Ft.
Total Under Roof.....	3098 Sq. Ft.

Concrete Line

2649-40005008 Rev_M1

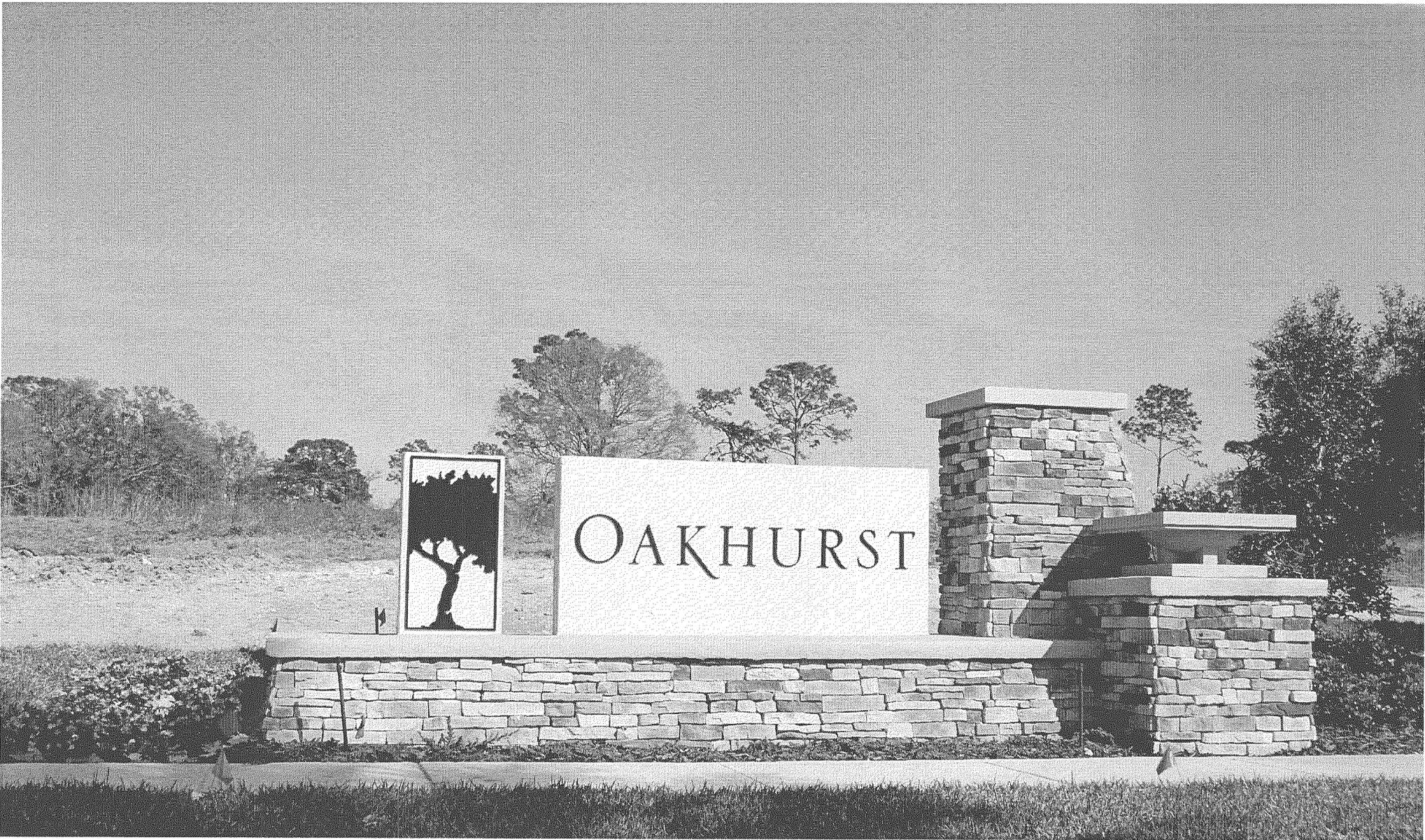
10/01/04



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Corporate Master



OAKHURST

