

Item # 32

SEMINOLE COUNTY GOVERNMENT  
AGENDA MEMORANDUM

Continued 12/14/04,1/11/05,1/25/05

**SUBJECT:** Appeal of the Board of Adjustment approval of a (1) Special Exception to establish a 194 foot tall monopole communication tower in the A-5 (Rural Zoning Classification District); and (2) associated variances; (Richard and Jay Shirah/Earthcom, Inc., applicants).

**DEPARTMENT:** Planning & Development      **DIVISION:** Planning

**AUTHORIZED BY:** Donald S. Fisher      **CONTACT:** Kathy Fall      **EXT:** 7389

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| <b>Agenda Date</b> <u>02-22-05</u> <b>Regular</b> <input type="checkbox"/> <b>Consent</b> <input type="checkbox"/> <b>Work Session</b> <input type="checkbox"/> <b>Briefing</b> <input type="checkbox"/> |
| <b>Public Hearing – 1:30</b> <input checked="" type="checkbox"/> <b>Public Hearing – 7:00</b> <input type="checkbox"/>   |

**MOTION/RECOMMENDATION:**

- UPHOLD** the Board of Adjustment decision to approve the request for (1) Special Exception to establish a 194 foot tall monopole communication tower in the A-5 (Rural Zoning Classification District); and (2) associated variances from 582 feet to 60 feet, 582 feet to 230 feet, 582 feet to 270 feet, 582 feet to 450 feet and 582 feet to 535 feet to reduce the minimum distance separation from the proposed tower to the nearest properties with single-family dwellings; (Richard and Jay Shirah/Earthcom, Inc, applicants); or
- REVERSE** the Board of Adjustment decision to approve the request for (1) Special Exception to establish a 194 foot tall monopole communication tower in the A-5 (Rural Zoning Classification District); and (2) associated variances from 582 feet to 60 feet, 582 feet to 230 feet, 582 feet to 270 feet, 582 feet to 450 feet and 582 feet to 535 feet to reduce the minimum distance separation from the proposed tower to the nearest properties with single-family dwellings; (Richard and Jay Shirah/Earthcom, Inc, applicants); or
- CONTINUE** the request to a time and date certain.

Commissioner District #2, Morris

Kathy Fall, Senior Planner

**BACKGROUND:**

At its January 25, 2005 regular meeting, the Board of County Commissioners continued the appeal to the February 22, 2005 public hearing in order for the applicant to provide additional information that was requested at its December 14, 2004 public hearing. The Board of County Commissioners requested the applicant to have balloons flown at the height of the proposed monopole tower of 194 feet and for staff to take pictures at different locations. To date, staff has not received any additional information nor has the balloon test been scheduled. If staff receives any additional information, it will be forwarded to the Board as quickly as possible.

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| <b>Reviewed by:</b> <u>CR</u><br><b>Co Atty:</b> _____<br><b>DFS:</b> _____<br><b>Other:</b> <u>AW</u><br><b>DCM:</b> _____<br><b>CM:</b> <u>KG</u><br><b>File No.</b> <u>ph130pdp01</u> |
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**BOARD OF ADJUSTMENT DECISION:**

At its October 25, 2004 regular meeting, the Board of Adjustment approved a special exception to allow a monopole communication tower and its associated variances from residential properties on a 5 acre parcel in the A-5 (Rural Zoning Classification). On October 26, 2004 Commissioner Morris asked that request be heard before the Board of County Commissioners. The Board agreed to hear the request.

**STAFF RECOMMENDATION:**

Uphold the Board of Adjustment's decision to approve, per staff recommended conditions, a special exception for a monopole communication tower and its associated variances from residential properties.

## STAFF REPORT

**GENERAL INFORMATION**

Applicants: Richard and Jay Shirah/ Earthcom, Inc

A-5 District, LDC section 124 (b)(23) communication towers; LDC section 30.1364(b) performance standards (minimum separation from off-site uses / designated areas)

**BACKGROUND REQUEST**

The subject property is owned by Gary and Elizabeth Lashinsky and is currently used as a horse training facility. The applicants propose to lease a portion of the subject property in order to construct a 194 foot tall monopole communication tower.

- **Request for special exception**  
The existing site is located in the A-5 district, where monopole communication towers are permitted by special exception.
- **Request for variances**
  - Minimum separation distance is defined as 300 percent of proposed tower height (or 194 ft x 3 = 582 ft), measured from the outer extremity of the base of the tower to the nearest property line of the parcels where residences are located. For the proposed 194 foot tower, the land development code requires a minimum separation distance of 582 ft between the base of the tower and surrounding single-family properties.
  - The subject property abuts a total of five (5) properties where there are existing single-family residences within the separation radius. The following variances are requested to reduce the minimum separation requirements for a 194 foot monopole tower:

| SE DESIGNATED PARCELS  | MINIMUM SEPARATION DISTANCE | VARIANCE AMOUNT REQUESTED |
|------------------------|-----------------------------|---------------------------|
| 25-20-31-5BA-0000-436A | 582 FEET                    | to 522 FEET               |
| 25-20-31-5BA-0000-4360 | 582 FEET                    | to 352 FEET               |
| 25-20-31-5BA-0000-338B | 582 FEET                    | to 47 FEET                |
| 12-21-31-501-0000-0010 | 582 FEET                    | to 312 FEET               |
| 25-20-31-5BA-0000-437A | 582 FEET                    | to 132 FEET               |

- The applicants request was for a 197 foot tall monopole tower, but staff recommended that the height be restricted to 194 feet. The additional 3 feet would be used for future co-location opportunities, and staff advised the applicant that the same could be achieved, if necessary, through an administrative amendment. The Seminole County Land Development Code Sec. 30.1368 allows an administrative height increase not to exceed 20 feet one time only. The applicants agreed to the height reduction, based on staff's

- The subject property is occupied by a horse training facility designated Rural-5 FLU and A-5 (Rural Zoning Classification district), where the separation requirement does not apply.
- The appeal was advertised for the 197 foot monopole tower to allow the Board of County Commissioners the flexibility in considering the greater height. The chart below list the variances necessary for the 197 foot tower:

| SE DESIGNATED PARCELS  |          | VARIANCE AMOUNT REQUESTED |
|------------------------|----------|---------------------------|
| 25-20-31-5BA-0000-436A | 591 FEET | to 531 FEET               |
| 25-20-31-5BA-0000-4360 | 591 FEET | to 361 FEET               |
| 25-20-31-5BA-0000-338B | 591 FEET | to 56 FEET                |
| 12-21-31-501-0000-0010 | 591 FEET | to 321 FEET               |
| 25-20-31-5BA-0000-437A | 591 FEET | to 141 FEET               |

**ZONING & FLU**

| DIRECTION | EXISTING ZONING | EXISTING FLU     | USE OF PROPERTY         |
|-----------|-----------------|------------------|-------------------------|
| Site      | A-5             | Rural-5          | Horse training facility |
| North     | A-5             | Rural-5          | Mobile home             |
| South     | A-1             | Suburban Estates | Single-family           |
| East      | A-5             | Rural-5          | Church                  |
| West      | A-5             | Rural-5          | Mobile home             |

**STANDARDS FOR GRANTING A SPECIAL EXCEPTION**

The Board of County Commissioners shall have the power to hear and decide special exceptions and variances it is specifically authorized to pass under the terms of the land development code upon determination that the use requested:

**Is not detrimental to the character of the area or neighborhood or inconsistent with trends of development in the area:**

The trend of development in the area has included a combination of single-family, institutional and agricultural uses that are permitted by the A-5 zoning classification. The A-5 zoning classification allows uses, such as landscaping contractors, poultry production, plant nurseries and large parcel single family lots. The proposed tower is a standard 194 foot tall monopole structure that is not designed to assimilate into surrounding development but at its proposed location on the horse training facility it minimizes the visual impact to the adjacent existing residential homes. The monopole tower and associated equipment will be located on the east side of the 5 acre horse training facility surrounded by existing buildings on the west and south, existing trees on the south and east side of the property. The variances are measured from base of the tower to the nearest property line of single-family parcels. The chart below is provided to demonstrate the approximate distance from the base of the tower to the existing home on the surrounding properties:

| <b>Parcel Numbers</b>  | <b>Distance to property line</b> | <b>Distance to existing home</b> |
|------------------------|----------------------------------|----------------------------------|
| 25-20-31-5BA-0000-436A | 60 FEET                          | 420 FEET                         |
| 25-20-31-5BA-0000-4360 | 230 FEET                         | 500 FEET                         |
| 25-20-31-5BA-0000-338B | 535 FEET                         | 745 FEET                         |
| 12-21-31-501-0000-0010 | 270 FEET                         | 525 FEET                         |
| 25-20-31-5BA-0000-437A | 450 FEET                         | 665 FEET                         |

**Does not have an unduly adverse effect on existing traffic patterns, movements and volumes:**

The proposed tower would not have an adverse impact on existing traffic volumes, since the facility would be unmanned and require approximately one site visit per month (2 vehicle trips) for routine service and maintenance.

**Is consistent with the Seminole County Vision 2020 Comprehensive Plan:**

The Seminole County Vision 2020 Comprehensive Plan describes the Rural-5 Future Land Use (FLU) as a category established for agricultural uses and residential development on large lots.

The comprehensive plan further describes Rural-5 FLU as appropriate for special exception uses like utility structures. With the imposition of staff's recommended conditions, the proposed communication tower would be consistent with the Rural-5 FLU designation.

**Meets any additional requirements specified in the code section authorizing the use in a particular zoning district or classification; and**

Based on the submitted site plan, the proposed communication tower would not meet the 582 ft minimum separation distance, as explained elsewhere in this report. For this reason, variances from the minimum separation distances required between the base of the proposed tower and the abutting properties are requested as a part of this application.

**Will not adversely affect the public interest:**

Within the A-5 district, communication towers are conditional uses. The low density, agricultural character of the surrounding area appears to support this type of facility with minimal potential impacts to the aesthetics of the community.

The incorporation of design elements, such as muted colors and a reduction in height to the minimum necessary to accommodate the proposed carriers would reduce visual impact to surrounding development.

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| <p><b>STANDARDS FOR GRANTING A SPECIAL EXCEPTION IN THE A-5 DISTRICT</b></p> | <p>The BCC may permit any use allowed by special exception in the A-5 district upon making findings of fact, in addition to those required by Section 30.43(b)(2) of the land development code, that the use:</p> <p><b><u>Is consistent with the general zoning plan of the A-5 (Rural Zoning Classification District); and</u></b></p> <p>As previously stated, the proposed use would be consistent with the Rural-5 FLU and underlying A-5 zoning with the imposition of staff's recommended conditions. The proposed use would otherwise comply with the dimensional standards of the A-5 district.</p> <p><b><u>Is not highly intensive in nature; and</u></b></p> <p>The request would not be highly intensive in nature, if improvements are limited to a monopole tower system that furthers the policy intent of the land development code, an equipment cabinet, privacy fence, and requisite landscaping as depicted on the submitted site plan.</p> <p>The proposed facility would be self-operating and used exclusively for transmitting and receiving. Routine maintenance visits would occur approximately once a month (two vehicle trips). More frequent visits would be required in the event of malfunction or emergency. The proposed 194 foot tower will not be required to be lighted by the FCC.</p> <p>Proposed ingress/egress to the facility would be provided from Van Arsdale Street through the existing site.</p> <p><b><u>Is compatible with the concept of low-density rural land use; and</u></b></p> <p>The proposed tower will have minimum traffic, and public infrastructure impacts to the surrounding rural area. The proposed tower will not be lighted. Unlike other uses in the A-5 zoning district the proposed use will it not have negative noise or odor impacts.</p> <p><b><u>Has access to an adequate level of urban services such as sewer, water, police, schools and related services:</u></b></p> <p>The proposed tower would be an unmanned facility, which would require no connection to water or sewer, nor impact school services. Other county services, including police, emergency, and garbage disposal are otherwise available to the site. Electrical power and telephone service would be respectively provided by Progress Energy and Bell South.</p> |
| <p><b>STANDARDS FOR GRANTING A VARIANCE; LDC SECTION 30.43 (B)(3)</b></p>    | <p>Separation distances may be decreased or increased by the Board of County Commissioners in accordance with the procedural requirements for variances.</p> <p>Prior to granting a variance, the Board of County Commissioners must reach a finding that literal enforcement of applicable regulations</p>   |

would result in an unnecessary and undue hardship upon the applicant and determine compliance with the criteria presented in section 30.43(b)(3) of the LDC.

The standards relative to variances as otherwise stated below may be considered in determining whether to approve a variance but shall not be determinative as to whether the variance may be granted:

**That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning classification;**

Should the Board of County Commissioners find that a communication tower is appropriate for the proposed location and thereby approve the requested special exception, reasonable use of the subject property for the purpose of establishing a tower in excess of 20 feet would be dependent upon variances from the minimum separation distances required between the proposed tower and abutting properties with existing single-family homes.

Based on the submitted propagation maps and supporting documentation, the applicants have demonstrated a need to expand Sprint's Wireless service area by establishing a communication tower in the general vicinity of the subject property. The applicants have further indicated that all co-location opportunities have been explored and deemed unacceptable for meeting Sprint's coverage goals and the provision of homogeneous service across its network.

Staff has further determined that the proposed tower height is consistent with Sprint's desire to provide coverage in the areas identified on the attached propagation maps. In general, communication towers require a spacing of approximately 2 to 3 miles to provide the necessary overlap and signaling requirement to optimize performance and coverage to a geographic area. The special circumstances described herein lend support to the request.

**That the special conditions and circumstances do not result from the actions of the applicants;**

The applicant has provided a search ring analysis that demonstrates the current lack of coverage from surrounding towers and no opportunities to co-locate on existing towers. This is a special circumstance that did not result from the applicants' actions.

**That granting the variance requested will not confer on the applicant any special privilege that is denied by Chapter 30 to other lands, buildings, or structures in the same zoning classification;**

The Land Development Code provides the process to allow other applicants to seek variances to the separation requirements in the

|                                    |  |
|------------------------------------|--|
|                                    | <p>same zoning classification. The granting of the requested variances will not confer special privileges since this process is available to other applicants.</p> <p><b><u>That literal interpretation of the provisions of Chapter 30 would deprive the applicant of rights commonly enjoyed by other properties in the same zoning classification and would work unnecessary and undue hardship on the applicant:</u></b></p> <p>The proposed 194 foot monopole tower will be located on a property in the A-5 zoning classification. Other properties in the A-5 zoning classification contain communication towers of comparable height and design.</p> <p><b><u>That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure:</u></b></p> <p>The applicants have indicated the proposed tower height of 194 feet is minimum necessary to provide service in the deficient coverage area. Therefore, staff believes the proposed height and the corresponding request to reduce minimum separation distances to be reasonable.</p> <p><b><u>That the grant of the variance will be in harmony with the general intent and purpose of Chapter 30, will not be injurious to The neighborhood, or otherwise detrimental to the public welfare:</u></b></p> <p>Staff believes the grant of variances from separation distance (with staff's recommended conditions) would be in harmony with the general intent and purpose of the Land Development Code.</p> |
| <p><b>STAFF RECOMMENDATION</b></p> | <p>Based on the stated findings, staff recommends the Board of County Commissioners uphold the Board of Adjustment approval of the special exception to establish a 194 foot tall monopole communication tower in the A-5 (Rural Zoning Classification District) and the request for associated variances from 582 feet to 60 feet, 582 feet to 230 feet, 582 feet to 270 feet, 582 feet to 450 feet and 582 feet to 535 feet to reduce the minimum distance separation from the proposed tower to the nearest properties with single-family dwellings.</p> <p>Staff's recommendation of approval is conditioned upon the following:</p> <ol style="list-style-type: none"> <li>1. The proposed tower shall not exceed 194 feet, as verified by a RF (Radio Frequency) engineer to be the minimum height needed to further Sprint's immediate wireless communication goals in the area.</li> <li>2. Any improvements and/or additions to the proposed tower shall be submitted for approval to the county.</li> </ol>  |



**SEMINOLE COUNTY APPROVAL DEVELOPMENT ORDER**

On February 22, 2004, Seminole County issued this Development Order relating to and touching and concerning the following described property:

LEG LOT 437 OF BLACK HAMMOCK PB 1 PG 31

(The aforescribed legal description has been provided to Seminole County by the owner of the aforescribed property.)

**FINDINGS OF FACT**

**Property Owner:** LASHINSKY  
4056 GILDER ROSE PLACE  
WINTER PARK, FL 32792

**Project Name:** SPRINT WIRELESS COMMUNICATION TOWER

**Requested Development Approval:**

**SPECIAL EXCEPTION TO ESTABLISH A 194 FOOT TALL MONOPOLE COMMUNICATION TOWER IN THE A-5 (AGRICULTURE DISTRICT)**

The Development Approval sought is consistent with the Seminole County Comprehensive Plan and will be developed consistent with and in compliance to applicable land development regulations and all other applicable regulations and ordinances.

The owner of the property has expressly agreed to be bound by and subject to the development conditions and commitments stated below and has covenanted and agreed to have such conditions and commitments run with, follow and perpetually burden the aforescribed property.

Prepared by: Kathy Fall  
1101 East First Street  
Sanford, Florida 32771

**Order****NOW, THEREFORE, IT IS ORDERED AND AGREED THAT:**

- (1) The aforementioned application for development approval is **GRANTED**.
- (2) All development shall fully comply with all of the codes and ordinances in effect in Seminole County at the time of issuance of permits including all impact fee ordinances.
- (3) The conditions upon this development approval and the commitments made as to this development approval, all of which have been accepted by and agreed to by the owner of the property are as follows:

1. **THE PROPOSED TOWER SHALL NOT EXCEED 194 FEET, AS VERIFIED BY A RF (RADIO FREQUENCY) ENGINEER TO BE THE MINIMUM HEIGHT NEEDED TO FURTHER CINGULAR WIRELESS' COMMUNICATION GOALS IN THE IMMEDIATE AREA.**
2. **THE PROPOSED TOWER SHALL BE PAINTED A MUTED COLOR TO BLEND IN WITH THE NATURAL ENVIRONMENT.**
3. **ANY IMPROVEMENTS AND/OR ADDITIONS TO THE PROPOSED TOWER SHALL BE SUBMITTED FOR APPROVAL TO THE COUNTY.**
4. **A LISTED SPECIES SURVEY SHALL BE PROVIDED PRIOR TO FINAL ENGINEERING APPROVAL.**
5. **PRIOR TO THE FINAL DEVELOPMENT ORDER / APPROVAL, AN APPLICATION FOR FULL CONCURRENCY MANAGEMENT SHALL BE PROVIDED.**
6. **THE PROPOSED USE SHALL OTHERWISE COMPLY WITH THE SEMINOLE COUNTY VISION 2020 COMPREHENSIVE PLAN, LAND DEVELOPMENT CODE AND ALL APPLICABLE CONSTRUCTION AND BUILDING CODES.**

(4) This Development Order touches and concerns the aforescribed property and the conditions, commitments and provisions of this Development Order shall perpetually burden, run with and follow the said property and be a servitude upon and binding upon said property unless released in whole or part by action of Seminole County by virtue of a document of equal dignity herewith. The owner of the

said property has expressly covenanted and agreed to this provision and all other terms and provisions of this Development Order.

(5) The terms and provisions of this Order are not severable and in the event any portion of this Order shall be found to be invalid or illegal then the entire order shall be null and void.

**Done and Ordered on the date first written above.**

By: \_\_\_\_\_  
Matthew West  
Planning Manager

**STATE OF FLORIDA )**  
**COUNTY OF SEMINOLE )**

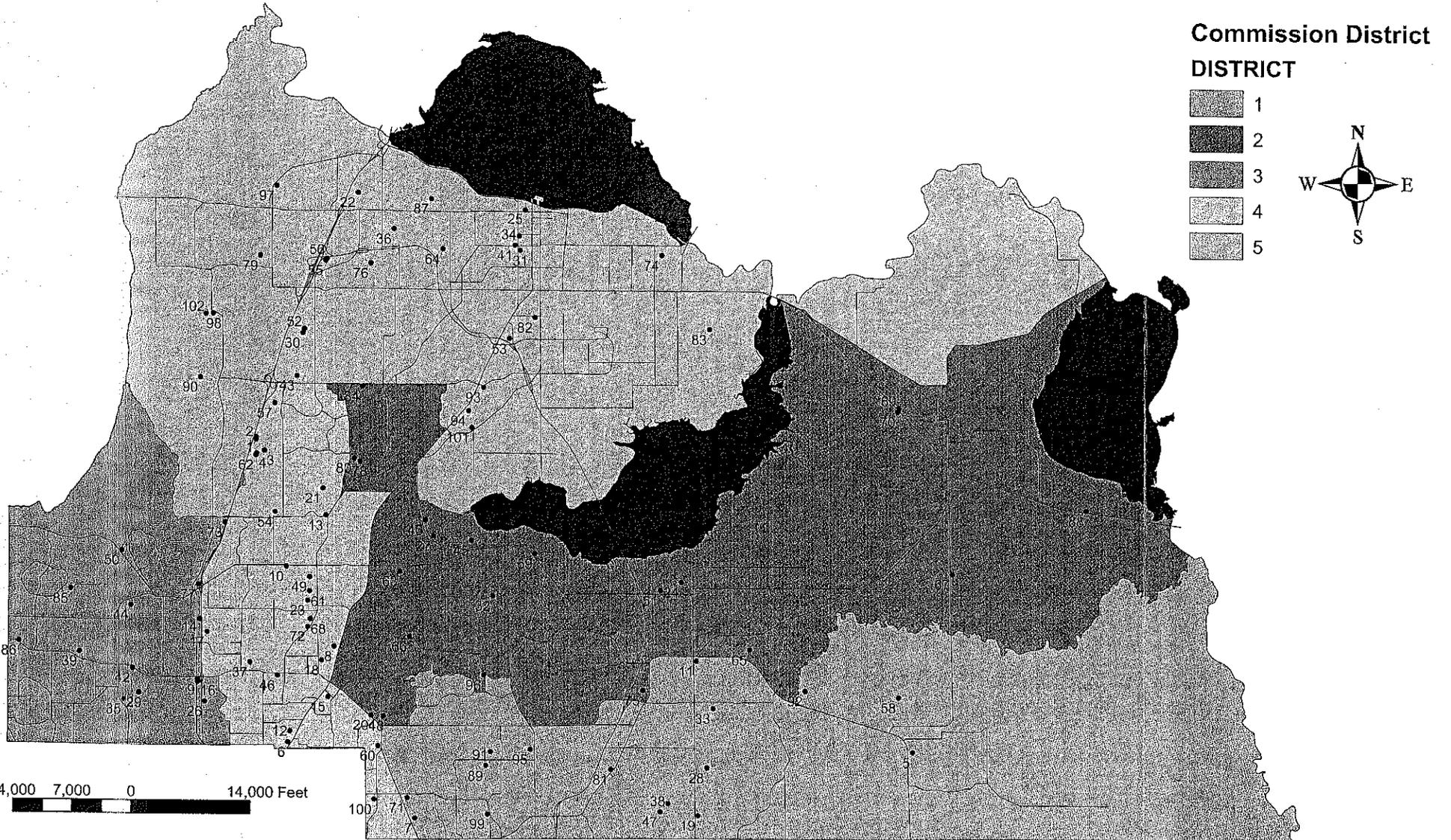
**I HEREBY CERTIFY** that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared \_\_\_\_\_ who is personally known to me or who has produced \_\_\_\_\_ as identification and who executed the foregoing instrument.

**WITNESS** my hand and official seal in the County and State last aforesaid this \_\_\_\_\_ day of \_\_\_\_\_, 2004.

\_\_\_\_\_  
Notary Public, in and for the County and  
State  
Aforementioned

My Commission Expires:

# Seminole County Communication Tower Inventory



SEMINOLE COUNTY COMMUNICATION TOWER INVENTORY

| TOWER # | COMPANY               | STREET ADDRESS        | COMMUNITY         | HEIGHT (In feet -<br>If available) |
|---------|-----------------------|-----------------------|-------------------|------------------------------------|
| 1       | EMMIS TV BROADCASTING | 31 SKYLINE DR         | LAKE MARY         |                                    |
| 2       | WOFL TV - CHANNEL 35  | 35 SKYLINE DR         | LAKE MARY         |                                    |
| 3       | AT&T WIRELESS         | 36 SKYLINE DR         | LAKE MARY         |                                    |
|         | CINGULAR WIRELESS     | 40 SKYLINE DR         | LAKE MARY         | 235                                |
| 4       | T-MOBILE USA, INC.    | 47 SKYLINE DR         | LAKE MARY         | 235                                |
|         | NEXTEL COMMUNICATIONS | 47 SKYLINE DR         | LAKE MARY         | 198                                |
|         | SPRINT PCS            | 47 SKYLINE DR         | LAKE MARY         | 198                                |
| 5       | CINGULAR WIRELESS     | 95 E 7TH ST           | CHULUOTA          |                                    |
|         | NEXTEL COMMUNICATIONS | 95 AVENUE C           | CHULUOTA          |                                    |
|         | T-MOBILE USA, INC.    | 669 AVENUE C          | CHULUOTA          |                                    |
| 6       | CINGULAR WIRELESS     | 100 2ND ST            | MAITLAND          | 100                                |
| 7       | NEXTEL COMMUNICATIONS | 100 CASSELTON DR      | CASSELBERRY       |                                    |
|         | SPRINT PCS            | 100 CASSELTON DR      | CASSELBERRY       |                                    |
| 8       | AT&T WIRELESS         | 101 MELODY LN         | CASSELBERRY       |                                    |
|         | NEXTEL COMMUNICATIONS | 101 MELODY LN         | CASSELBERRY       |                                    |
| 9       | NEXTEL COMMUNICATIONS | 101 WYMORE RD         | ALTAMONTE SPRINGS | 89                                 |
| 10      | AT&T WIRELESS         | 110 MINGO TRL         | LONGWOOD          | 182                                |
|         | CINGULAR WIRELESS     | 110 MINGO TRL         | LONGWOOD          | 182                                |
|         | NEXTEL COMMUNICATIONS | 110 MINGO TRL         | LONGWOOD          | 182                                |
| 11      | SPRINT PCS            | 110 E BROADWAY ST     | OVIDO             |                                    |
| 12      | NEXTEL COMMUNICATIONS | 111 CANDACE DR        | MAITLAND          | 169                                |
|         | AT&T WIRELESS         | 113 CANDACE DR        | MAITLAND          | 169                                |
| 13      | VERIZON WIRELESS      | 115 LONGWOOD HILLS RD | LONGWOOD          | 298                                |
| 14      | AT&T WIRELESS         | 133 W PINEVIEW ST     | ALTAMONTE SPRINGS | 150                                |
|         | CINGULAR WIRELESS     | 133 W PINEVIEW ST     | ALTAMONTE SPRINGS | 150                                |
|         | SPRINT PCS            | 133 W PINEVIEW ST     | ALTAMONTE SPRINGS | 150                                |
| 15      | CINGULAR WIRELESS     | 142 FERNWOOD BLVD     | FERN PARK         | 193                                |
|         | NEXTEL COMMUNICATIONS | 142 FERNWOOD BLVD     | FERN PARK         | 193                                |
| 16      | AT&T WIRELESS         | 151 WYMORE RD         | ALTAMONTE SPRINGS | 68                                 |
|         | T-MOBILE USA, INC.    | 151 WYMORE RD         | ALTAMONTE SPRINGS | 68                                 |
|         | SPRINT PCS            | 151 WYMORE RD         | ALTAMONTE SPRINGS | 68                                 |
| 17      | UNKNOWN               | 170 E HILLCREST ST    | ALTAMONTE SPRINGS |                                    |
| 18      | T-MOBILE USA, INC.    | 185 ANCHOR RD         | CASSELBERRY       | 136                                |
| 19      | AT&T WIRELESS         | 186 PARK RD           | OVIDO             | 182                                |
|         | CINGULAR WIRELESS     | 186 PARK RD           | OVIDO             | 182                                |
|         | T-MOBILE USA, INC.    | 186 PARK RD           | OVIDO             | 182                                |

SEMINOLE COUNTY COMMUNICATION TOWER INVENTORY

| TOWER # | COMPANY                         | STREET ADDRESS            | COMMUNITY         |     |
|---------|---------------------------------|---------------------------|-------------------|-----|
| 20      | SPRINT PCS                      | 201 CANNON WAY            | CASSELBERRY       |     |
| 21      | T-MOBILE USA, INC.              | 208 BAY MEADOW RD         | LONGWOOD          | 400 |
|         | SPRINT PCS                      | 208 BAY MEADOW RD         | LONGWOOD          | 400 |
|         | GLOBAL SIGNAL (PINNACLE TOWERS) | 208 BAY MEADOW RD         | LONGWOOD          | 400 |
| 22      | VERIZON WIRELESS                | 222 HICKMAN CIR           | SANFORD           | 265 |
|         | NEXTEL COMMUNICATIONS           | 222 HICKMAN DR            | SANFORD           | 265 |
|         | SPRINT PCS                      | 222 HICKMAN DR            | SANFORD           | 265 |
| 23      | GLOBAL SIGNAL (PINNACLE TOWERS) | 225 PINEDA ST             | LONGWOOD          | 394 |
| 24      | NEXTEL COMMUNICATIONS           | 249 CRESS RUN             | OVIEDO            |     |
| 25      | VERIZON WIRELESS                | 312 W 1ST ST              | SANFORD           |     |
| 26      | CINGULAR WIRELESS               | 350 S NORTH LAKE BLVD     | ALTAMONTE SPRINGS |     |
| 27      | CINGULAR WIRELESS               | 350 OLD SANFORD OVIEDO RD | WINTER SPRINGS    | 233 |
| 28      | VERIZON WIRELESS                | 350 LAKE HAYES RD         | OVIEDO            | 152 |
| 29      | SPRINT PCS                      | 389 S SR 434              | ALTAMONTE SPRINGS |     |
| 30      | SIEMENS STROMBERG-CARLSON       | 400 RINEHART RD           | LAKE MARY         |     |
| 31      | AT&T WIRELESS                   | 411 W 14TH ST             | SANFORD           | 180 |
|         | CINGULAR WIRELESS               | 411 W 14TH ST             | SANFORD           | 180 |
|         | NEXTEL COMMUNICATIONS           | 411 W 14TH ST             | SANFORD           | 180 |
| 32      | CINGULAR WIRELESS               | 411 SHORE RD              | WINTER SPRINGS    | 160 |
| 33      | AT&T WIRELESS                   | 420 ALEXANDRIA BLVD       | OVIEDO            | 263 |
|         | CINGULAR WIRELESS               | 440 ALEXANDRIA BLVD       | OVIEDO            | 263 |
| 34      | CROWN CASTLE SOUTH LLC          | 501 W 9TH ST              | SANFORD           | 108 |
| 35      | T-MOBILE USA, INC.              | 521 S SR 434              | ALTAMONTE SPRINGS | 188 |
|         | NEXTEL COMMUNICATIONS           | 525 S SR 434              | ALTAMONTE SPRINGS | 188 |
| 36      | NEXTEL COMMUNICATIONS           | 551 CODISCO WAY           | SANFORD           | 179 |
| 37      | AT&T WIRELESS                   | 601 E ALTAMONTE DR        | ALTAMONTE SPRINGS | 80  |
|         | NEXTEL COMMUNICATIONS           | 601 E ALTAMONTE DR        | ALTAMONTE SPRINGS | 80  |
|         | CINGULAR WIRELESS               | 661 E ALTAMONTE DR        | ALTAMONTE SPRINGS | 80  |
| 38      | SPRINT PCS                      | 601 IRON BRIDGE CIR       | OVIEDO            |     |
| 39      | NEXTEL COMMUNICATIONS           | 631 SELF ESTEEM WAY       | APOPKA            | 138 |
|         | SPRINT PCS                      | 631 SELF ESTEEM WAY       | APOPKA            | 138 |
|         | AT&T WIRELESS                   | 3909 E SEMORAN BLVD       | APOPKA            | 138 |
| 40      | NEXTEL COMMUNICATIONS           | 657 SR 419                | WINTER SPRINGS    | 139 |
| 41      | T-MOBILE USA, INC.              | 700 W 13TH ST             | SANFORD           | 139 |
| 42      | CINGULAR WIRELESS               | 746 W SR 436              | ALTAMONTE SPRINGS | 194 |

SEMINOLE COUNTY COMMUNICATION TOWER INVENTORY

| TOWER # | COMPANY                         | STREET ADDRESS        | COMMUNITY         |     |
|---------|---------------------------------|-----------------------|-------------------|-----|
| 43      | T-MOBILE USA, INC.              | 762 N SUN DR          | LAKE MARY         | 145 |
|         | NEXTEL COMMUNICATIONS           | 762 N SUN DR          | LAKE MARY         | 145 |
|         | SPRINT PCS                      | 762 N SUN DR          | LAKE MARY         | 145 |
|         | AT&T WIRELESS                   | 776 SUN DR            | LAKE MARY         | 145 |
| 44      | NEXTEL COMMUNICATIONS           | 780 SANLANDO RD       | LONGWOOD          | 145 |
|         | AT&T WIRELESS                   | 782 SANLANDO RD       | ALTAMONTE SPRINGS | 194 |
|         | SPRINT PCS                      | 782 SANLANDO RD       | ALTAMONTE SPRINGS | 194 |
| 45      | UNKNOWN                         | 822 E SR 434          | WINTER SPRINGS    |     |
| 46      | SPRINT PCS                      | 850 E ALTAMONTE DR    | ALTAMONTE SPRINGS |     |
| 47      | M/A COMM INC                    | 890 IRON BRIDGE CIR   | OVIEDO            | 370 |
| 48      | AT&T WIRELESS                   | 892 N WINTER PARK DR  | CASSELBERRY       |     |
| 49      | UNKNOWN                         | 901 RECYCLING PT      | LONGWOOD          |     |
| 50      | CINGULAR WIRELESS               | 903 WEKIVA SPRINGS RD | LONGWOOD          |     |
|         | T-MOBILE USA, INC.              | 940 WEKIVA SPRINGS RD | LONGWOOD          |     |
|         | SPRINT PCS                      | 942 WEKIVA SPRINGS RD | LONGWOOD          |     |
| 51      | CINGULAR WIRELESS               | 908 W SR 434          | OVIEDO            | 171 |
|         | T-MOBILE USA, INC.              | 950 W SR 434          | OVIEDO            | 171 |
| 52      | SPRINT PCS                      | 913 WALLACE CT        | LAKE MARY         |     |
|         | VERIZON WIRELESS                | 915 WALLACE CT        | LAKE MARY         |     |
|         | CINGULAR WIRELESS               | 935 WALLACE CT        | LAKE MARY         |     |
| 53      | VERIZON WIRELESS                | 920 STATE ST          | SANFORD           | 110 |
| 54      | NEXTEL COMMUNICATIONS           | 925 LONGWOOD HILLS RD | LONGWOOD          | 125 |
| 55      | NEXTEL COMMUNICATIONS           | 1080 RINEHART RD      | SANFORD           | 195 |
| 56      | CINGULAR WIRELESS               | 1050 RINEHART RD      | SANFORD           | 120 |
| 57      | CINGULAR WIRELESS               | 1101 GREENWOOD BLVD   | LAKE MARY         |     |
| 58      | SPRINT PCS                      | 1101 WILLINGHAM RD    | CHULUOTA          |     |
| 59      | AT&T WIRELESS                   | 1126 E SR 434         | WINTER SPRINGS    | 175 |
|         | T-MOBILE USA, INC.              | 1126 E SR 434         | WINTER SPRINGS    | 175 |
|         | NEXTEL COMMUNICATIONS           | 1126 E SR 434         | WINTER SPRINGS    | 175 |
|         | SPRINT PCS                      | 1126 E SR 434         | WINTER SPRINGS    | 175 |
| 60      | CINGULAR WIRELESS               | 1131 SR 436           | CASSELBERRY       | 120 |
|         | T-MOBILE USA, INC.              | 1131 SR 436           | CASSELBERRY       | 120 |
|         | NEXTEL COMMUNICATIONS           | 1131 SR 436           | CASSELBERRY       | 120 |
| 61      | NEXTEL COMMUNICATIONS           | 1155 CHARLES ST       | LONGWOOD          | 470 |
|         | SPRINT PCS                      | 1155 CHARLES ST       | LONGWOOD          | 470 |
|         | GLOBAL SIGNAL (PINNACLE TOWERS) | 1155 CHARLES ST       | LONGWOOD          | 470 |

SEMINOLE COUNTY COMMUNICATION TOWER INVENTORY

| TOWER # | COMPANY               | STREET ADDRESS         | COMMUNITY         |     |
|---------|-----------------------|------------------------|-------------------|-----|
| 62      | FLA POWER CORP        | 1160 EMMA OAKS TRL     | LAKE MARY         |     |
| 63      | AT&T WIRELESS         | 1200 BELLE AVE         | WINTER SPRINGS    |     |
|         | SPRINT PCS            | 1200 BELLE AV          | WINTER SPRINGS    |     |
|         | NEXTEL COMMUNICATIONS | 1230 BELLE AV          | WINTER SPRINGS    |     |
| 64      | NEXTEL COMMUNICATIONS | 1201 ALBRIGHT RD       | SANFORD           | 215 |
|         | SPRINT PCS            | 1201 ALBRIGHT RD       | SANFORD           | 215 |
| 65      | VERIZON WIRELESS      | 1241 E BROADWAY ST     | OVIEDO            |     |
| 66      | VERIZON WIRELESS      | 1279 SEMINOLA BLVD     | CASSELBERRY       |     |
|         | NEXTEL COMMUNICATIONS | 1279 SEMINOLA BLVD     | CASSELBERRY       |     |
|         | SPRINT PCS            | 1279 SEMINOLA BLVD     | CASSELBERRY       |     |
| 67      | S B A TOWERS INC      | 1355 SNOW HILL RD      | GENEVA            | 250 |
| 68      | NEXTEL COMMUNICATIONS | 1410 N CR 427          | LONGWOOD          |     |
| 69      | AT&T WIRELESS         | 1438 W SR 46           | GENEVA            |     |
| 70      | CINGULAR WIRELESS     | 1461 W SR 46           | GENEVA            | 295 |
|         | T-MOBILE USA, INC.    | 1461 W SR 46           | GENEVA            | 295 |
| 71      | AT&T WIRELESS         | 1540 SR 436            | WINTER PARK       | 174 |
| 72      | CINGULAR WIRELESS     | 1648 CR 427            | ALTAMONTE SPRINGS | 126 |
| 73      | AT&T WIRELESS         | 1649 E E WILLIAMSON RD | LONGWOOD          | 140 |
|         | CINGULAR WIRELESS     | 1649 E E WILLIAMSON RD | LONGWOOD          | 140 |
|         | SPRINT PCS            | 1649 E E WILLIAMSON RD | LONGWOOD          | 140 |
|         | T-MOBILE USA, INC.    | 1655 E E WILLIAMSON RD | LONGWOOD          | 140 |
|         | NEXTEL COMMUNICATIONS | 1669 E E WILLIAMSON RD | LONGWOOD          | 140 |
| 74      | NEXTEL COMMUNICATIONS | 1683 BEARDALL AV       | SANFORD           | 152 |
|         | SPRINT PCS            | 1683 BEARDALL AV       | SANFORD           | 152 |
| 75      | AT&T WIRELESS         | 1699 W BROADWAY ST     | OVIEDO            | 256 |
|         | VERIZON WIRELESS      | 1701 W SR 426          | OVIEDO            | 256 |
|         | T-MOBILE USA, INC.    | 1701 W BROADWAY ST     | OVIEDO            | 256 |
|         | NEXTEL COMMUNICATIONS | 1701 W BROADWAY ST     | OVIEDO            | 256 |
|         | SPRINT PCS            | 1701 W BROADWAY ST     | OVIEDO            | 256 |
| 76      | AT&T WIRELESS         | 1701 LOWE AVE          | SANFORD           | 164 |
|         | T-MOBILE USA, INC.    | 1701 LOWE AVE          | SANFORD           | 164 |
| 77      | NEXTEL COMMUNICATIONS | 2015 W SR 434          | LONGWOOD          | 120 |
|         | SPRINT PCS            | 2015 W SR 434          | LONGWOOD          | 120 |
| 78      | AT&T WIRELESS         | 2050 CR 427            | LONGWOOD          |     |

SEMINOLE COUNTY COMMUNICATION TOWER INVENTORY

| TOWER # | COMPANY               | STREET ADDRESS |                       | COMMUNITY      |     |
|---------|-----------------------|----------------|-----------------------|----------------|-----|
| 79      | AT&T WIRELESS         | 2050           | ORANGE BLVD           | SANFORD        | 235 |
|         | T-MOBILE USA, INC.    | 2050           | ORANGE BLVD           | SANFORD        | 235 |
|         | NEXTEL COMMUNICATIONS | 2050           | ORANGE BLVD           | SANFORD        | 235 |
| 80      | VERIZON WIRELESS      | 2187           | LONGWOOD LAKE MARY RD | LONGWOOD       |     |
| 81      | T-MOBILE USA, INC.    | 2661           | MIKLER RD             | OVIEDO         | 150 |
|         | NEXTEL COMMUNICATIONS | 2661           | MIKLER RD             | OVIEDO         | 150 |
| 82      | SPRINT PCS            | 2703           | MAGNOLIA AV           | SANFORD        | 115 |
| 83      | T-MOBILE USA, INC.    | 2825           | RICHMOND AVE          | SANFORD        | 140 |
| 84      | SPRINT PCS            | 2893           | W LAKE MARY BLVD      | LAKE MARY      | 100 |
| 85      | T-MOBILE USA, INC.    | 2941           | BRANTLEY HILLS CT     | LONGWOOD       |     |
| 86      | SPRINT PCS            | 2955           | E SR 436              | APOPKA         |     |
| 87      | CINGULAR WIRELESS     | 3051           | NARCISSUS AV          | SANFORD        | 264 |
|         | NEXTEL COMMUNICATIONS | 3051           | NARCISSUS AV          | SANFORD        | 264 |
| 88      | SPRINT PCS            | 3110           | E SR 46               | GENEVA         | 150 |
| 89      | SPRINT PCS            | 3375           | GARDEN LAKE BLVD      | WINTER PARK    |     |
| 90      | UNKNOWN               | 3440           | ROCKCLIFF PL          | LONGWOOD       |     |
| 91      | CINGULAR WIRELESS     | 3574           | DIKE RD               | WINTER PARK    | 257 |
| 92      | NEXTEL COMMUNICATIONS | 3710           | WILLINGHAM RD         | CHULUOTA       | 187 |
| 93      | CINGULAR WIRELESS     | 3825           | N US 17-92            | SANFORD        | 142 |
|         | T-MOBILE USA, INC.    | 3825           | N US 17-92            | SANFORD        | 142 |
|         | AT&T WIRELESS         | 3825           | N US 17-92            | SANFORD        | 142 |
| 94      | VERIZON WIRELESS      | 4175           | N US 17-92            | SANFORD        | 150 |
|         | SPRINT PCS            | 4175           | N US 17-92            | SANFORD        | 150 |
| 95      | AT&T WIRELESS         | 4479           | SUNSET LN             | OVIEDO         | 204 |
|         | VERIZON WIRELESS      | 4479           | SUNSET LN             | OVIEDO         | 204 |
|         | T-MOBILE USA, INC.    | 4479           | SUNSET LN             | OVIEDO         | 204 |
|         | NEXTEL COMMUNICATIONS | 4479           | SUNSET LN             | OVIEDO         | 204 |
| 96      | UNKNOWN               | 4627           | E LAKE DR             | WINTER SPRINGS |     |
| 97      | CINGULAR WIRELESS     | 5397           | ORANGE BLVD           | SANFORD        | 180 |
|         | T-MOBILE USA, INC.    | 5405           | ORANGE BLVD           | SANFORD        | 180 |
| 98      | NEXTEL COMMUNICATIONS | 5400           | MARKHAM WOODS RD      | LAKE MARY      | 140 |
|         | T-MOBILE USA, INC.    | 5400           | MARKHAM WOODS RD      | LAKE MARY      | 140 |
| 99      | NEXTEL COMMUNICATIONS | 5450           | HOWELL BRANCH RD      | WINTER PARK    |     |
| 100     | CINGULAR WIRELESS     | 5487           | LAKE HOWELL RD        | WINTER PARK    | 182 |
| 101     | NEXTEL COMMUNICATIONS | 5602           | N CR 427              | SANFORD        |     |
| 102     | SPRINT PCS            | 5400           | MARKHAM WOODS RD      | LAKE MARY      | 90  |





5580 SPRINT PARKWAY  
OVERLAND PARK, KANSAS 66251



ALCOA Wireless  
Services, Inc.  
148 NORTH WELLS ROAD  
SUITE 110  
MAYLAND, FL 32751  
OFFICE (407) 881-1785  
FAX (407) 881-1788

PROJECT NO: 1811.518  
DRAWN BY: TJP  
CHECKED BY: JD

| 2   | 09/20/04 | REVISED FENCE           |
|-----|----------|-------------------------|
| 1   | 08/22/04 | RELOCATED METER RACK    |
| 0   | 05/24/04 | ISSUED FOR CONSTRUCTION |
| A   | 10/21/04 | ISSUED FOR REVIEW       |
| REV | DATE     | DESCRIPTION             |

*[Signature]*  
SEP 23 2004

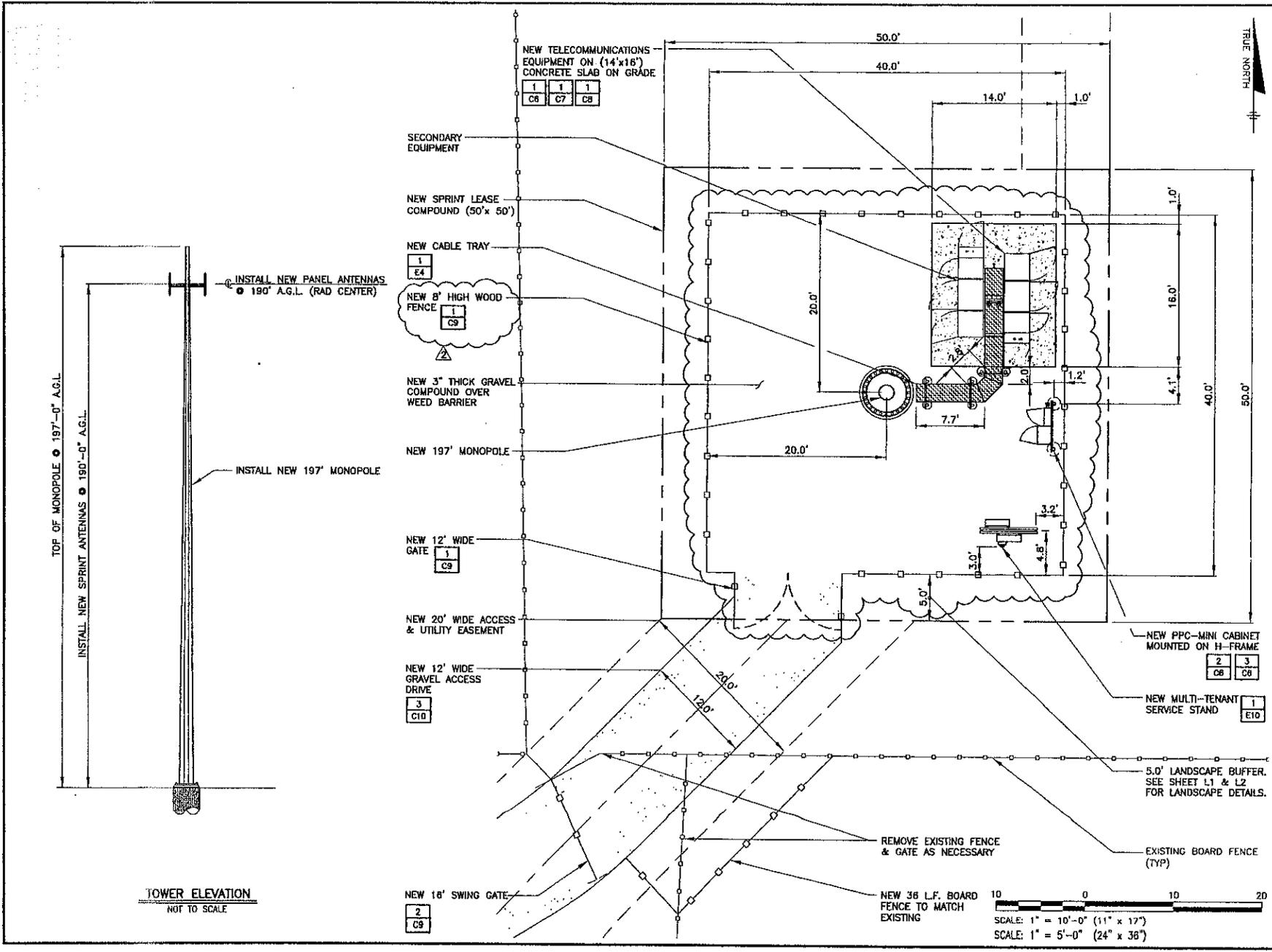
EMMANUEL POLJIN  
FL. P.E. #04023

IT IS A VIOLATION OF LAW FOR ANY PERSON  
UNLESS THEY ARE ACTING UNDER THE DIRECTION  
OF A LICENSED PROFESSIONAL ENGINEER TO ALTER  
THIS DOCUMENT, UNLESS EXPLICITLY AGREED TO BY  
ALCOA WIRELESS OR SPRINT. ALCOA WIRELESS  
DISCLAIMS ALL LIABILITY ASSOCIATED WITH THE  
REUSE, ALTERATION OR MODIFICATION OF THE  
CONTENTS HEREIN.

OR60XC516A  
WHITE STALLION  
1051 VAN ARSDALL STREET  
OVIEDO, FL 32789  
RAW LAND - MONOPOLE

SHEET TITLE  
DETAILED PLAN  
AND  
ELEVATION

SHEET NUMBER  
C4





**COPY**

BU 2004-149  
 PS 2004-029

**APPLICATION TO THE SEMINOLE COUNTY BOARD OF ADJUSTMENT**

Applications to the Seminole County Board of Adjustment shall include all applicable items listed in the Board of Adjustment Process Checklist. No application will be scheduled for Board of Adjustment consideration until a complete application (including all information requested below) has been received by the Planning & Development Department, Planning Division.

RECEIVED  
 SEP 24 2004

**APPLICATION TYPE:**

- VARIANCE** Separation From OTHER USES
  - SPECIAL EXCEPTION** Communication Tower (monopole)
  - MOBILE HOME SPECIAL EXCEPTION**
- EXISTING  PROPOSED  REPLACEMENT
- MOBILE HOME IS FOR \_\_\_\_\_
- YEAR OF MOBILE HOME \_\_\_\_\_ SIZE OF MOBILE HOME \_\_\_\_\_
- ANTICIPATED TIME MOBILE HOME IS NEEDED \_\_\_\_\_
- PLAN TO BUILD  YES  NO IF SO, WHEN \_\_\_\_\_
- MEDICAL HARDSHIP  YES (LETTER FROM DOCTOR REQUIRED)  NO
- APPEAL FROM DECISION OF THE PLANNING MANAGER**

|         | PROPERTY OWNER                                  | AUTHORIZED AGENT *                                   |
|---------|---|--|
| NAME    | Gary & Elizabeth A. Lashinsky                   | Richard Shirah / Jay Shirah                          |
| ADDRESS | 4056 Gilder Rose Place<br>Winter Park, FL 32792 | 4905 Belfort Rd, Suite 110<br>Jacksonville, FL 32256 |
| PHONE 1 | 407-366-0366                                    | 678-462-3889 (Richard)                               |
| PHONE 2 |   | 678-907-2940 (Jay)                                   |
| E-MAIL  |   | jayshirah@msn.com                                    |

PROJECT NAME: White Stallion/0660X2516A

SITE ADDRESS: 1051 Van Arsdale Street, Oviedo, FL 32789

CURRENT USE OF PROPERTY: office, horse training, commercial

LEGAL DESCRIPTION: W 1/2 of Lot 437, THE VAN ARSDALE OSBORNE BROKERAGE CO.'S ADD. TO BLACK HAMMOCK, PLAT BK 1, PG 31

SIZE OF PROPERTY: ± 5 acre(s) PARCEL I.D. 25-20-31-53A-0000-4370

UTILITIES:  WATER  WELL  SEWER  SEPTIC TANK  OTHER electric/phone

KNOWN CODE ENFORCEMENT VIOLATIONS NONE

IS PROPERTY ACCESSIBLE FOR INSPECTION  YES  NO

This request will be considered at the Board of Adjustment regular meeting on Nov. 15 04 (mo/day/yr), in the Board Chambers (Room 1028) at 6:00 p.m. on the first floor of the Seminole County Services Building, located at 1101 East First Street in downtown Sanford, FL.

I hereby affirm that all statements, proposals, and/or plans submitted with or contained within this application are true and correct to the best of my knowledge.

[Signature] 9.23.04  
 SIGNATURE OF OWNER OR AGENT\* DATE

\* Proof of owner's authorization is required with submittal if signed by agent.



6550 Sprint Parkway  
Overland Park, KS 66251  
Office 913.794.5255  
Fax 913.794.0826

January, 23, 2005

To Whom It May Concern:

Earthcom Services, Inc., its agent or representative has been contracted by SprintCom, Inc., a Kansas Corporation, to perform services related to telecommunications network deployment.

Earthcom, Inc., is authorized to submit any necessary applications to obtain governmental approvals on behalf of SprintCom, Inc.

Sincerely,

A handwritten signature in black ink, appearing to read "B. Kooyman", with a long horizontal flourish extending to the right.

Brian Kooyman

Name

Manager – National Outsourcing

SprintCom, Inc.

Title

1.23.05

Date



**Earthcom Services Inc.**

P.O Box 19333  
Jacksonville, Fl., 32245  
Phone: 904-861-2906  
Fax: 904-421-1006

## **TABLE OF CONTENTS**

- Exhibit 1:**        a) Statement of Intent  
                      b) Location of General Application & Submittal Requirements  
                      c) Application Merits / Code Compliance
- Exhibit 2:**        **Proof of Owner's Authorization**
- Exhibit 3:**        a) RF Justification  
                      b) Search Ring
- Exhibit 4:**        **Existing Propagation Maps**
- Exhibit 5:**        **Proposed Propagation Maps**
- Exhibit 6:**        **Photo Simulations**
- Exhibit 7:**        **Site Plan**
- Exhibit 8:**        **Survey**

# EXHIBIT 1

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**Earthcom Services Inc.**

4905 Belfort Road  
Suite 110  
Jacksonville, FL 32256  
Phone: 904-861-2906  
Fax: 904-421-1006

September 24, 2004

Planning and Development Department  
Planning Division  
Room 2202  
1101 East First Street  
Sanford, FL 32771

By Hand Delivery

RE: Proposed Sprint PCS Communication Tower

### **STATEMENT OF INTENT**

SprintCom, Inc. (Sprint PCS) submits this Statement of Intent in support of its application for a Special Exception Permit to construct a 197 foot monopole Communication Tower at the property owned by Gary & Elizabeth Lashinsky, 1051 Van Arsdale Street, Oviedo, FL 32789. SprintCom, Inc. would also like to request the approval of a variance on the "minimum separation from off-site uses/designated areas," while property owners within this applicable separation distance are being diligently pursued for written consent supporting a waiver of this requirement.

Included in this Statement of Intent are the following two items:

1. A list of items requested in the Special Exception Application package and where the items are located in this application.
2. Application Merits/Code Compliance description.

Sprint PCS has entered into a lease agreement with the property owner to lease ground space located at the above address. The parent parcel is zoned A-5 and is used as the office for White Stallion Productions and is the location for a horse training facility. The adjacent tracts of lands in and around the parent parcel include a variety of uses, such as a church, residential uses, rehabilitation center for youths, and other horse training facilities. The future land use map in and around the proposed site is to remain as agricultural zoned property. The perimeter of the lease area will be surrounded with a wooden fence and there will be a locked entrance gate accessed through a dirt/grass road from Van Arsdale Street. The facility will be unmanned and require approximately one visit per month for routine maintenance. The facility will emit no noise, glare or odor. There will be no signage other than those required for identification, safety, and by the FCC. The facility

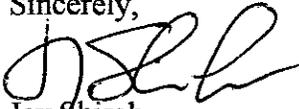
will comply with the guidelines of the FCC and FAA, which are designed to protect the public safety and welfare. To ensure structural integrity of the tower, Sprint PCS will construct and maintain it in compliance with all federal, state and local building codes and standards.

It is Sprint PCS' policy to co-locate its antennas and facilities at every possible instance. By "co-location", Sprint PCS seeks to mount antennas on existing monopoles, lattice towers, water towers, rooftops, light poles, utility poles, and other existing structures that are structurally capable of accommodating co-location and where the owner of the existing facility is willing to reasonably participate in co-location. In this case, there were absolutely no co-locatable structures within the search area.

Sprint PCS respectfully requests approval of this request for a Special Exception Permit for a monopole Communication Tower.

Thank you for your consideration. Please contact me at 678-907-2940 if you have any questions or need any additional information.

Sincerely,



Jay Shirah  
Site Acquisition Consultant  
Earthcom Services, Inc.

1.3 GENERAL APPLICATION SUBMITTAL REQUIREMENTS: The following information is required to complete the BOARD OF ADJUSTMENT APPLICATION.

- A. Statement of the request (e.g., Special Exception for the establishment of a mechanical garage in the C-2 (Retail Commercial District). *(Refer to Statement of Intent)*)
- B. Applicant's contact information including name, mailing address, site address, phone numbers and e-mail address. *(Refer to Site Plan)*
- C. Project Name. *(Refer to Site Plan)*
- D. Site address. *(Refer to Site Plan)*
- E. Current use of property. *(Refer to Site Plan & Letter of Intent)*
- F. Legal description of property. *(Refer to Survey)*
- G. Size of property. *(Refer to Site Plan)*
- H. Dimensions of the lot or parcel. *(Refer to Survey)*
- I. Arrow indicating NORTH. *(Refer to Survey)*
- J. Location and name of abutting streets or roads. *(Refer to Site Plan & Survey)*
- K. Location and size of existing or proposed septic system, drain field, and well (if applicable). *(Not applicable)*
- L. Location, size and type of any trees to be removed or retained. *(Not applicable, no trees will be removed for the installation of this site)*
- M. Location and with of all easements (e.g., drainage, landscape, sidewalk, ingress and egress). *(Refer to Site Plan & Survey)*
- N. Location and width of existing or proposed driveway access. *(Refer to Site Plan & Survey)*
- O. Parcel Identification Number assigned by Property Appraiser. *(Refer to Site Plan cover page)*
- P. Identification of available utilities. *(Refer to Site Plan)*
- Q. Description of known code enforcement violations on property. *(Refer to "Application Merits/Code Compliance" attached to Letter of Intent.*
- R. Property accessibility to inspection by Planning Division Staff. *(Refer to Site Plan)*
- S. Application fee (\$370 special exception). *(Application Fee attached.)*
- T. Authorization Form (if the applicant & owner are not the same). *(Refer to Exhibit 2 of this application)*
- U. 8 ½" x 11" Site plan depicting existing & proposed buildings, structures & improvements (13 COPIES OF SITE PLANS SHALL BE SUBMITTED FOR SPECIAL EXCEPTIONS; SITE PLANS SHALL COMPLY WITH LAND DEVELOPMENT CODE PART 4, REQUIRED SUBMITTALS FOR SITE PLANS). *(13 sets of 11" x 17" signed and sealed drawings and 1 set of 8.5" x 11" drawings have bee submitted with this application, per Earnest McDonald's request. Also, 13 sets of signed & sealed surveys have been provided.)*
- V. Written statement that responds to criteria stated in the LAND DEVELOPMENT CODE for the grant of a special exception. *(Refer to "Application Merits/Code Compliance" attached to "Letter of Intent")*

- 1.4 ADDITIONAL SUBMITTAL REQUIREMENTS: The following information is required at the time of application submittal for Special Exception applications:
- A. Nature and purpose of proposed use. (*Refer to Letter of Intent & Site Plan*)
  - B. Location and setbacks from property lines for all proposed and existing buildings and structures. (*Refer to Survey*)
  - C. Location and size of buffers, including but not limited to existing and proposed landscaping, fences and walls. (*Refer to Survey & Site Plan*)
  - D. Location, number and size of existing and proposed parking spaces. (*Not applicable*)
  - E. Height of buildings and structures, measured from the existing grade. (*Refer to Site Plan*)
  - F. Location of fire lanes. (*Not applicable*)
  - G. Location of existing and proposed signage. (*Not applicable*)
  - H. Location of wetlands and/or flood prone areas. (*Not applicable*)
  - I. Days and hours of the existing or proposed operation. (*Not applicable*)
  - J. Projected number of employees on the largest shift, number of students or children, faculty, residents, etc. (*Not applicable*)
  - K. Location, type and height of existing or proposed outdoor lighting. (*Not applicable, this Communication tower will not be lighted, unless required by the FAA*)
  - L. Seating capacity, if appropriate (e.g., restaurants, churches, sports stadiums, etc.) (*Not applicable*)

COMMUNICATION TOWERS ONLY:

- M. Maps depicting existing and proposed propagation. (*Refer to Exhibits 4 & 5*)
- N. Photo simulations of the proposed tower facility. (*Refer to Exhibit 6*)
- O. Statement of justification from a Radio Frequency (RF) Engineer to explain delineation of identified search ring, proposed capacity, and how the request furthers the policy intent of the Land Development Code. (*Refer to Exhibit 3*)
- P. Description of proposed height and method of camouflage (if applicable). (*Refer to Site Plan for the proposed height, camouflage design is not applicable to this application*)

## APPLICATION MERITS/CODE COMPLIANCE

(a) Setbacks.

(1) Communication tower setbacks shall be measured from the outer extremity of the base of the communication tower to the property line of the parcel on which it is located.

(2) Communication towers shall be located on parcels which comply with the minimum setback and lot size requirements of the zoning classification assigned to the property on which they are located.

- *This parcel complies with the minimum setback and lot size requirements for the A-5 zoning classification assigned to this property.*

(3) For towers located on properties assigned the PUD or PCD zoning classification, the setback requirements for the parcel outlined in the PUD/PCD approval shall apply.

- *Not Applicable.*

(4) In cases where there are non-conforming residential uses on property which is not assigned a residential zoning classification, a reduction of fifty (50) percent of the side or rear yard setback distance opposite the non conforming residential use shall be permitted by the Planning Manager unless the side or rear yard proposed for reduction is assigned a residential land use designation or zoning classification.

- *Not Applicable.*

(b) Minimum separation from off-site uses/designated areas.

(1) Communication tower separation shall be measured from the outer extremity of the base of the tower to the closest property line of the off-site use as specified in Table 1 below.

(2) Separation requirements for communication towers shall comply with the minimum standards established in Table 1 below unless otherwise provided.

(3) Reduced separation distances may be reduced by the Planning Manager when written consent as set forth in a recordable instrument is obtained from all property owners within the applicable separation distance.

- *This proposed Communication Tower site does not meet the separation from off-site uses/designated areas, but we are diligently pursuing written consent from all property owners within the applicable separation distance.*

(4) Separation distances may be decreased or increased by the Board of Adjustment in accordance with the procedural requirements for variances as set forth in this Code and the substantive determinations as set forth in Table 1 below, when considering whether to approve a special exception, if competent substantial evidence is presented demonstrating unique planning considerations and compatibility impacts.

- *The proposed Communication tower, a monopole, is of the least intrusive design for this particular height in this particular area. To camouflage a Communication tower*

*at or near the proposed height of this proposed structure in this particular area would adversely impact the intentions of a camouflage design.*

- *An 8' wooden fence will be installed at the base of the proposed tower so as to completely shield the equipment, which will be located at the base of the tower. (Refer to the site plan for design of the wooden fence.)*
- *This tower is being designed to accommodate 3 additional users in an effort to minimize future towers in the area.*

TABLE 1  
MINIMUM SEPARATION FROM OTHER USES

TABLE INSET:

| Off-site Use  | Separation Distance   |
|---|---|
| Property assigned a single-family (includes modular homes and mobile homes used for living purposes), duplex, or multi-family residential zoning classification or future land use designation or with an existing residential use. | 200 feet or 300% height of tower whichever is greater except when a variance is granted based upon findings that the aesthetic impacts of the tower is enhanced, that compatibility with abutting property owners is maintained, and the approval of the tower would be consistent with and further the provisions of section 30.1362. The standard relative to variances as otherwise set forth in this Code may be considered in determining whether to approve a variance hereunder, but shall not be determinative as to whether the variance may be granted. |
| Property assigned a non-residential zoning classification or future land use designation or property with an existing non-residential use.  | None. Only district setbacks apply.   |

(c) Separation distances between communication towers.

(1) Separation distances between communication towers shall be and measured between the communication tower proposed for approval and those towers that are permitted or existing.

- *The proposed Communication tower satisfies the required separation distance between existing or permitted Communication towers. There are no towers within 1500 feet of the proposed Communication tower.*

(2) The separation distances shall be measured by drawing or following a straight line between the GPS coordinate of the center of the existing or permitted communication tower and the proposed GPS coordinate of the center of the proposed communication tower as depicted on a site plan of the proposed tower.

- *There are no towers within the required 1500 feet of the proposed Communication tower.*

(3) The separation distances, listed in linear feet, shall be as set forth in Table 2 below:

**TABLE 2**  
**SEPARATION DISTANCES BETWEEN COMMUNICATION TOWERS**  
**TABLE INSET:**

| DESCRIPTION                         | EXISTING TOWERS |       |                                     |                                    |            |
|-------------------------------------|-----------------|-------|-------------------------------------|------------------------------------|------------|
|                                     | LATTICE         | GUYED | MONOPOLE 75 FT IN HEIGHT OR GREATER | MONOPOLE LESS THAN 75 FT IN HEIGHT | CAMOUFLAGE |
| LATTICE                             | 5,000           | 5,000 | 1,500                               | 750                                | 0          |
| GUYED                               | 5,000           | 5,000 | 1,500                               | 750                                | 0          |
| MONOPOLE 75 FT IN HEIGHT OR GREATER | 1,500           | 1,500 | 1,500                               | 750                                | 0          |
| MONOPOLE LESS THAN 75 IN HEIGHT     | 750             | 750   | 750                                 | 750                                | 0          |
| CAMOUFLAGE                          | 0               | 0     | 0                                   | 0                                  | 0          |

(4) A variance from the minimum separation distances between communication towers as set forth in Table 2 may be granted when two (2) or more communication tower owners or operators agree to co-locate their communication antennas on the same communication tower and upon findings being made that the aesthetic impacts of the tower is enhanced, that compatibility with abutting property owners is maintained, and the approval of the tower would be consistent with and further the provisions of section 30.1362. The standard relative to variances as otherwise set forth in this Code may be considered in determining whether to approve a variance hereunder, but shall not be determinative as to whether the variance may be granted.

(d) Measurement of height. Measurement of communication tower height shall include antenna, base pad and any and all other appurtenances and shall be measured from the finished grade of the parcel on which the communication tower is located.

- *The measurement of the tower has been measured as requested above and is indicated in the site plan of this application.*

Sec. 30.1365. Design criteria.

(a) **Illumination.** Communication towers shall not be artificially lighted except to assure human safety or as required by the Federal Aviation Administration (FAA). At time of construction of a communication tower in cases where there is property assigned a residential future land use designation, a residential zoning classification or has a valid residential use located within a distance from the tower which is equal to or less than three hundred (300) percent of the height of the communication tower, dual mode lighting shall be requested by the applicant from the FAA.

- *The proposed Communication tower will not be lighted unless required by the FAA. Generally, if a tower is less than 200 feet in height, a tower is not required by the FAA to be lighted. This tower is proposed to be 197 feet in height.*

(b) **Finished color.** Communication towers not requiring FAA painting/marketing shall have either a galvanized finish, shall be painted a non-contrasting gray finish, or shall be painted in a finish to enhance camouflaging as determined by the Planning Manager.

- *The proposed Communication tower will have a galvanized finish.*

(c) **Fencing.** A chain link fence or a wall not less than eight (8) feet in height from finished grade shall be installed by the applicant around each communication tower. Barbed wire or another fencing method to prevent pedestrian access to the tower, as approved by the Planning Manager, shall be installed along the top of the fence or wall, but shall not be included when calculating the height of the fence or wall. Access to the tower through the fence or wall shall be through a gate which shall be locked at all times the communication tower site is not being occupied by the person or entity in charge of the communication tower or site.

- *An 8' wooden fence is being proposed around the perimeter of the tower and ancillary equipment for this site.*

(d) **Landscaping.**

(1) The visual impacts of each communication tower shall be mitigated through landscaping or other screening materials at the base of the communication tower and ancillary structures in order to maintain visual aesthetics for those who must view the site on a regular basis including, but not limited to, proximate residents and the traveling public.

- *An 8' wooden fence is being proposed so as to completely shield the base of the tower and all ancillary equipment in order to maintain visual aesthetics to proximate residents and the traveling public. This is also an effort to satisfy the request of the property owner due to his concern of his horses coming into contact with the landscape buffer.*

(2) The following landscaping and buffering requirements shall apply to each communication tower around the perimeter of the tower and accessory structures;

provided, however, that these standards may be determined by the Planning Manager, based upon the intent of this section and sound and generally acceptable planning principles, to be unnecessary for those sides of the property on which a proposed tower will be located that are near to lands that are not likely to be developed or that are not likely to be adversely impacted by the communication tower or when the property on which the communication tower will be located is not in public view.

- *NOT APPLICABLE*

(3) Landscaping shall be installed on the outside of fences.

- *NOT APPLICABLE TO THIS APPLICATION*

(4) The use of existing vegetation shall be preserved to the maximum extent practicable and may be used as a substitute of or in supplement towards meeting landscaping requirements.

- *There will be no trees removed from this parcel during the installation of the Communication tower.*

(5) A row of canopy trees a minimum of eight (8) feet tall, two and one-half (2 1/2) inches in caliper, and a maximum of ten (10) feet apart shall be planted around the perimeter of the fence or at locations which enhance greater screening from other uses as determined by the Planning Manager.

- *NOT APPLICABLE*

(6) A continuous hedge at least twenty-four (24) inches high at planting of sufficient health and quality able to attain a height of at least thirty-six (36) inches within twelve (12) months shall be planted in front of the tree line.

- *NOT APPLICABLE*

(7) All landscaping shall be of the evergreen variety being a minimum quality of Florida #1.

- *NOT APPLICABLE*

(8) All landscaping shall be xeriscape tolerant or irrigated and properly maintained to ensure good health and viability.

- *NOT APPLICABLE*

(e) Structural design.

(1) Communication towers shall be constructed in accordance with the most current edition of the EIA/TIA 222-E Standards, as published by the Electronic Industries Association, any and all Seminole County construction/building codes, all applicable land development regulations and federal and state law.

- *This tower is being designed according to the standards set forth above in this section.*

(2) Any improvements and/or additions to a communication tower such as, by way of example only, antenna or satellite dishes, must be submitted for approval to the County

and shall require submission of plans sealed and verified by a professional engineer licensed in the State of Florida which provides substantial competent evidence of compliance with the then current EIA/TIA Standard. Said site plan shall be submitted to and subject to the approval of the Seminole County Building Official, or his or her designee.

(f) No commercial signage or advertising shall be permitted on a communication tower unless otherwise required by law or the signage pertains only to the posting of the property relative to trespassing.

- *No commercial signage or advertising is proposed or will be posted/installed at this proposed tower site other than what is required by law.*

(Ord. No. 96-5, § 30, 7-9-96; Ord. No. 02-53, § 1, 12-10-02).

Sec. 30.1367. Communication antennas.

- *NOT APPLICABLE*

Any communication antenna which is not attached to a communication tower shall be a permitted ancillary use to any commercial, industrial, professional, institutional, multi-family or utility structure provided that:

- (1) The communication antenna does not exceed more than twenty (20) feet above the highest point of the structure; and
- (2) The communication antenna complies with all applicable FCC and FAA regulations; and
- (3) The communication antenna complies with all applicable building codes and laws, rules and regulations.

(Ord. No. 96-5, § 32, 7-9-96).

Sec. 30.1368. Co-location of communication tower antennas.

(a) General policy relating to co-location. To minimize adverse visual impacts associated with the proliferation and clustering of communication towers, co-location of communication antennas by more than one (1) carrier on existing or new communication towers is encouraged. Additional communication antennas proposed on existing Communication Towers are permitted uses and may co-locate onto existing communication towers if they satisfy the requirements of this section and no special exception is required.

- *It is always the intent and desire of Sprint PCS, whenever possible, to co-locate on any or all co-locatable structures, including existing towers, water tanks, rooftops, etc... Unfortunately, there are no co-locatable structures in or around this area that would allow Sprint PCS to meet its coverage objectives and improve the coverage for the increasing demand of phone usage in the area.*

# EXHIBIT 2

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September 17, 2004

Planning and Development Department  
Planning Division  
Room 2202  
1101 East First Street  
Sandford, FL 32771

By Hand Delivery

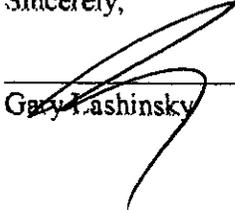
RE: Agent Authorization

Dear Seminole County Planning & Development Department,

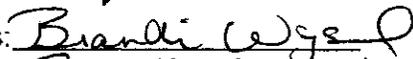
We, Gary Lashinsky & Elizabeth A. Lashinsky, do hereby authorize Richard Shirah & Jay Shirah to act as agents on our behalf with regards to the Communication Tower Special Exception Application proposed to be located on our property at 1051 Van Arsdale Street, City of Oviedo, Seminole County, Florida. In addition, we give them the authority to sign any and all documents pertaining to this application and permitting process.

Should you have any questions, please feel free to call us at 407-366-0366.

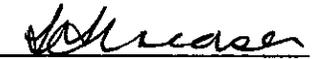
Sincerely,

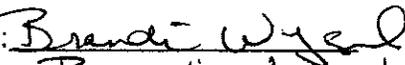
  
\_\_\_\_\_  
Gary Lashinsky

Witness:   
Print Name: LYN CREASER

Witness:   
Print Name: Brandi Wygal

  
Elizabeth A. Lashinsky

Witness:   
Print Name: LYN CREASER

Witness:   
Print Name: Brandi Wygal

**Public Notary to the above signatures on the following page.**

STATE OF FLORIDA

COUNTY OF

The foregoing instrument was (choose one)  attested or  acknowledged before me this SEP. 17, 2004 day of September, 2004, by Gary Lashinsky as an individual.

(AFFIX NOTARIAL SEAL)

Richard O. Shirah  
(OFFICIAL NOTARY SIGNATURE)  
NOTARY PUBLIC STATE OF GA.

My commission expires:

Notary Public, Glynn County, Georgia  
My Commission Expires Oct. 15, 2007.

RICHARD O. SHIRAH  
(PRINTED, TYPED OR STAMPED NAME OF NOTARY)  
COMMISSION NUMBER:

STATE OF FLORIDA

COUNTY OF

The foregoing instrument was (choose one)  attested or  acknowledged before me this SEP. 17, 2004 day of September, 2004, by Elizabeth A. Lashinsky as an individual.

(AFFIX NOTARIAL SEAL)

Richard O. Shirah  
(OFFICIAL NOTARY SIGNATURE)  
NOTARY PUBLIC STATE OF

My commission expires:

Notary Public, Glynn County, Georgia  
My Commission Expires Oct. 15, 2007.

RICHARD O. SHIRAH  
(PRINTED, TYPED OR STAMPED NAME OF NOTARY)  
COMMISSION NUMBER:

# EXHIBIT 3



September 24, 2004

Planning and Development Department  
Planning Division  
Room 2202  
1101 East First Street  
Sanford, FL 32771

By Hand Delivery

RE: RF Engineer Statement of justification

Dear Planning and Development Department,

As is required in item "O" of Section 1.4 in the Application for Special Exception, this letter is to provide a "statement of justification...to explain delineation of identified search ring, proposed capacity, and how the request furthers the policy intent of the Land Development Code." Item "b (1-8)" of Section 30.1362, Legislative Purpose and Intent, will be addressed in this statement. In addition, this statement contains, as an attachment, both pages of the search ring and the coverage objectives of this site, which will be discussed at length.

*(1) To accommodate the growing need for communication towers;*

It is always the intent and preference of Sprint PCS to co-locate whenever possible on existing towers, water tanks, rooftops, etc. Attached to this letter is copy of our search ring. Above the color coded map in the "RF Design" comments, it plainly states, "Any building or support structure meeting the height requirement within the search area should be submitted as a candidate." This is our preference for several reasons including cost, less property management, and to limit the number of towers constructed in and around our customers. While we are aware of our customers' concerns regarding the location of towers, Sprint is not always able to provide quality service without the construction of a tower. According to Business Week Online, Sprint is expected to be the fastest growing U.S. Telecom company this year. This being the case, there is an increasing demand for Sprint PCS' service, and therefore, an increasing demand for "cell sites." Since there is no co-locatable structure for this particular site, the approval of this particular tower site will certainly "accommodate the growing need for communication towers," as is stated in section A(1) of the purpose and intent.

*(2) To encourage and direct the location of communication towers in the County to the most appropriate locations considering sound planning and land use practices, to insure compatibility between communication towers and abutting land uses, to provide for adequate setback requirements between communication towers and abutting and proximate land uses, to provide for adequate separation requirements between communication towers, to provide for the needs of the communication industry, to provide for the needs of the public, to provide for the protection of private property rights, to provide for developments in technology, impacts, and to provide for the requirements of federal, state and local law;*

We encourage our site acquisition consultants to locate tower sites appropriately while considering our customers and sound planning. Again, we are aware that our tower sites are being located among our customers. This particular site is being located on a property that is currently a commercial use, and within an area of a variety of uses (i.e. a church, light residential, youth rehabilitation center, and other horse training facilities). Therefore, we feel as though we have located this site to be compatible with surrounding land uses. This tower site exceeds the tower separation requirements of the ordinance and will provide co-location opportunities for other carriers, thereby minimizing the future number of towers in this area. As will be discussed later in this statement, Sprint's coverage in this area is well below what their customers demand from a leader in the industry. Therefore, the "needs of the public" can be improved and met in this area with this application approval. Considering the current commercial use of this property, it is our opinion that this tower site is compatible with surrounding land uses and in no way inhibits the protection of private property rights.

*(3) To protect residential areas and land uses from the potential adverse impacts of communication towers when placed at inappropriate locations or permitted without adequate controls and regulation consistent with the provisions of law;*

The proposed site is an accessory use on a parcel that is zoned A-5. The parent parcel presently has a commercial use with the offices of White Stallion Productions located on site as well as a horse training facilities. The area around the parent parcel is zoned agricultural with a variety of uses. The residential uses are on tracts of lands that are mixed in with commercial uses, including other horse training facilities, a church, and a parcel that was recently used as a youth rehabilitation center. In addition, we are pursuing approval of property owners that are located within the prescribed use separation distance.

*(4) To minimize the adverse visual impacts resulting from communication towers through sound and practical design, siting, landscape screening, and innovative camouflaging techniques all in accordance with generally acceptable engineering and planning principles and the public health, safety and welfare;*

The proposed tower will be a 197 foot monopole tower which is generally perceived to be the least visually intrusive tower when compared to a guyed or lattice type tower. The height required to meet the RF objective for this site is such that there is no camouflage type tower that would be aesthetically compatible for the surrounding area.

*(5) To avoid potential damage to adjacent properties through sound engineering and planning and the prudent and careful approval of communication tower sites and structures;*

This tower site is being designed and will be constructed to the standards set forth by Federal, State, and local law that are designed to protect the health, safety, and welfare of the public.

*(6) To promote and encourage shared use of existing and new communication tower sites and towers as a primary option rather than construction of additional single-use towers;*

As stated earlier, it is our preference to co-locate on any existing structure. Unfortunately, there are absolutely no existing structures in or around this search area to consider for co-location. However, this tower is being designed to accommodate three (3) carriers in addition to Sprint PCS.

*(7) To evaluate current trends and projected areas of advancement relative to communication towers, the telecommunications industry and related matters on an ongoing basis;*

The current trends of consumers indicates an increasing demand for a variety of wireless products. The industry is rapidly developing products that offer better wireless telephone coverage, e-mail service, and video conferencing. Wireless products that make today's businesses as efficient as they are cannot be possible without the use of towers.

*(8) To provide the County with the information pertaining to enhanced and new uses of communication towers and the systems to which they relate.*

Communication towers are being used to make individuals and businesses much more efficient by offering wireless e-mail services, video conferencing, and cell phone services. Other wireless providers such as broadband companies and wireless internet companies are also using towers to provide wireless services. E911 also uses towers for their services, which are becoming more and more apart of the safety and welfare of our communities.

Please find the attached Search Area Request Form (search ring). The search ring is drawn in red and the coverage objective ring is drawn in black. In order to meet the coverage objective, a site must be located in the search ring. Just to the right of the search ring map is a color coded legend for the map. Basically, the colors in the legend go from top/best existing coverage to bottom/poor-to-no existing coverage. The bottom right of the Site Acquisition Request Form details the design/coverage objectives for this site.

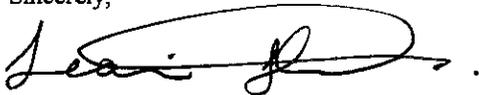
This site is designed to cover Northeast Oviedo, Geneva, and County Road 426. Almost the entire search ring is color coded gray and red, the poorest areas of coverage for Sprint PCS in this area, leaving all customers along this road or in this area without coverage. This site is designed to cover approximately 25,375 "Pops," as is indicated in the section to the right of the search ring map. (Pops is a representation of the population calculated

by the most recent census. Basically, one "pop" equals one person.) By building the proposed tower, we have projected that Sprint will meet 100% of the "Pops" objective.

As is noticeable on the search ring map, we have noted all existing towers and existing Sprint PCS sites. We have considered co-locating on the sites noted in the map where we currently are not located. Unfortunately, doing so would create an enormous amount of coverage overlap with our existing sites. By creating overlap, the coverage projections are substantially reduced, which deems the sites almost ineffective and certainly a waste of resources.

I hope that this RF Justification Statement has provided a thorough understanding of the need for this Communication tower site. Should there be any questions, or if you need additional information regarding the objectives or specifics of this proposed site, please make the agent of this application, Jay Shirah, aware of your needs. He will forward all information and requests to me and I will immediately be in touch with you.

Sincerely,



Learie Hercules  
RF Engineer

## Sprint PCS Site Acquisition Request Form

| Market and Source Data |                  |
|------------------------|------------------|
| Market:                | Sprint PCS       |
| Market:                | Orlando          |
| Phase:                 | 5                |
| Date:                  | May 15, 2003     |
| RF Engineer:           | David Coniglio   |
| Telephone:             | 407-475-2022     |
| Mobile:                | 407-230-9743     |
| Additional Contact:    | Scott McElligott |

| Search Ring Information     |                                 | Market Final Rank |
|-----------------------------|---------------------------------|-------------------|
| Site Number:                | OR60XC516                       | 56                |
| Site Name:                  | Solution 98 Big Econ            |                   |
| City/Town Name:             | Orlando                         |                   |
| ZipCode:                    | 32765                           |                   |
| Center of Search Latitude:  | 28.687                          |                   |
| Center of Search Longitude: | -81.1646                        |                   |
| Ground Elevation AMSL (ft): | 23                              |                   |
| Centerline AGL (ft):        | Min: 170; Max190; Preferred 190 |                   |
| Morphology:                 | Suburban                        |                   |

| Projected Antenna Building Layout Plan |                     |
|--|---------------------|
| Initial Configuration                  | 3-sector site       |
| Antenna Orientation (initial estimate) | 0, 120, 240         |
| Antenna Type/Configuration             | Panel/ 2 per sector |
| Equipment Type                         | Full Site Metrocell |
| Vendor                                 | Nortel              |

*Additional RF design criteria for Repeaters sites only*

**RF Design Comments**

A monopole may be required in the search area. Power connection and enough room to house equipment along with room for growth cabinet and backup power supply is a requirement. Any building or support structure meeting the height requirement within the search area should be submitted as a candidate.

**RF Coverage Objectives**

**Design Criteria:**  
 Required Signal Density: -96.14 dBm/pop  
 Total Pops to be covered: 25375  
 Avg dB Increase/Pop: 7.92 dB

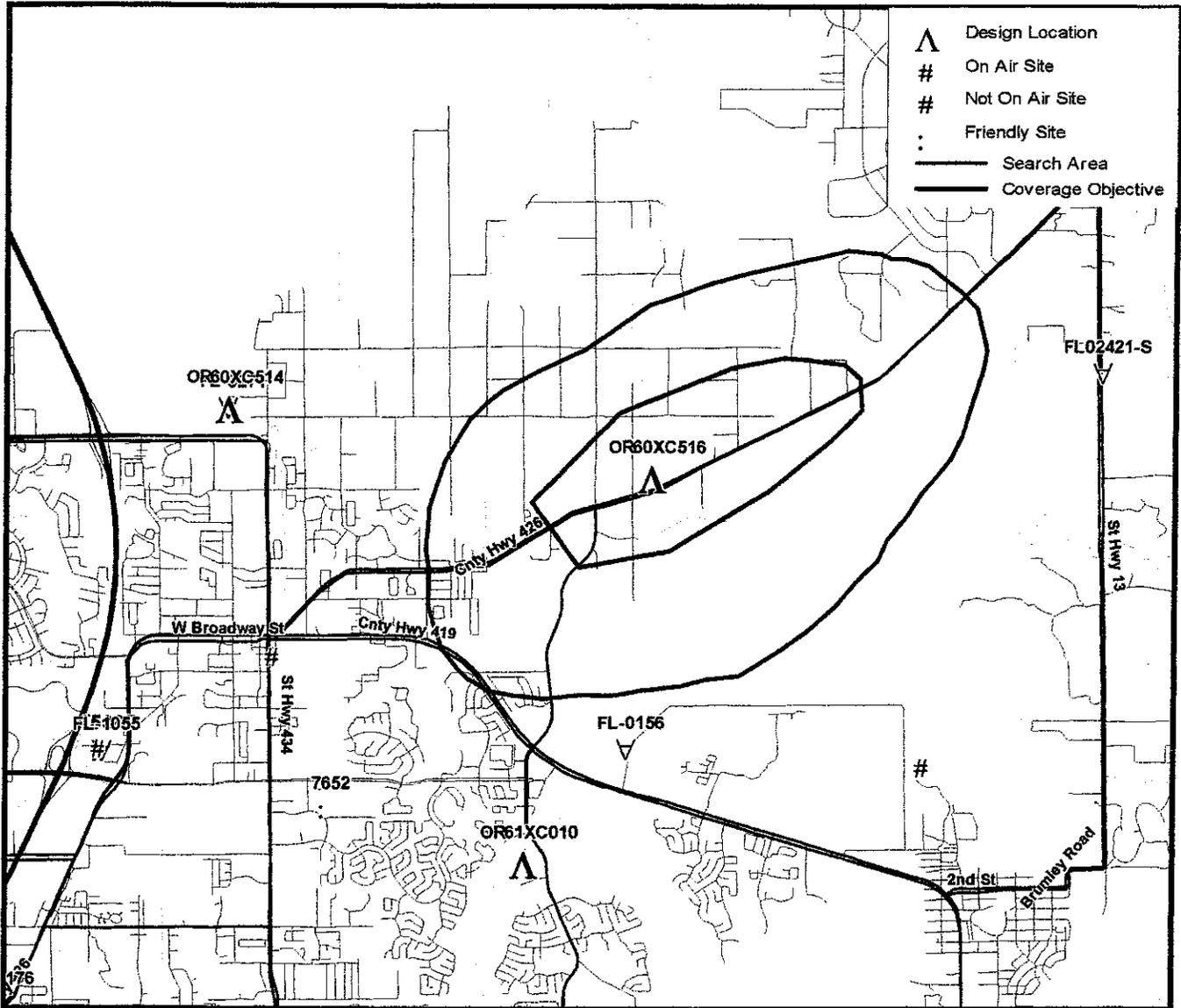
**Must Cover:**  
 Northeast Oviedo, Geneva and County Road 426

| Possible Site Candidates/Miscellaneous Site Information |         |             |               |                        |
|---|---------|-------------|---------------|------------------------|
| Cand #  | Address | Description | Location Type | Possible Antenna Mount |
| 1   |         |             |               |                        |
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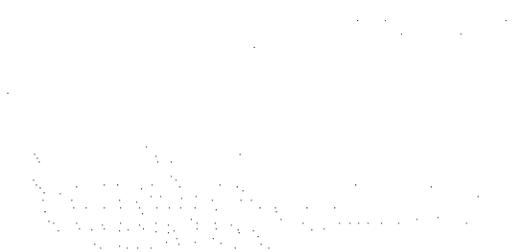
## Sprint PCS Site Acquisition Request Form

| Market and Source Data |                  |
|------------------------|------------------|
| Client:                | Sprint PCS       |
| Market:                | Orlando          |
| Phase:                 | 5                |
| Date:                  | May 15, 2003     |
| RF Engineer:           | David Coniglio   |
| Telephone:             | 407-475-2022     |
| Mobile:                | 407-230-8743     |
| Additional Contact:    | Scott McElligott |

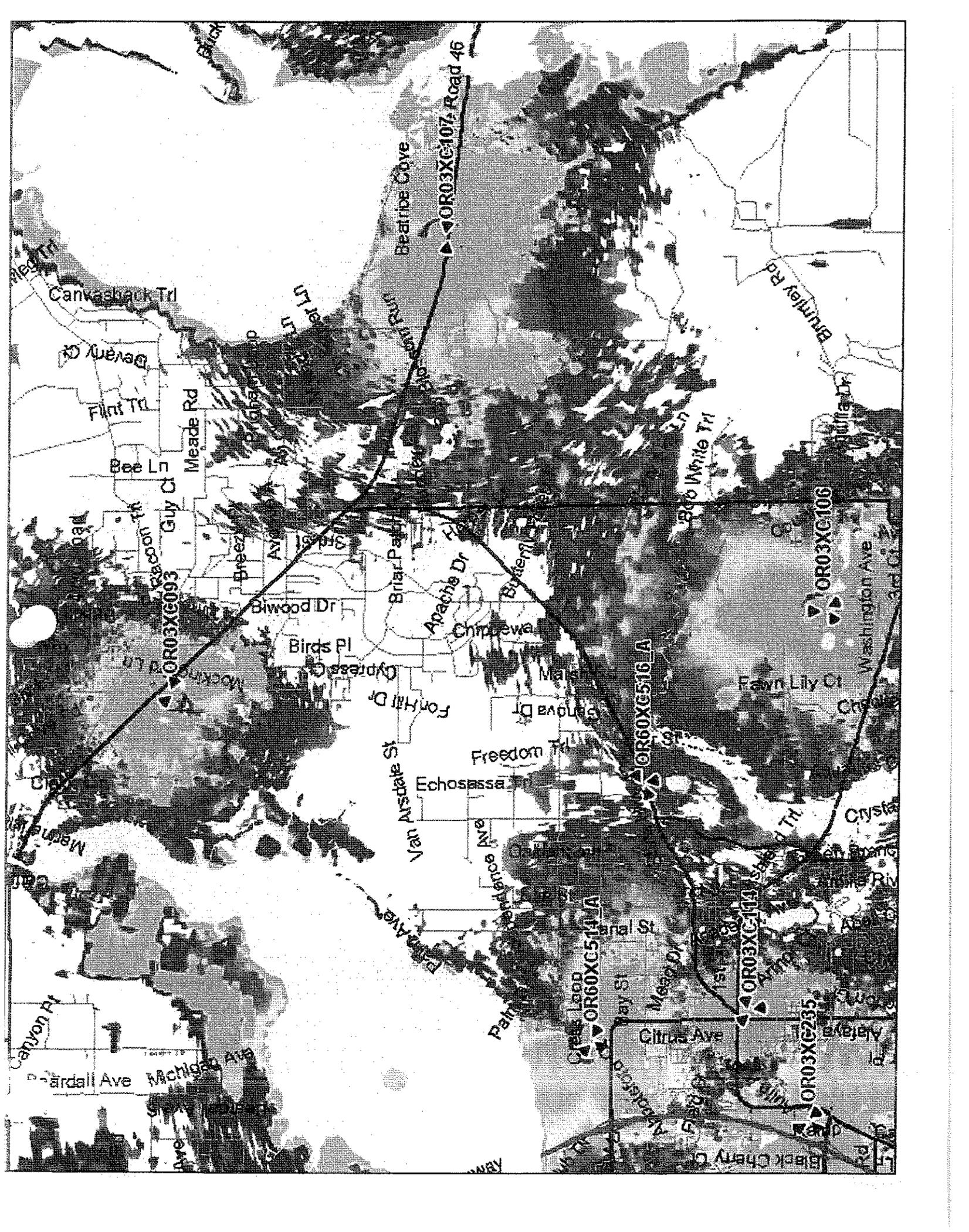
| Search Ring Information     |                                   |
|-----------------------------|-----------------------------------|
|                             | Market Final Rank <b>58</b>       |
| Site Number:                | OR60XC516                         |
| Site Name:                  | Solution 98 Big Econ              |
| City/Town Name:             | Orlando                           |
| ZipCode:                    | 32765                             |
| Center of Search Latitude:  | 28.687                            |
| Center of Search Longitude: | -81.1646                          |
| Ground Elevation AMSL (ft): | 23                                |
| Centerline AGL (ft):        | Min: 170; Max: 190; Preferred 190 |
| Morphology:                 | Suburban                          |



# EXHIBIT 4



.....



OR03XC107, Road 46

OR03XC106

OR60XC516\_A

OR03XC114

OR03XC235

Canvashack Trl

Beatrice Cove

Meade Rd

Bee Ln

OR03XC093

Birchwood Dr

Birds Pl

Briar Path

Apache Dr

Freedom Tr

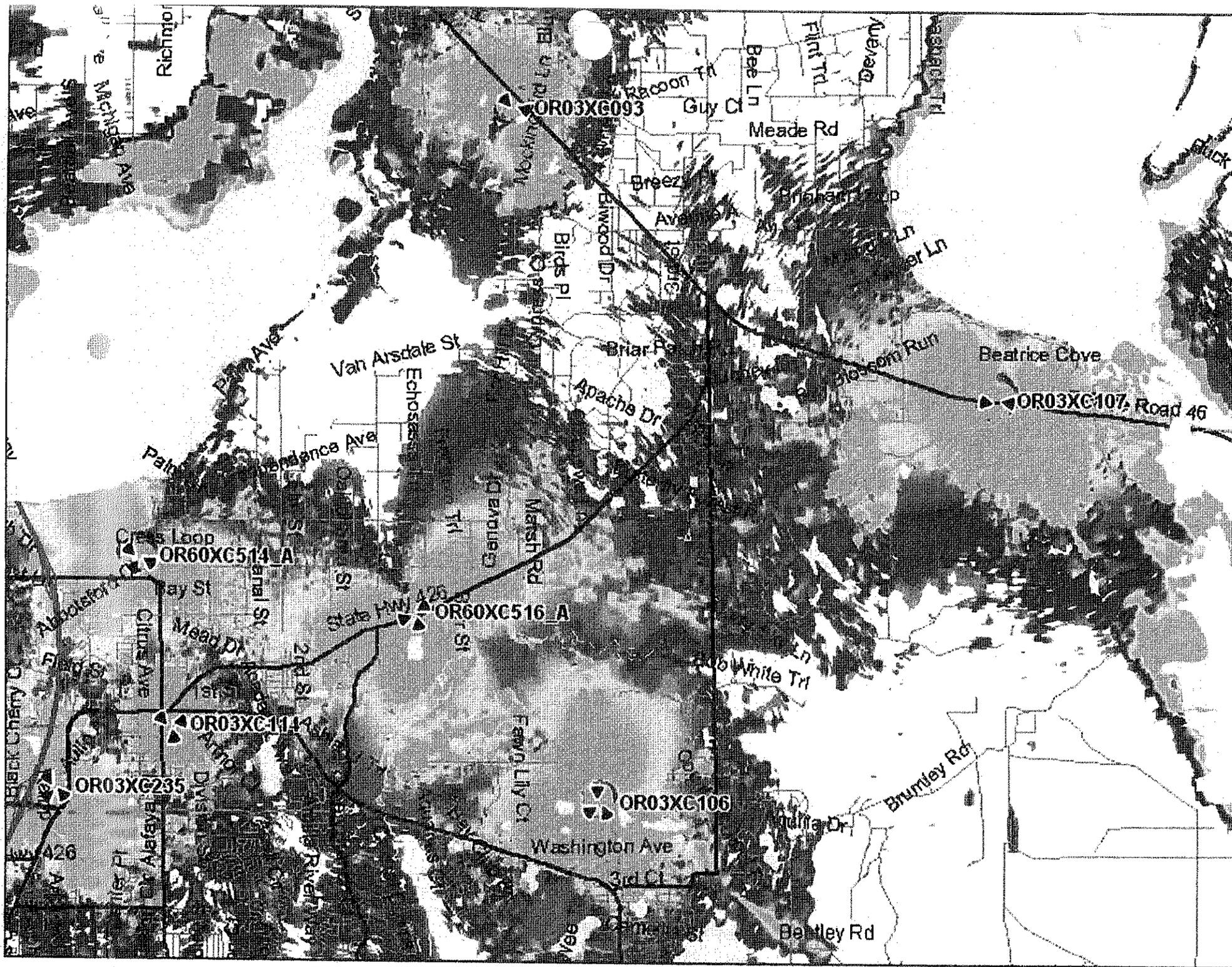
Echosassa Tr

Van Arsdale St

Citrus Ave

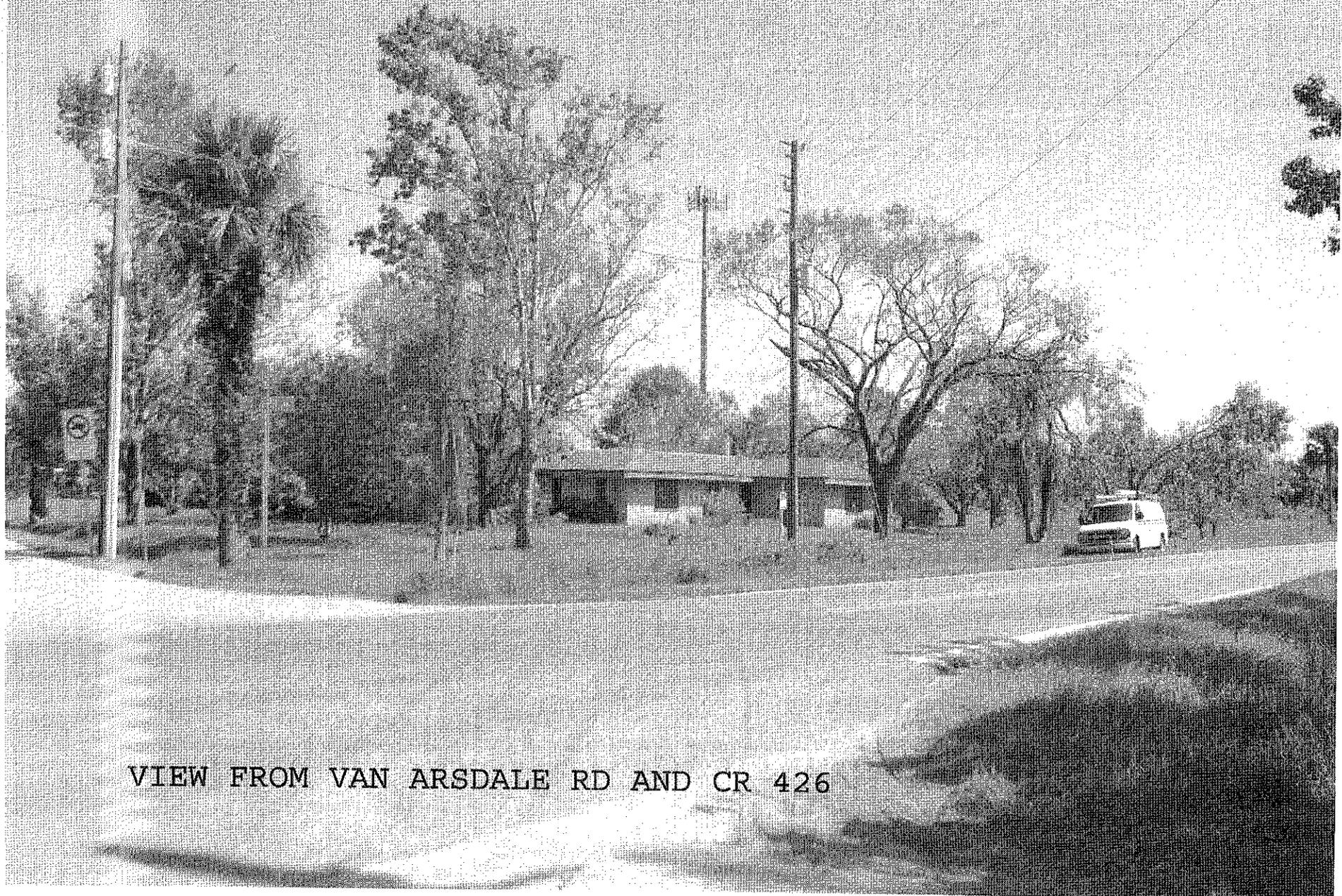
Michigan Ave

# EXHIBIT 5



# EXHIBIT 6

PHOTO SIMULATION ONLY



VIEW FROM VAN ARSDALE RD AND CR 426

PHOTO SIMULATION ONLY



VIEW FROM LITTLE BIG ECON FOREST

# EXHIBIT 7

# OR60XC516A WHITE STALLION



## RAW LAND - MONOPOLE

### SITE INFORMATION

**APPLICANT:** SPRINT  
 5580 SPRINT PKWY  
 OVERLAND PARK, KS  
 66251-6100  
**OFFICE ROUTE:** KS06PH0412 - 48420  
**CONTACT:** TIM BENNETT  
 (913) 794-5729  
**SITE ADDRESS:** 1051 VAN ARSDALE STREET  
 OVIEDO, FL 32789  
**COUNTY:** SEMINOLE  
**TAX MAP NO.:** 25-20-30-580-0000-4370  
**PROPERTY OWNER:** WHITE STALLION PRODUCTIONS  
**CONTACT:** GARY LASHINSKY  
 (407) 366-0368  
**PHONE:**  
**LATITUDE:** 28° 41' 08.89" N  
**LONGITUDE:** 81° 09' 57.07" W  
**ZONING CLASSIFICATION:** A-5  
**ZONING JURISDICTION:** SEMINOLE COUNTY  
**POWER COMPANY:** PROGRESS ENERGY  
**CONTACT:** BILL TUGGLE  
 (407) 938-6716  
**TELEPHONE COMPANY:** BELLSOUTH  
**CONTACT:** NICK FERHIS  
 (407) 231-3082  
**ENGINEER:** ALCOA WIRELESS SERVICES, INC.  
 1685 BLUEGRASS LAKES PKWY  
 ALPHARETTA, GA, GEORGIA 30004  
**MS. RANETTA GOSS**  
 (770) 863-8813 EXT. 645  
 (770) 863-8471  
**AREA OF DISTURBANCE:** ± 13,911 S.F.

### 24 HOUR CONTACTS:

SPRINT NETWORK OPERATIONS  
 CONTROL CENTER (NCCC)  
 (888) 859-1400

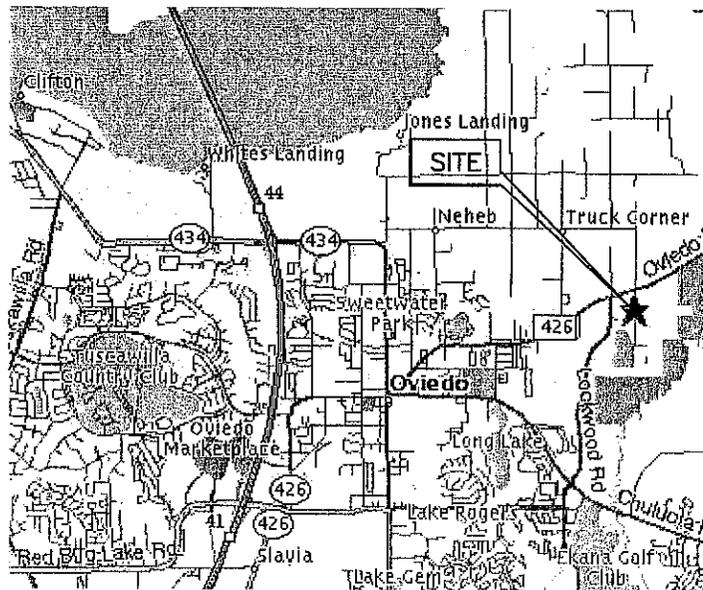
### CONTACT INFORMATION



**ALCOA Wireless Services, Inc.**  
 1685 BLUEGRASS LAKES PKWY  
 ALPHARETTA, GEORGIA 30004  
 Office (770) 863-8813  
 Fax (770) 863-8471

**CONTACT:** MS. RANETTA GOSS  
**PHONE:** (770) 863-8813 EXT. 645

### LOCATION MAP



### DRIVING DIRECTIONS

FROM 417 AND S.R. 434 GO SOUTH ON S.R. 434 APPROX. 2 MILES TO S.R. 426. GO EAST ON S.R. 426 APPROX. 2.8 MILES TO VAN ARSDALE STREET AND GO LEFT. THE PROPERTY IS ON THE RIGHT AT 1051 VAN ARSDALE STREET.

### APPROVALS

SPRINT REPRESENTATIVE: \_\_\_\_\_  
 SPRINT RF ENGINEER: \_\_\_\_\_  
 SITE OWNER: \_\_\_\_\_

### DRAWING INDEX

| DRAWING NO. | DRAWING TITLE                   | REV. NA. | REV. DATE |
|-------------|---------------------------------|----------|-----------|
| T1          | TITLE SHEET                     | 3        | 9/21/04   |
| C1          | GENERAL NOTES AND LEGEND        | 0        | 5/24/04   |
|             | SURVEY                          | -        | -         |
| C2          | (NOT USED)                      | 0        | 5/24/04   |
| C3          | SITE PLAN                       | 1        | 9/21/04   |
| C4          | DETAILED PLAN AND ELEVATION     | 2        | 9/21/04   |
| C4.1        | GRADING PLAN                    | 2        | 9/21/04   |
| C5          | ANTENNA DETAILS                 | 1        | 6/22/04   |
| C6          | SITE DETAILS                    | 0        | 5/24/04   |
| C7          | SITE DETAILS AND CONCRETE NOTES | 0        | 5/24/04   |
| C8          | SITE DETAILS                    | 0        | 5/24/04   |
| C9          | FENCE DETAILS                   | 1        | 9/21/04   |
| C10         | SITE DETAILS                    | 0        | 5/24/04   |
| C11         | SITE DETAILS                    | 0        | 5/24/04   |
| L1          | LANDSCAPE PLAN                  | 2        | 9/21/04   |
| L2          | LANDSCAPE DETAILS               | 0        | 5/24/04   |
| E1          | UTILITY NOTES AND SYMBOLS       | 0        | 5/24/04   |
| E2          | UTILITY PLAN                    | 1        | 6/22/04   |
| E3          | GROUNDING PLAN                  | 2        | 7/28/04   |
| E4          | ELECTRICAL DETAILS              | 0        | 5/24/04   |
| E5          | ELECTRICAL DETAILS              | 0        | 5/24/04   |
| E6          | GROUNDING DIAGRAM               | 0        | 5/24/04   |
| E7          | ELECTRICAL DETAILS              | 0        | 5/24/04   |
| E8          | ELECTRICAL DETAILS              | 0        | 5/24/04   |
| E9          | ELECTRICAL DETAILS              | 0        | 5/24/04   |
| E10         | ELECTRICAL DETAILS              | 0        | 5/24/04   |

### DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME



**UNDERGROUND SERVICE ALERT**  
 CALL TOLL FREE  
 1-800-432-4770

48 HOURS BEFORE YOU DIG



5580 SPRINT PARKWAY  
 OVERLAND PARK, KANSAS 66251



**ALCOA Wireless Services, Inc.**  
 485 NORTH WELLS ROAD  
 SUITE 100  
 MADRID, FL 32781  
 OFFICE (407) 861-1745  
 FAX (407) 861-1766

PROJECT NO: 1611.518

DRAWN BY: TJP

CHECKED BY: JD

3 9/21/04 REVISED FENCE

2 7/26/04 REVISED GROUNDWORK

1 06/22/04 REVISED PER COMMENTS

0 05/24/04 ISSUED FOR CONSTRUCTION

A 10/21/04 ISSUED FOR REVIEW

REV DATE DESCRIPTION

SEP 23 2004  
 EMANUEL POHLEN  
 FL P.E. #4673

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**OR60XC516A  
 WHITE STALLION  
 1051 VAN ARSDALE STREET  
 OVIEDO, FL 32789  
 RAW LAND - MONOPOLE**

SHEET TITLE

TITLE SHEET

SHEET NUMBER

T1

**LEGEND**

- △ CONTROL POINT
  - X EXISTING SPOT ELEVATION
  - X PROPOSED SPOT ELEVATION
  - W WATER VALVE
  - ⊕ SANITARY SEWER MANHOLE
  - 275 --- EXISTING CONTOURS
  - 275 --- PROPOSED CONTOURS
  - X-X- EXISTING CHAINLINK FENCE
  - X-X- PROPOSED CHAINLINK FENCE
  - ~ ~ ~ EXISTING TREE LINE
  - ~ ~ ~ PROPOSED TREE LINE
  - 8" SS --- PROPOSED EASEMENT
  - 8" SS --- EXISTING SANITARY SEWER
  - G --- EXISTING NATURAL GAS LINE
  - PROPOSED SILT FENCE
  - PROPOSED TREE PROTECTION FENCE
  - PROPOSED DRAINAGE SWALE
- 
- 1 REPRESENTS DETAIL #
  - SPND REPRESENTS DETAIL LOCATED IN STANDARD SPECIFICATIONS AND DETAILS
  - 1 REPRESENTS DETAIL #
  - C7 REPRESENTS DETAIL LOCATION (SHEET NUMBER)
- 
- CONSTRUCTION EXIT
  - EXISTING UNDERGROUND ELECTRIC/TELEPHONE
  - PROPOSED UNDERGROUND ELECTRIC/TELEPHONE
  - EXISTING OVERHEAD ELECTRIC/TELEPHONE
  - PROPOSED OVERHEAD ELECTRIC/TELEPHONE
  - PROPERTY LINE
  - LEASE AREA LINE
  - BUILDING
  - \* TREES, SHRUBS, BUSHES

**DESIGN CRITERIA:**

1. BUILDING CODE 2001 FBC W/ 2003 REVISION AND ASCE 7-98. WIND LOAD PER ASCE 7-98
  - A. BASIC WIND SPEED: 110 MPH (49 M/S), 3 SEC GUST
  - B. WIND IMPORTANCE FACTOR: I.0 UNMANNED TELECOMMUNICATIONS FACILITY BUILDING CATEGORY II
  - C. WIND EXPOSURE: C
  - D. WIND PRESSURE COMPONENT & CLADDING  
34 PSF (TOTAL LATERAL)
2. DEAD LOAD.
  - A. EQUIPMENT WEIGHT PER MANUFACTURER DATA
3. LIVE LOAD, 2 CASES
  - A. 20 PSF COMBINED W/ EQUIPMENT
  - B. 100 PSF NOT COMBINED W/ EQUIPMENT
4. SEISMIC LOAD DOES NOT GOVERN THIS DESIGN

**GENERAL NOTES:**

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLAN SHEETS AND SPECIFICATIONS AND COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS TO ENSURE THAT WORK PROGRESSION IS NOT INTERRUPTED.
2. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A NEAT AND ORDERLY SITE, YARD AND GROUNDS, REMOVE AND DISPOSE OFF SITE ALL RUBBISH, WASTE MATERIALS, LITTER, AND ALL FOREIGN SUBSTANCES. REMOVE PETROCHEMICAL SPILLS, STAINS AND OTHER FOREIGN DEPOSITS. RAKE GROUNDS TO A SMOOTH EVEN-TEXTURED SURFACE.
3. THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES, ABOVE-GROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST IN THE WORKING AREA, EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATIONS INDICATED, IN PARTICULAR, THE CONTRACTOR IS WARNED THAT THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPELINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE AREA MAY BE SHOWN OR MAY NOT BE SHOWN; AND IT SHALL BE HIS RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK. 48 HOURS BEFORE YOU DIG, DRILL OR BLAST, CALL THE UNDERGROUND SERVICES ALERT NUMBER ON SHEET T1
4. THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED APPROVAL OF THE OWNER OR THE OWNER'S REPRESENTATIVE.
5. THE CONTRACTOR IS INSTRUCTED TO COOPERATE WITH ANY AND ALL OTHER CONTRACTORS PERFORMING WORK ON THIS JOB SITE DURING THE PERFORMANCE OF THIS CONTRACT.
6. THE CONTRACTOR SHALL RESTORE ALL PUBLIC OR PRIVATE PROPERTY DAMAGED OR REMOVED TO AT LEAST AS GOOD OF CONDITION AS BEFORE DISTURBED AS DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE.
7. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PERMITS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, AND INCURRING THE COST OF ALL REQUIRED PERMITS, INSPECTIONS, CERTIFICATIONS, ETC.
9. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR.
10. ALL TRENCH EXCAVATION AND ANY REQUIRED SHEETING AND SHORING SHALL BE DONE IN ACCORDANCE WITH OSHA REGULATIONS FOR CONSTRUCTION.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF WORK.
12. ALL UTILITY WORK INVOLVING CONNECTIONS TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE OWNER OR OWNER'S REPRESENTATIVE AND THE UTILITY OWNER BEFORE EACH AND EVERY CONNECTION TO EXISTING SYSTEMS IS MADE.
13. MAINTAIN FLOW FOR ALL EXISTING UTILITIES.
14. ALL SITE FILL SHALL MEET SELECTED FILL STANDARDS AS DEFINED BY THE OWNER OR OWNER'S REPRESENTATIVE ON THE DRAWINGS OR GEOTECHNICAL REPORT RECOMMENDATIONS.
15. CONTRACTOR TO GRADE ALL AREAS ON THE SITE TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING OR EQUIPMENT PAD AND THE TOWER.
16. PROPOSED TOWER FOOTING/FOUNDATION DIMENSIONS (IF ANY) ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ACTUAL FOUNDATION DIMENSIONS WITH FINAL TOWER DESIGN AND FOUNDATION DESIGN AS PROVIDED BY TOWER MANUFACTURER.
17. IF NECESSARY, THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING AND REGRADING ROADWAY AND/OR FIELD FOLLOWING INSTALLATION OF UTILITIES.
18. NO COMMERCIAL MESSAGES TO BE DISPLAYED ON TOWER.
19. WATER AND SEWER SERVICES ARE NOT REQUIRED FOR THIS DEVELOPMENT.

**FOUNDATION NOTES:**

1. FOUNDATIONS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 2000 PSF AND AN ALLOWABLE LATERAL PASSIVE PRESSURE OF 150 PSF/FT OF DEPTH. GENERAL CONTRACTOR TO ALLOW FOR THIRD PARTY TESTING OF SOILS PRIOR TO PLACING CONCRETE. COORDINATE TESTING WITH ALCOA WIRELESS SERVICES CONSTRUCTION MANAGER.
2. REFER TO CIVIL SHEETS FOR EXACT LOCATION AND ORIENTATION OF FOUNDATIONS.



6550 SPRINT PARKWAY  
OVERLAND PARK, KANSAS 66251



ALCOA Wireless  
Services, Inc.  
486 NORTH WELLS ROAD  
SUITE 100  
MIDLAND, TX 79701  
OFFICE (407) 841-1705  
FAX (407) 841-1706

PROJECT NO: 1811.518

DRAWN BY: TJP

CHECKED BY: JD

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| 0   | 05/24/04 | ISSUED FOR CONSTRUCTION |
|-----|----------|-------------------------|
| A   | 04/21/04 | ISSUED FOR REVIEW       |
| REV | DATE     | DESCRIPTION             |

*Signature*  
JUL 24 2004  
EMMANUELA POULIN  
P.E. #04023

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DR60XC516A  
WHITE STALLION  
1051 VAN ARSDALE STREET  
OVIEDO, FL 32789  
RAW LAND - MONOPOLE

SHEET TITLE  
GENERAL NOTES  
AND  
LEGEND

SHEET NUMBER  
C1





6580 SPRINT PARKWAY  
OVERLAND PARK, KANSAS 65251



ALCOA Wireless  
Services, Inc.  
145 NORTH HOLLER ROAD  
SUITE 180  
WATLAND, FL 32751  
OFFICE (407) 881-1785  
FAX (407) 881-1745

PROJECT NO: 1011.516

DRAWN BY: TJP  
CHECKED BY: JB

| REV | DATE     | DESCRIPTION             |
|-----|----------|-------------------------|
| 2   | 09/20/04 | REVISED FENCE           |
| 1   | 09/21/04 | RELOCATED METER RACK    |
| 0   | 05/24/04 | ISSUED FOR CONSTRUCTION |
| A   | 04/21/04 | ISSUED FOR REVIEW       |

*[Signature]*  
SEP 23 2004

EMMANUEL POULIN  
FL. P.E. #44073

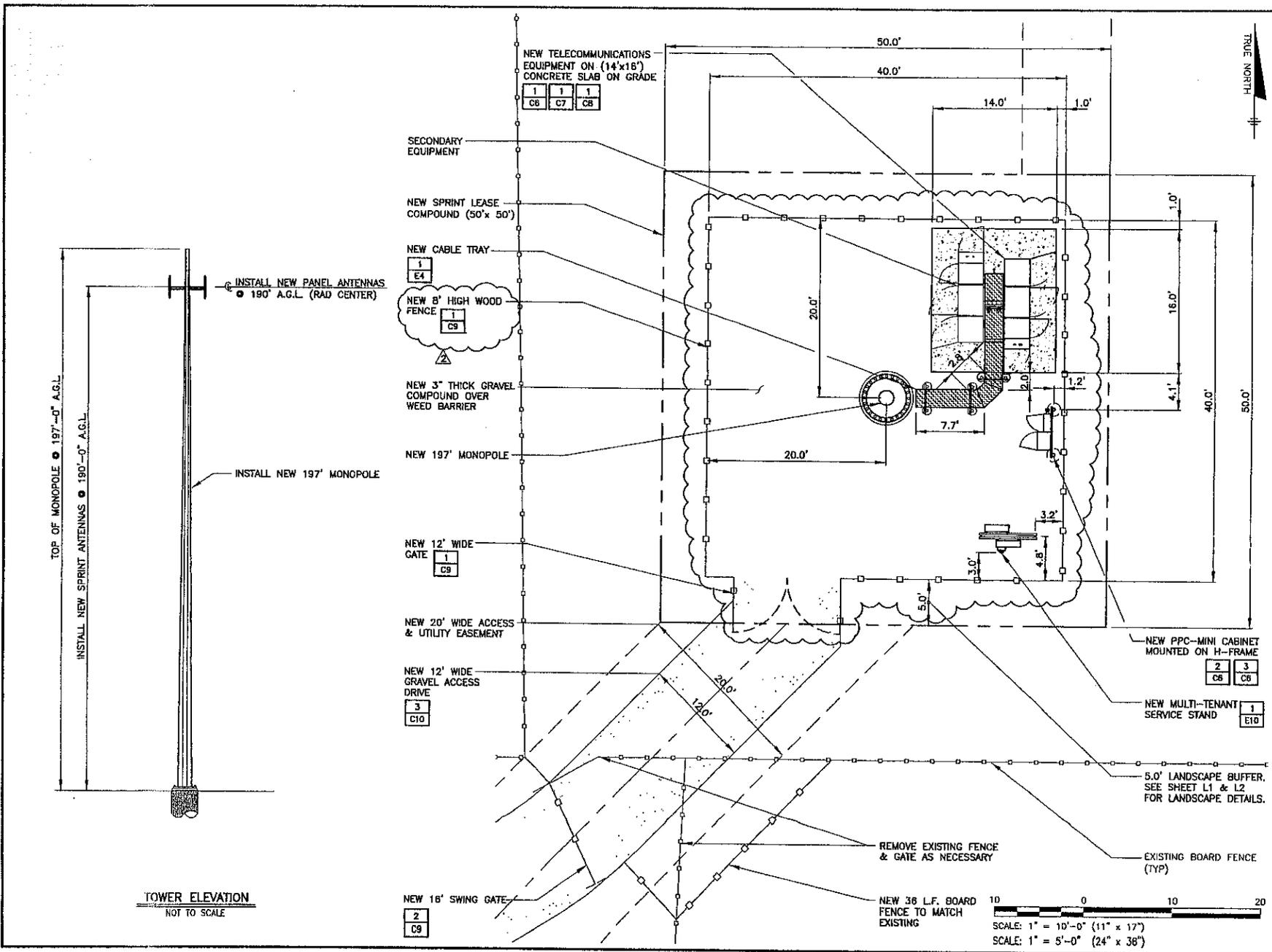
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OR60XC516A  
WHITE STALLION  
1051 VAN ARSDALE STREET  
OVIEDO, FL 32789  
RAW LAND - MONOPOLE

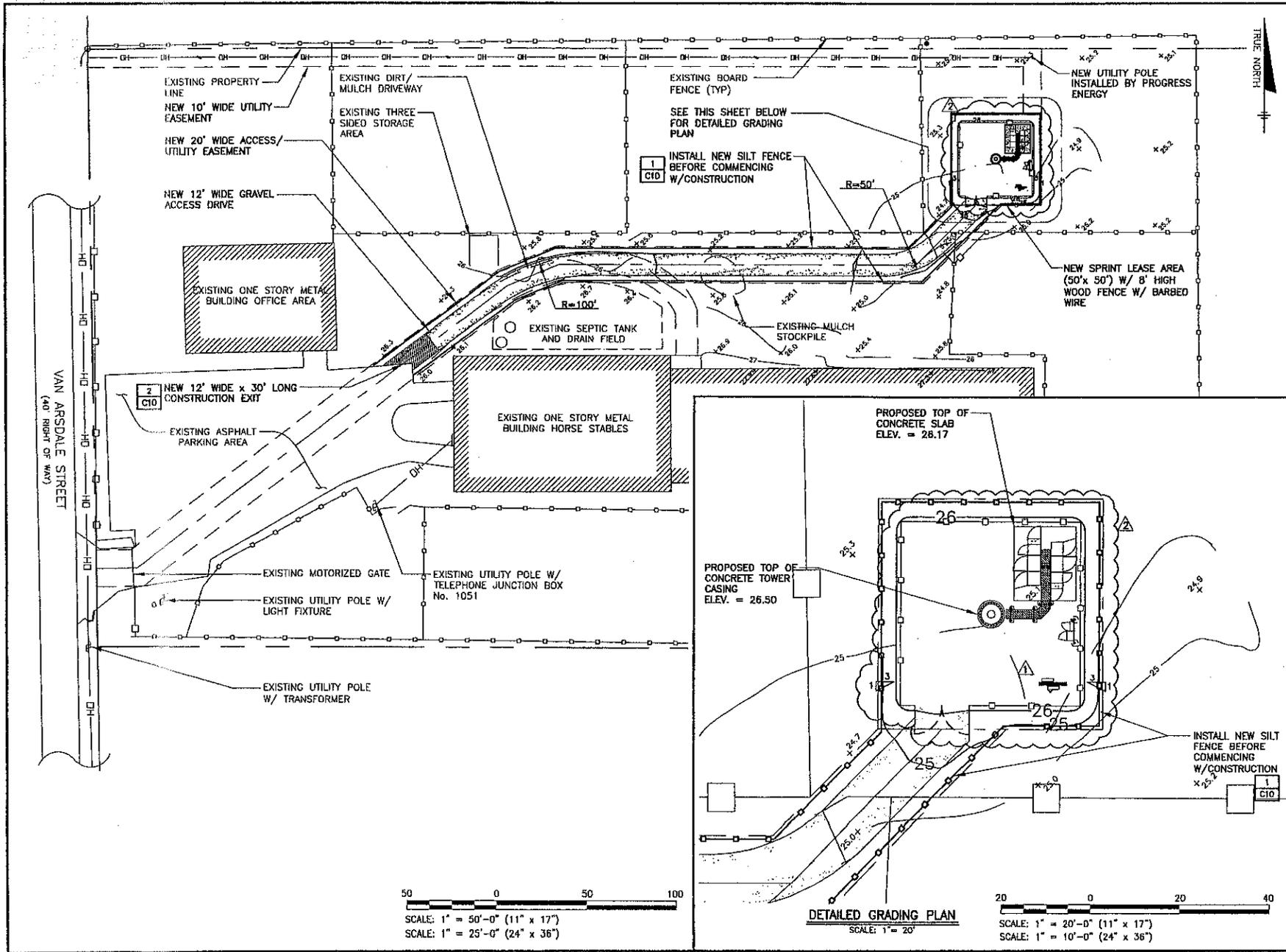
SHEET TITLE  
DETAILED PLAN  
AND  
ELEVATION

SHEET NUMBER

C4



TOWER ELEVATION  
NOT TO SCALE



6580 SPRINT PARKWAY  
OVERLAND PARK, KANSAS 66251

ALCOA Wireless  
Services, Inc.  
485 NORTH KELLER ROAD  
SUITE 100  
WILMINGTON, FL 32791  
OFFICE (407) 541-1745  
FAX (407) 681-1749

PROJECT NO: 1811.516  
DRAWN BY: TJP  
CHECKED BY: JD

| REV | DATE     | DESCRIPTION             |
|-----|----------|-------------------------|
| 2   | 09/20/04 | REVISED FENCE           |
| 1   | 06/22/04 | RELOCATED METER RACK    |
| 0   | 05/24/04 | ISSUED FOR CONSTRUCTION |
| A   | 04/21/04 | ISSUED FOR REVIEW       |

SEP 23 2004

EDMUND J. POLKIN  
FL P.E. #54073

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OR60XC516A  
WHITE STALLION  
1051 VAN ARSDALE STREET  
OVIDO, FL 32789  
RAW LAND - MONOPOLE

SHEET TITLE  
**GRADING PLAN**

SHEET NUMBER  
**C4.1**



6500 SPRINT PARKWAY  
OVERLAND PARK, KANSAS 66251



ALCOA Wireless  
Services, Inc.  
465 NORTH ELLER ROAD  
SUITE 100  
MANTOLONGUE, NJ 07751  
OFFICE (907) 861-1785  
FAX (907) 861-1786

PROJECT NO: 1611.516

DRAWN BY: TJP

CHECKED BY: JD

| REV | DATE     | DESCRIPTION             |
|-----|----------|-------------------------|
| I   | 08/22/04 | REVISED PER COMMENTS    |
| O   | 05/24/04 | ISSUED FOR CONSTRUCTION |
| A   | 04/21/04 | ISSUED FOR REVIEW       |

*Emmanuel Poulin*  
JUN 24 2004

EMMANUEL POULIN  
FL P.E. 184023

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OR60XC516A  
WHITE STALLION  
1051 VAN ARSDALE STREET  
OVIEDO, FL 32789  
RAW LAND - MONOPOLE

SHEET TITLE

ANTENNA DETAILS

SHEET NUMBER

C5

SITE ID: OR60XC516A

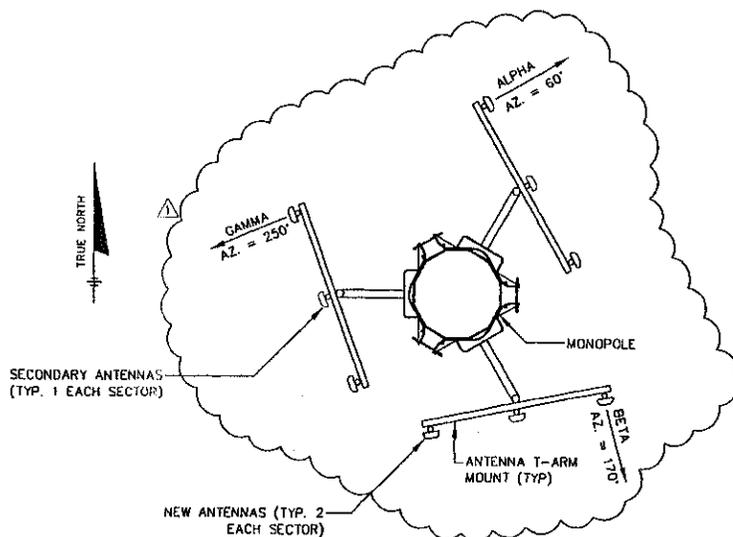
| FROM/TO                          | SECTOR 1 - ALPHA   |                  |                  | SECTOR 2 - BETA   |                  |                  | SECTOR 3 - GAMMA  |              |     | GPS ANTENNA             |                |
|----------------------------------|--|------------------|------------------|---|------------------|------------------|---|--------------|-----|-------------------------|----------------|
|                                  | (2) DECIBEL 950G6SRCE-M<br>AZIMUTH = 60°<br>MECHANICAL DOWNTILT = 0°<br>ELECTRICAL DOWNTILT = 2° |                  |                  | (2) DECIBEL 950G6SRCE-M<br>AZIMUTH = 170°<br>MECHANICAL DOWNTILT = 0°<br>ELECTRICAL DOWNTILT = 2° |                  |                  | (2) DECIBEL 950G6SRCE-M<br>AZIMUTH = 250°<br>MECHANICAL DOWNTILT = 0°<br>ELECTRICAL DOWNTILT = 2° |              |     | COAX CABLE<br>TYPE/SIZE | LENGTH<br>(FT) |
|                                  | COAX CABLE<br>TYPE/SIZE  | LENGTH (FT.)     |                  | COAX CABLE<br>TYPE/SIZE   | LENGTH (FT.)     |                  | COAX CABLE<br>TYPE/SIZE   | LENGTH (FT.) |     |                         |                |
|                                  | POS. 1<br>LINE 1   | POS. 2<br>LINE 2 | POS. 3<br>LINE 1 | POS. 4<br>LINE 2  | POS. 5<br>LINE 1 | POS. 6<br>LINE 2 |   |              |     |                         |                |
| FROM ANTENNA TO MAIN COAX        | 1/2"   | 6                | 6                | 1/2"  | 6                | 6                | 1/2"  | 6            | 6   | N/A                     | N/A            |
| FROM TOP JUMPER TO BOTTOM JUMPER | 1 5/8"   | 230              | 230              | 1 5/8"  | 230              | 230              | 1 5/8"  | 230          | 230 | 1/2"                    | 30             |
| CABLE COLOR CODE                 |  | Y                | Y                | R   | R                | R                |   |              | G   | G                       |                |
|                                  |  | BR               | OR               | BR  | OR               | BR               |   |              | BR  | OR                      |                |
|                                  |  | WH               | WH               | WH  | WH               | WH               |   |              | WH  | WH                      |                |

COAXIAL CABLE SCHEDULE  
NOT TO SCALE

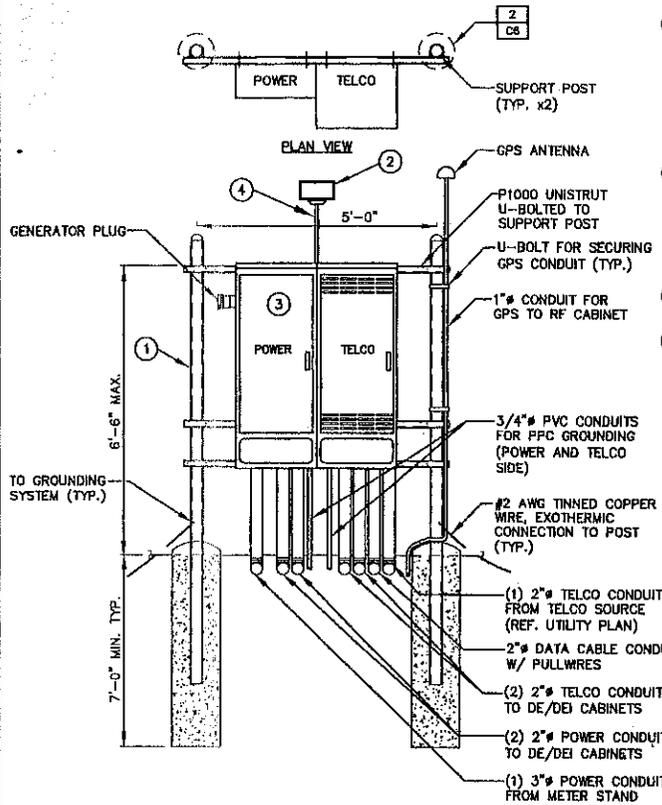
RF DATA OBTAINED FROM  
"RF SITE DESIGN FORM"  
DATED 1/14/04. REVISED RF  
DATA OBTAINED FROM RF  
COMMENTS DATED 4/27/04.

NOTES

1. TYPE AND SIZE OF THE ANTENNA CABLES ARE BASED ON ESTIMATED LENGTH. PRIOR TO ORDERING CABLE, CONTRACTOR TO VERIFY ACTUAL LENGTH BASED ON CONSTRUCTION LAYOUT AND NOTIFY ENGINEER IF ACTUAL LENGTH EXCEEDS ESTIMATED LENGTHS.
2. AS-BUILT DRAWINGS TO BE COMPLETED BY FIELD ENGINEER WITH ACTUAL LENGTHS.
3. AZIMUTHS ARE ORIENTED CLOCKWISE FROM TRUE NORTH.
4. UPON SUCCESSFUL COMPLETION OF THE SWEEP TEST, THE CONTRACTOR SHALL PROVIDE A WEATHERTIGHT SEAL ON THE COAX CABLES.
5. ADD CONNECTORS TO COAX CABLES AT TOP AND BOTTOM.

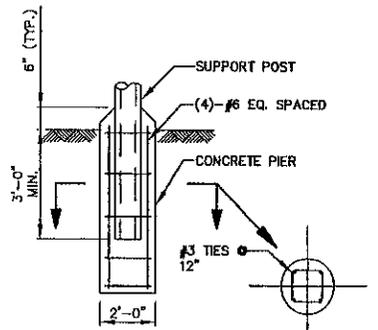


ORIENTATION PLAN  
NOT TO SCALE



**3** PPC RACK DETAIL  
NOT TO SCALE

- NOTES:**
- EQUIPMENT RACK SUPPORT POSTS SHALL BE 3" GALVANIZED STEEL PIPE W/CAP. CROSS MEMBERS SHALL BE UNISTRUT, ANCHORED TO POSTS W/ 3/8" U-BOLTS AND STAINLESS STEEL NUTS AND WASHERS.
  - PROVIDE 500 WATT QUARTZ, 120 VOLT, LITHONIA MODEL #TQ500120LPI12 (OR APPROVED EQUIVALENT). AIM FLOODLIGHT AT EQUIPMENT. LIGHT TO BE OPERATED WITH A MANUAL SWITCH.
  - PROVIDE COMBO LOCKS FOR PPC AND BTS CABINETS.
  - ROUTE 3" CONDUIT W/(2) #12 + (1) #12 G. FROM BREAKER ON PPC-MINI CABINET TO GALVANIZED 90° ELBOW FOR EQUIPMENT LIGHTING. U-BOLT CONDUIT TO UNISTRUT (MIN. 2 PLACES).



**2** SUPPORT POST FOOTING  
NOT TO SCALE

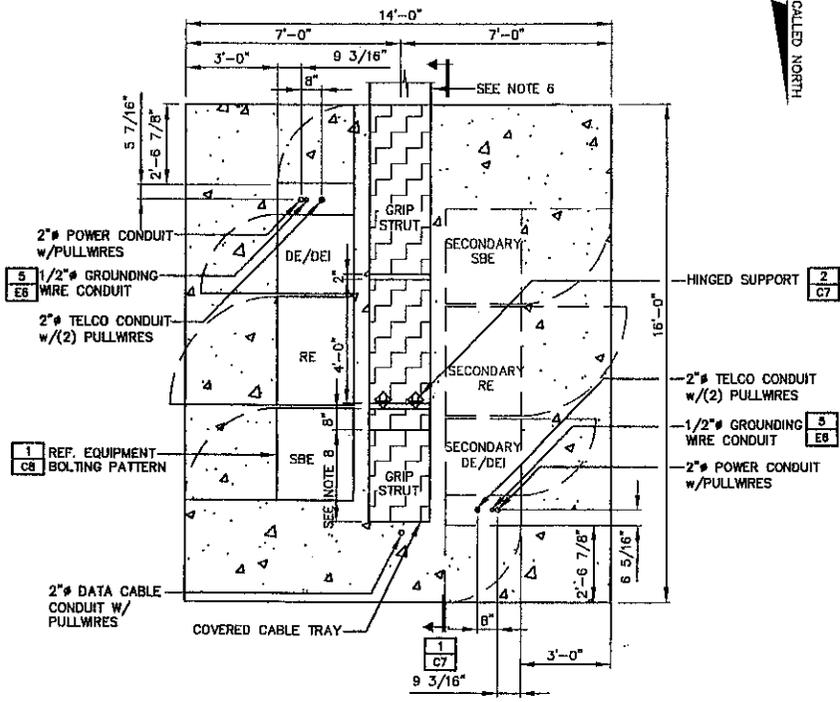
**GENERAL NOTES:**

DIMENSIONS SHOWN ARE APPROXIMATE. EXACT DIMENSIONS MAY BE MODIFIED SLIGHTLY BASED ON EXACT EQUIPMENT OBTAINED, SITE CONDITIONS AND OWNER PREFERENCES.

POWER EQUIPMENT SHALL BE SQUARE D, SIEMENS, CUTLER-HAMMER OR GENERAL ELECTRIC. ALL EQUIPMENT MUST BE OF ONE MANUFACTURER.

UNUSED CONDUITS SHALL BE SEALED TO PREVENT MOISTURE INSIDE CONDUITS. UNUSED CONDUITS SHALL BE SEALED AFTER SERVICES HAVE BEEN RUN (IN METER CENTER, TELCO ENCLOSURE AND CARRIER EQUIPMENT).

NOTE: CONCRETE SLAB SURFACE TO BE BROOM FINISHED. SLAB TO BE LEVEL AND FLAT WITH 1/4"±



**1** EQUIPMENT SLAB  
NOT TO SCALE

- NOTES:**
- FOUNDATIONS SHOWN ARE TO BE USED AS A GUIDELINE ONLY. FOUNDATION SYSTEM SHALL BE COORDINATED WITH ACTUAL SITE CONDITIONS AS TO IMPACT OF EXISTING TOPOGRAPHY, FINISH GRADES AND GEOTEXTILE REQUIREMENTS.
  - FOUNDATIONS HAVE NOT BEEN DESIGNED FOR SEISMIC LOADS. ENGINEER SHALL MODIFY SLAB DESIGN IN LOCATIONS WITH SEISMIC LOADS.
  - REFER TO SITE PLAN FOR SLAB LOCATION AND ORIENTATION.
  - ALL TRAY AND CONDUIT LOCATED ABOVE GRADE ACROSS A WALKING SURFACE SHALL BE MARKED WITH BLACK AND YELLOW HAZARD TAPE.
  - INSTALL CONDUITS AND CUT FLUSH WITH SLAB AND PLUG, TYPICAL FOR FUTURE NORTEL METROCELL EQUIPMENT.
  - TERMINATE COAX CABLE AT RE CABINET OR AS SPECIFIED BY SPRINT CONSTRUCTION MANAGER
  - ADD CONNECTORS TO COAX CABLES AT TOP AND BOTTOM.
  - INSTALL GRIP STRUT & CABLE TRAY TO ADEQUATELY COVER ALL CABLES.



PROJECT NO: 1811.518  
DRAWN BY: TJP  
CHECKED BY: JD

| REV | DATE     | DESCRIPTION             |
|-----|----------|-------------------------|
| D   | 05/24/04 | ISSUED FOR CONSTRUCTION |
| A   | 04/21/04 | ISSUED FOR REVIEW       |

*EMMANUEL POLJAN*  
JUN 24 2004  
E.M. POLJAN  
P.E. 134923

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OR60XC516A  
WHITE STALLION  
1051 VAN ARSDALE STREET  
OWIEDO, FL 32789  
RAW LAND - MONOPOLE

SHEET TITLE  
**SITE DETAILS**

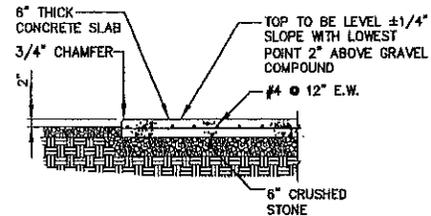
SHEET NUMBER  
**C6**

**CONCRETE NOTES:**

- DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWING APPLICABLE CODES:  
ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS";  
ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- MIX DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL BE NORMAL WEIGHT, WITH A MAXIMUM 4" SLUMP, AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI UNLESS OTHERWISE NOTED.
- MAXIMUM AGGREGATE SIZE SHALL BE 1".
- THE FOLLOWING MATERIALS SHALL BE USED:  
PORTLAND CEMENT: ASTM C 150, TYPE I  
REINFORCEMENT: ASTM A 185  
NORMAL WEIGHT AGGREGATE: ASTM C 33  
WATER: POTABLE  
ADMIXTURES: NON-CHLORIDE CONTAINING
- REINFORCING DETAILS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 315.
- REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, UNO.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:  
CONCRETE CAST AGAINST EARTH.....3 IN.  
CONCRETE EXPOSED TO EARTH OR WEATHER:  
#6 AND LARGER .....2 IN.  
#5 AND SMALLER & WWF .....1 1/2 IN.  
CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND: SLAB AND WALL .....3/4 IN.  
BEAMS AND COLUMNS .....1 1/2 IN.
- A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNO, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
- INSTALLATION OF CONCRETE ANCHORS, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE.

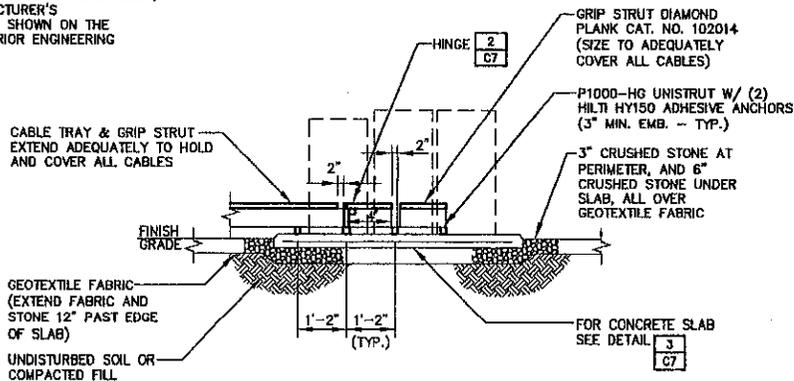
**CONCRETE NOTES: (CONT'D)**

- CURING COMPOUNDS SHALL CONFORM TO ASTM C-309.
- ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN ACI-301.
- DO NOT WELD OR TACKWELD REINFORCING STEEL.
- ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, GROUNDS AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
- LOCATE ADDITIONAL CONSTRUCTION JOINTS REQUIRED TO FACILITATE CONSTRUCTION AS ACCEPTABLE TO ENGINEER. PLACE REINFORCEMENT CONTINUOUSLY THROUGH JOINT.
- REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
- PLACE CONCRETE IN A UNIFORM MANNER TO PREVENT THE FORMATION OF COLD JOINTS AND OTHER PLANES OF WEAKNESS. VIBRATE THE CONCRETE TO FULLY EMBED REINFORCING. DO NOT USE VIBRATORS TO TRANSPORT CONCRETE THROUGH CHUTES OR FORMWORK.
- DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
- DO NOT ALLOW CONCRETE SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD, OR FOR A MINIMUM OF 14 DAYS AFTER PLACEMENT.
- FOR COLD-WEATHER AND HOT-WEATHER CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM, SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 7 DAYS MINIMUM.

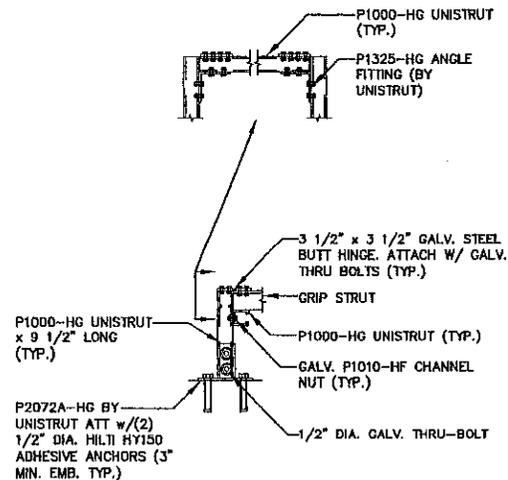


NOTE:  
CONCRETE SHALL BE AIR ENTRAINED WITH THE NEUTRALIZED VINSOL SERIN, DAREX AEA OR SIK AEA. THE AIR ENTRAINED AGENT SHALL COMPLY WITH ASTM C260, LATEST EDITION WITH MINIMUM ENTRAINED AIR OF 3% TO 5%

3 EQUIPMENT PAD/SLAB ON GRADE  
NOT TO SCALE



1 EQUIPMENT SLAB ELEVATION



2 HINGE DETAIL  
NOT TO SCALE



8500 SPRINT PARKWAY  
OVERLAND PARK, KANSAS 66251



ALCOA Wireless  
Services, Inc.  
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|             |          |
|-------------|----------|
| PROJECT NO: | 1611.516 |
| DRAWN BY:   | TJP      |
| CHECKED BY: | JD       |

| REV | DATE     | DESCRIPTION             |
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| 0   | 05/24/04 | ISSUED FOR CONSTRUCTION |
| A   | 04/21/04 | ISSUED FOR REVIEW       |

*Emmanuel Poulin*  
JUN 24 2004

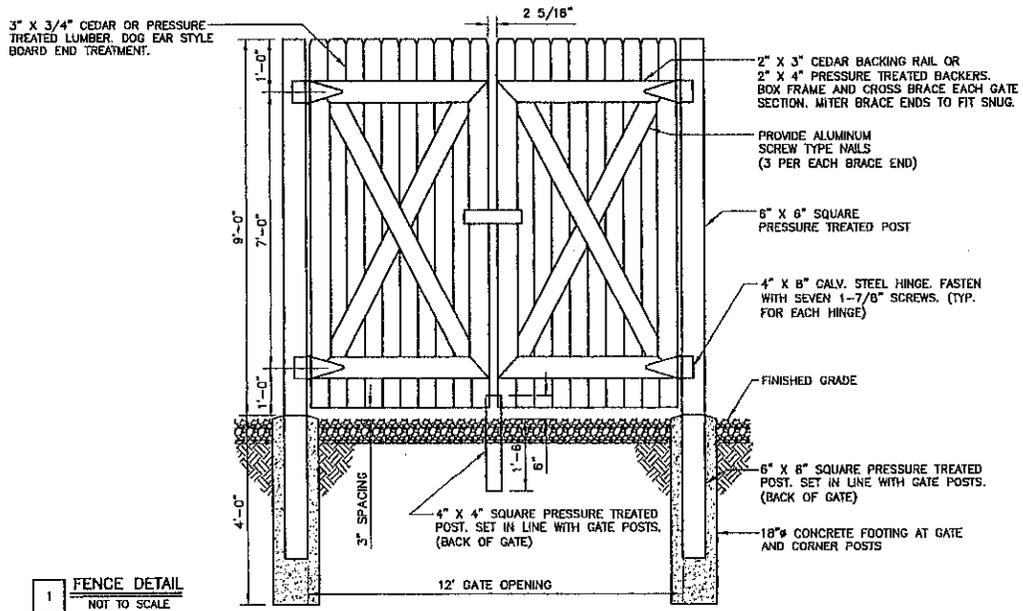
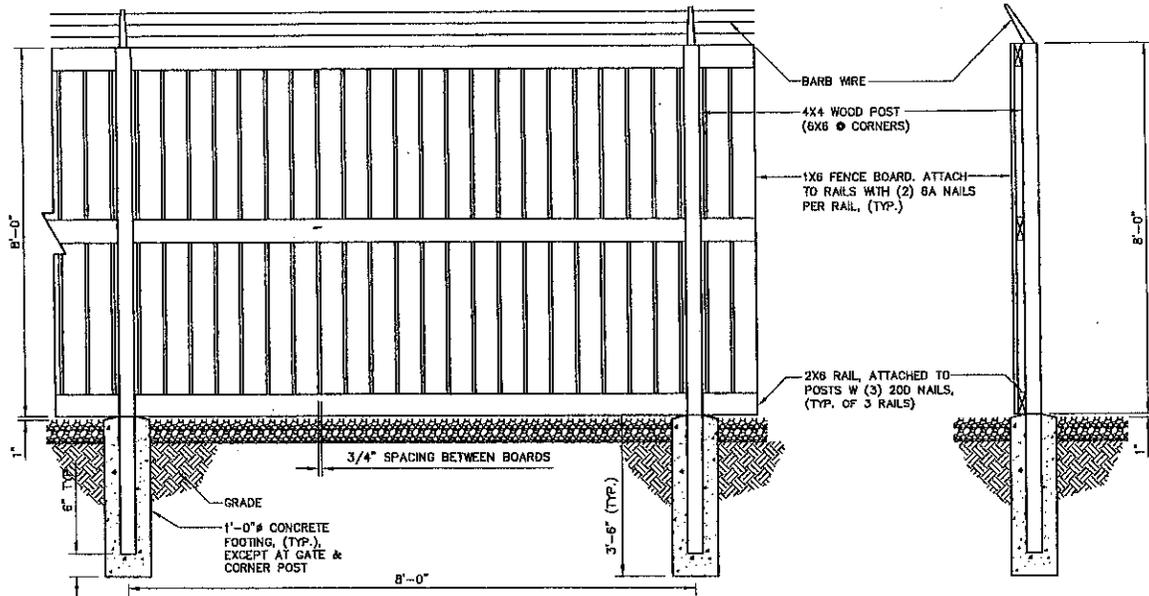
EMMANUEL POULIN  
P.E. 163072  
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WHITE STALLION  
1051 VAN ARSDALE STREET  
OWIEDO, FL 32789  
RAW LAND - MONOPOLE

SHEET TITLE  
SITE DETAILS  
AND  
CONCRETE NOTES

SHEET NUMBER  
C7





1 FENCE DETAIL  
NOT TO SCALE

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6550 SPRINT PARKWAY  
OVERLAND PARK, KANSAS 66251

**ALCOA**  
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PROJECT NO: 1811.516  
DRAWN BY: TJP  
CHECKED BY: JD

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| 1   | 09/20/04 | REVISED FENCE           |
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| A   | 04/21/04 | ISSUED FOR REVIEW       |

*Emmanuel Polun*  
SEP 23 2004  
EMMANUEL POLUN  
P. E. #10223  
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OVIEDO, FL 32789  
RAW LAND - MONOPOLE

SHEET TITLE  
FENCE DETAILS

SHEET NUMBER  
C9



**TEMPORARY STABILIZATION (MULCHING)**

WHEN SEEDING WILL NOT HAVE A SUITABLE GROWING SEASON  
TEMPORARY STABILIZATION MAY BE ACCOMPLISHED WITH:

STRAW OR HAY-2.5 TONS/ACRE WOOD WASTE,  
BARK, SANDUST-2-3" DEEP (APPROX. 6-9  
TONS/ACRE)

**TEMPORARY SEEDING**

| SEEDING SCHEDULE   |                |                   |            |
|--------------------|----------------|-------------------|------------|
| SPECIES            | RATE/1000 S.F. | DATES             | LIME       |
| WINTER RYE         | 1.5 - 2 LBS.   | 9/1-11/1, 3/1-8/1 | 1 TON/ACRE |
| *WEEPING LOVEGRASS | 2 - 3 LBS.     | 3/1 - 8/1         | 1 TON/ACRE |

\*HYDROSEED ON ALL 2:1 (H:V) SLOPES.

| FERTILIZER (LBS./ACRE) |         |           |           |
|------------------------|---------|-----------|-----------|
| SPECIES                | N 2     | P2O2      | K2 O2     |
| WINTER RYE             | 60 - 90 | 120 - 180 | 120 - 180 |
| *WEEPING LOVEGRASS     | 60 - 90 | 120 - 180 | 120 - 180 |

**PERMANENT SEEDING**

| SEEDING SCHEDULE |                |             |            |
|------------------|----------------|-------------|------------|
| SPECIES          | RATE/1000 S.F. | DATES       | LIME       |
| HULLED BERMUDA   | 2 LBS.         | 10/1 - 3/1  | 1 TON/ACRE |
| UNHULLED BERMUDA | 2 LBS.         | 2/15 - 6/15 | 1 TON/ACRE |
| FESCUE           | 5 - 10 LBS.    | 9/1 - 11/1  | 1 TON/ACRE |

| FERTILIZER (LBS./ACRE) |         |           |           |
|------------------------|---------|-----------|-----------|
| SPECIES                | N 2     | P2O2      | K2 O2     |
| HULLED BERMUDA         | 60 - 90 | 120 - 180 | 120 - 180 |
| UNHULLED BERMUDA       | 60 - 90 | 120 - 180 | 120 - 180 |
| FESCUE                 | 60 - 90 | 120 - 180 | 120 - 180 |

**2 STABILIZATION DETAIL**  
NOT TO SCALE

**ACTIVITY SCHEDULE**

| DESCRIPTION                       | WEEK |   |   |   |   |   |
|-----------------------------------|------|---|---|---|---|---|
|                                   | 1    | 2 | 3 | 4 | 5 | 6 |
| SEDIMENT CONTROL--TREE PROTECTION | █    | █ | █ | █ | █ | █ |
| CLEARING, GRUBBING, GRADING,      | █    | █ | █ | █ | █ | █ |
| TEMPORARY GRASSING                |      |   |   |   | █ | █ |
| MAINT. OF EROSION CONTROL DEVICES | █    | █ | █ | █ | █ | █ |
| FINAL SURFACE COURSE              |      |   |   |   | █ | █ |
| DISPOSITION OF SEDIMENT DEVICES   |      |   |   |   |   | █ |
| BUILDING CONSTRUCTION             |      |   | █ | █ | █ | █ |
| CLEARING OF STORM DRAINS          |      |   |   |   |   | █ |
| FINAL LANDSCAPING                 |      |   |   |   |   | █ |

THIS SCHEDULE IS TO BE USED FOR PERMITTING PURPOSES ONLY. REFER TO APPROVED PROJECT SCHEDULE FOR EXACT CONSTRUCTION SEQUENCING.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

**1 ACTIVITY SCHEDULE**  
NOT TO SCALE



6560 SPRINT PARKWAY  
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PROJECT NO: 1611.519  
DRAWN BY: TJP  
CHECKED BY: JB

0 05/24/04 ISSUED FOR CONSTRUCTION  
A 04/21/04 ISSUED FOR REVIEW  
REV DATE DESCRIPTION

*[Signature]*  
JUN 24 2004  
EMMANUEL POULIN  
FL. P.E. 25402  
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1051 VAN ARSDALE STREET  
OVIDO, FL 32789  
RAW LAND - MONOPOLE

SHEET TITLE  
SITE DETAILS

SHEET NUMBER  
C11



6580 SPRINT PARKWAY  
OVERLAND PARK, KANSAS 66251



ALCOA Wiregrass  
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PROJECT NO: 1811.516

DRAWN BY: TJP

CHECKED BY: JD

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*Handwritten signature*  
JUN 8 2004  
SAMUEL POLIN  
FL P.E. #54073

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1051 VAN ARSDALE STREET  
OVIDO, FL 32789  
RAW LAND - MONOPOLE

SHEET TITLE  
LANDSCAPE DETAILS

SHEET NUMBER  
L2

LANDSCAPE NOTES

A. PROJECT INCLUDES

- FURNISH, INSTALL, AND MAINTAIN LANDSCAPE WORK AS SHOWN ON THESE CONTRACT DRAWINGS OR AS IDENTIFIED HEREIN.

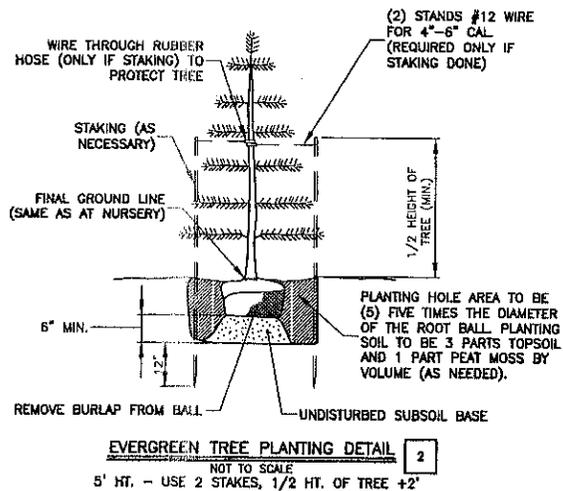
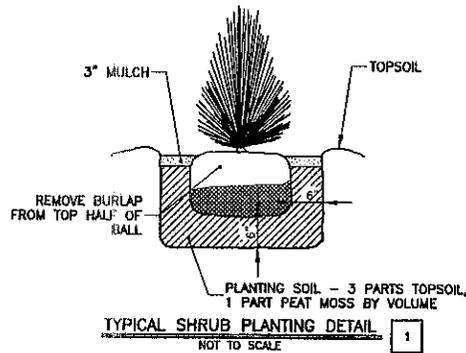
- TREES, SHRUBS, AND GROUND COVER.
- LAWNS.
- TOPSOIL AND SOIL AMENDMENTS.
- INITIAL MAINTENANCE OF INSTALLED LANDSCAPE MATERIALS.
- PRUNING AND RELOCATION OF EXISTING PLANT MATERIALS.
- RECONDITIONING EXISTING LAWNS AFFECTED BY CONSTRUCTION ACTIVITIES.

B. QUALITY ASSURANCE

- PLANTS AND TREES: BALLED AND BURLAPED PLANTS AND TREES SHALL BE GRADED TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1.
- TESTING: LABORATORY TESTING OF EXISTING SOILS AND FILL MATERIALS FOR SUITABLE SOIL AMENDMENTS AND FERTILIZER SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL PREPARE THE SURFACE OF DISTURBED AREAS PRIOR TO SEEDING.
- FERTILIZER AND SEED SHALL BE APPLIED AT UNIFORM RATES AS DETERMINED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.
- CONTRACTOR SHALL WATER SEEDED AREAS AS OFTEN AS REQUIRED TO OBTAIN GERMINATION AND TO OBTAIN AND MAINTAIN SATISFACTORY GROWTH.
- THE STAND OF VEGETATIVE COVER RESULTING FROM SEEDING SHALL NOT BE CONSIDERED SATISFACTORY UNTIL ACCEPTED BY THE ENGINEER. IF AREAS ARE DETERMINED TO BE UNACCEPTABLE, THE MULCH WILL BE REMOVED AND ALL AREAS SHALL BE RESEED, REFERTILIZED AND REMULCHED PER RECOMMENDED APPLICATION PROCEDURES AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL BEGIN MAINTENANCE PERIOD IMMEDIATELY AFTER PLANTING OF VEGETATIVE COVER.
- THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER AREA, FOR THE PERIODS REQUIRED TO ESTABLISH AN ACCEPTABLE GROWTH, BUT NOT LESS THAN 60 DAYS AFTER THE COMPLETION OF PLANTING OF VEGETATIVE COVER. IF SEEDING IN THE FALL AND NOT GIVEN A FULL 60 DAYS OF MAINTENANCE, OR IF NOT CONSIDERED ACCEPTABLE BY THE ENGINEER AT THAT TIME, CONTINUE MAINTENANCE DURING THE FOLLOWING SPRING UNTIL ACCEPTABLE VEGETATIVE COVER STAND IS ESTABLISHED.

C. PRODUCTS

- PLANT MATERIALS SHALL BE AS SHOWN ON THESE CONTRACT DRAWINGS AND MAY BE ANY COMBINATION OF THE FOLLOWING:
  - DECIDUOUS TREES.
  - DECIDUOUS SHRUBS.
  - CONIFEROUS AND BROAD LEAFED EVERGREEN TREES AND SHRUBS.
  - GROUND COVER.
  - PLANTS.
- LAWNS: LAWN MAY BE ANY OF THE FOLLOWING, AS APPROVED BY THE ENGINEER: SEED; NEW CROP SEED MIXTURE; SOD, STRONGLY ROOTED, 2 YEARS OLD; OR SOD PLUGS AND SPRIGS.
- TOPSOIL: FERTILE, FRIABLE TOPSOIL FROM OFFSITE, OR FROM SITE STOCKPILE WITH ADDITIONAL MIXED-IN FERTILE, FRIABLE TOPSOIL FROM LOCAL SUPPLIERS OF TOPSOIL.
- SOIL AMENDMENTS: THE SOIL AMENDMENTS MAY BE ANY OF THE FOLLOWING, AS REQUIRED OR INDICATED IN THE LABORATORY TESTING REPORTS.
  - LIME: DOLOMITIC LIMESTONE.
  - ALUMINUM SULFATE: COMMERCIAL GRADE.
  - PEAT HUMUS: FINELY DIVIDED PEAT.
  - SUPERPHOSPHATE: 20 PERCENT AVAILABLE PHOSPHORIC ACID.
  - SAND: CLEAN, WASHED SAND.
  - PERLITE: NBS PS 23.
  - SAWDUST: ROTTED SAWDUST FREE OF CHIPS AND STONES.
  - MANURE: ROTTED STABLE MANURE.
  - COMMERCIAL FERTILIZER: NEUTRAL CHARACTER FOR PLANT MATERIALS AND LAWNS.
  - MULCH: SHREDDED HARDWOOD MULCH.
- LANDSCAPE MATERIALS: THE LANDSCAPE MATERIALS MAY BE ANY OF THE FOLLOWING, AS SHOWN ON THESE CONTRACT DRAWINGS.
  - GRAVEL: WATER-WORN GRAVEL.
  - ANTI-EROSION MULCH: SEED-FREE SALT HAY OR THRESHED STRAW.
  - ANTI-DESICCANT: EMULSION TYPE, FILM-FORMING.
  - PLASTIC SHEET: BLACK POLYETHYLENE, 6 MILS.
  - FILTRATION FABRIC: WATER PERMEABLE FIBERGLASS OR POLYPROPYLENE FABRIC.
  - WRAPPING: TREE-WRAP TAPE.
  - STAKES AND GUYS: NEW HARDWOOD, TREATED SOFTWOOD, OR REDWOOD.
  - METAL EDGING: COMMERCIAL STEEL EDGING.
  - WOOD HEADERS AND EDGING: ALL HEART REDWOOD OR PRESSURE TREATED SOUTHERN YELLOW PINE.



**INCOMING POWER AND TELEPHONE SERVICE NOTES:**

1. THE LOCATION SHOWN FOR THE UTILITY POLE, CONNECTION TO EXISTING UTILITIES AND INCOMING POWER AND TELEPHONE SERVICES IS FOR CONCEPTUAL USE ONLY. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION WITH THE ELECTRIC AND TELEPHONE UTILITIES AND SPRINT.
2. THE CONTRACTOR IS RESPONSIBLE FOR MAKING ARRANGEMENTS WITH THE ELECTRIC AND TELEPHONE UTILITIES RELATIVE TO A TIMELY INSTALLATION OF THE INCOMING POWER AND TELEPHONE SERVICES. SPRINT WILL OBTAIN AN ELECTRIC SERVICE ORDER (ESO) FOR THIS SITE PRIOR TO THE CONTRACTOR INITIATING ANY WORK ON-SITE.
3. THE INCOMING ELECTRIC SERVICE SHALL BE INSPECTED BY THE AUTHORITY HAVING JURISDICTION AND A CERTIFICATE OF SUCH INSPECTION SHALL BE FURNISHED TO SPRINT WITH A COPY FORWARDED TO THAT UTILITY.
4. ANY UTILITY CHARGES ASSOCIATED WITH THIS SITE SHALL BE PAID BY SPRINT AND NO CHARGES, THEREFORE SHALL ACCRUE TO THE CONTRACTOR.
5. FOR INCOMING UNDERGROUND TELEPHONE SERVICE, THE CONTRACTOR SHALL INSTALL THE CONDUIT INCLUDING PULLWIRES BETWEEN UTILITY POLE (OR PEDESTAL, WHERE APPLICABLE) AND POWER PROTECTION CABINET (PPC), AT THE PROPOSED UTILITY POLE EXTEND TELEPHONE CONDUIT UP POLE APPROXIMATELY 1'-0" AND SEAL.
6. COORDINATE METER SOCKET REQUIREMENTS WITH SPRINT AND ELECTRIC UTILITY.
7. INCOMING ELECTRIC SERVICES SHALL BE IN CONFORMANCE WITH THE UTILITIES STANDARDS (LATEST EDITION).
8. THIS SITE INCLUDES EXISTING CRITICAL UNDERGROUND ELECTRIC, TELEPHONE AND OTHER SERVICES IN THE VICINITY OF THE NEW UNDERGROUND SERVICES AND EQUIPMENT SUPPORTS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID SERVICE DISRUPTION TO THESE FACILITIES. THE CONTRACTOR SHALL ALSO CONTACT ELECTRIC AND TELEPHONE, AND ALL OTHER APPROPRIATE AGENCIES PRIOR TO EXCAVATION AT THIS SITE. ALL EXCAVATION IN THE IMMEDIATE VICINITY OF EXISTING UTILITY POLE SHALL BE PERFORMED BY HAND.
9. ALL UNDERGROUND CONDUIT TO BE PVC AND ALL ABOVE GRADE CONDUIT TO BE RGS. SEE DETAILS 2 AND 3 ON DRAWING E9 FOR CONVERSION FROM PVC TO RGS.

**ELECTRICAL SYMBOLS**

- ⊕ CHEMICAL GROUND ROD
- ⊗ GROUND ROD
- CADWELD TYPE CONNECTION
- COMPRESSION TYPE CONNECTION
- ⏏ DISCONNECT BREAKER SWITCH
- Ⓜ METER
- ⏏ CIRCUIT BREAKER
- Ⓜ GEN GENERATOR
- Ⓜ GENERATOR RECEPTACLE
- GROUNDING WIRE

- X REPRESENTS DETAIL NUMBER
- XXX REF. DRAWING NUMBER

**ABBREVIATIONS**

- AHJ AUTHORITY HAVING JURISDICTION
- AWG AMERICAN WIRE GAUGE
- BCW BARE COPPER WIRE
- BTS BASE TRANSMISSION SYSTEM
- CIGBE COAX ISOLATED GROUND BAR EXTERNAL
- DE/DEI DIGITAL ENCLOSURE/DIGITAL ENCLOSURE INTERFACE
- DIA DIAMETER
- DWG DRAWING
- EMT ELECTRICAL METALLIC TUBING
- GEN GENERATOR
- GPS GLOBAL POSITIONING SYSTEM
- I WALKING BEAM INTERLOCK
- IGR INTERIOR GROUND RING (HALO)
- MIGB MASTER ISOLATED GROUND BAR
- NEC NATIONAL ELECTRIC CODE
- PCS PERSONAL COMMUNICATION SYSTEM
- PPC POWER PROTECTION CABINET (SOMETIMES REFERED TO AS A PPC-MINI)
- PVC POLY VINYL CHLORIDE
- RE RADIO ENCLOSURE
- RGS RIGID GALVANIZED STEEL
- RWY RACEWAY
- SBE SIMPLIFIED BATTERY ENCLOSURE
- SCI SPRINT COMMUNICATIONS INCORPORATED
- SS STAINLESS STEEL
- SSLP SPRINT SPECTRUM LIMITED PARTNERSHIP
- THWN THERMAL HEAT WATER NYLON
- TYP. TYPICAL
- ⌀ DIAMETER OF CONDUIT

**SYMBOLS & ABBREVIATIONS**

NOT TO SCALE



8580 SPRINT PARKWAY  
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PROJECT NO: 1811.518  
DRAWN BY: TAP  
CHECKED BY: JD

| REV | DATE     | DESCRIPTION             |
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| 0   | 05/24/04 | ISSUED FOR CONSTRUCTION |
| A   | 04/21/04 | ISSUED FOR REVIEW       |

*Warren Henson*  
9.22.04

WARREN HENSON  
P.E. ENGINEER  
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OR80XCS18A  
WHITE STALLION  
1051 VAN ARSDALE STREET  
OWIEDO, FL 32789  
RAW LAND - MONOPOLE

SHEET TITLE  
UTILITY NOTES  
AND  
SYMBOLS

SHEET NUMBER  
E1

MATCH LINE "A"

DETAIL REFERENCE

KEY

DESCRIPTION

|    |    |    |    |
|----|----|----|----|
| 4  | 5  | 1  | 2  |
| ES | ES | E7 | E7 |

①

ROUTE POWER CONDUIT FROM PPC-MINI CABINET TO DE/DEI CABINET  
(1) 2" PVC w/(3) #2 + #8G.

|    |    |    |    |
|----|----|----|----|
| 4  | 5  | 1  | 2  |
| ES | ES | E7 | E7 |

②

ROUTE TELCO CONDUIT FROM PPC-MINI CABINET TO DE/DEI CABINET  
(1) 2" PVC w/(2) PULLSTRINGS

|    |    |    |
|----|----|----|
| 4  | 5  | 2  |
| ES | ES | E9 |

③

ROUTE POWER & TELCO CONDUITS FOR SECONDARY EQUIPMENT. STUB-UP, CUT FLUSH WITH TOP OF SLAB, PLUG AND LABEL CONDUITS  
(2) 2" w/(2) PULLSTRINGS PER CONDUIT

④

LABEL AS "SPRINT" EQUIPMENT

CALLEE NORTH



5580 SPRINT PARKWAY  
OVERLAND PARK, KANSAS 66251



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Services, Inc.  
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PROJECT NO: 1611.010

DRAWN BY: TJP

CHECKED BY: JD

| REV | DATE     | DESCRIPTION             |
|-----|----------|-------------------------|
| 1   | 06/22/04 | RELOCATE METER RACK     |
| 0   | 05/24/04 | ISSUED FOR CONSTRUCTION |
| A   | 04/21/04 | ISSUED FOR REVIEW       |

*W.H. Henson*  
9.22.04

WARREN HENSON  
C.E. #11883

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OR60XC516A  
WHITE STALLION  
1051 VAN ARSDALE STREET  
OVIEDO, FL 32789  
RAW LAND - MONOPOLE

SHEET TITLE

UTILITY PLAN

SHEET NUMBER

E2

NEW TELECOMMUNICATIONS EQUIPMENT ON (14'x16') CONCRETE SLAB ON GRADE

SECONDARY EQUIPMENT

(1) NEW UNDERGROUND 2" PVC CONDUIT W/ PULLSTRING FOR ANTENNA DATA CABLE FROM STUB-UP TO PPC-MINI CABINET

NEW CABLE TRAY  
1  
E4

NEW 197' MONOPOLE

NEW ANTENNA DATA CABLES TO RUN ALONG CABLE TRAY FROM PPC-MINI CABINET TO ANTENNA

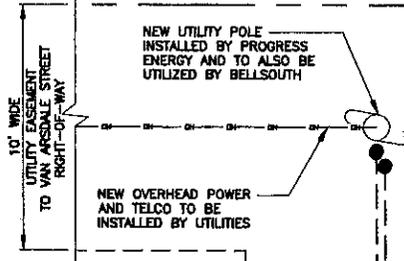
NEW UNDERGROUND 2" PVC TELCO CONDUIT W/PULLSTRING FROM PPC-MINI CABINET TO NEW MULTI-TENANT SERVICE STAND.  
4 5 2  
ES ES E9

NEW UNDERGROUND 3" PVC POWER CONDUIT W/CONDUCTORS FROM PPC-MINI CABINET TO NEW METER AT MULTI-TENANT SERVICE STAND.  
4 5 2  
ES ES E9

NEW MULTI-TENANT SERVICE STAND  
1  
E10

NOTE:

PROGRESS ENERGY TO INSTALL ADDITIONAL UTILITY POLES, AS REQUIRED, AND RUN OVERHEAD POWER THE LENGTH OF 10' WIDE UTILITY EASEMENT TO VAN ARSDALE STREET RIGHT-OF-WAY. BELLSOUTH TO ALSO UTILIZE EASEMENT AND POLES FOR OVERHEAD TELCO.



NEW PPC-MINI CABINET MOUNTED TO H-FRAME  
1 2  
E7 E7

NEW UNDERGROUND 2" PVC TELCO CONDUIT W/PULLSTRING FROM MULTI-TENANT SERVICE STAND TO NEW SERVICE POLE W/ WEATHERHEAD. STUB-UP, CAP & LABEL AS "TELCO"  
4 5 2  
ES ES E9

NEW UNDERGROUND 3" PVC POWER CONDUIT W/CONDUCTORS FROM MULTI-TENANT SERVICE STAND TO NEW SERVICE POLE. STUB-UP, CAP & LABEL AS "POWER"  
4 5 2  
ES ES E9

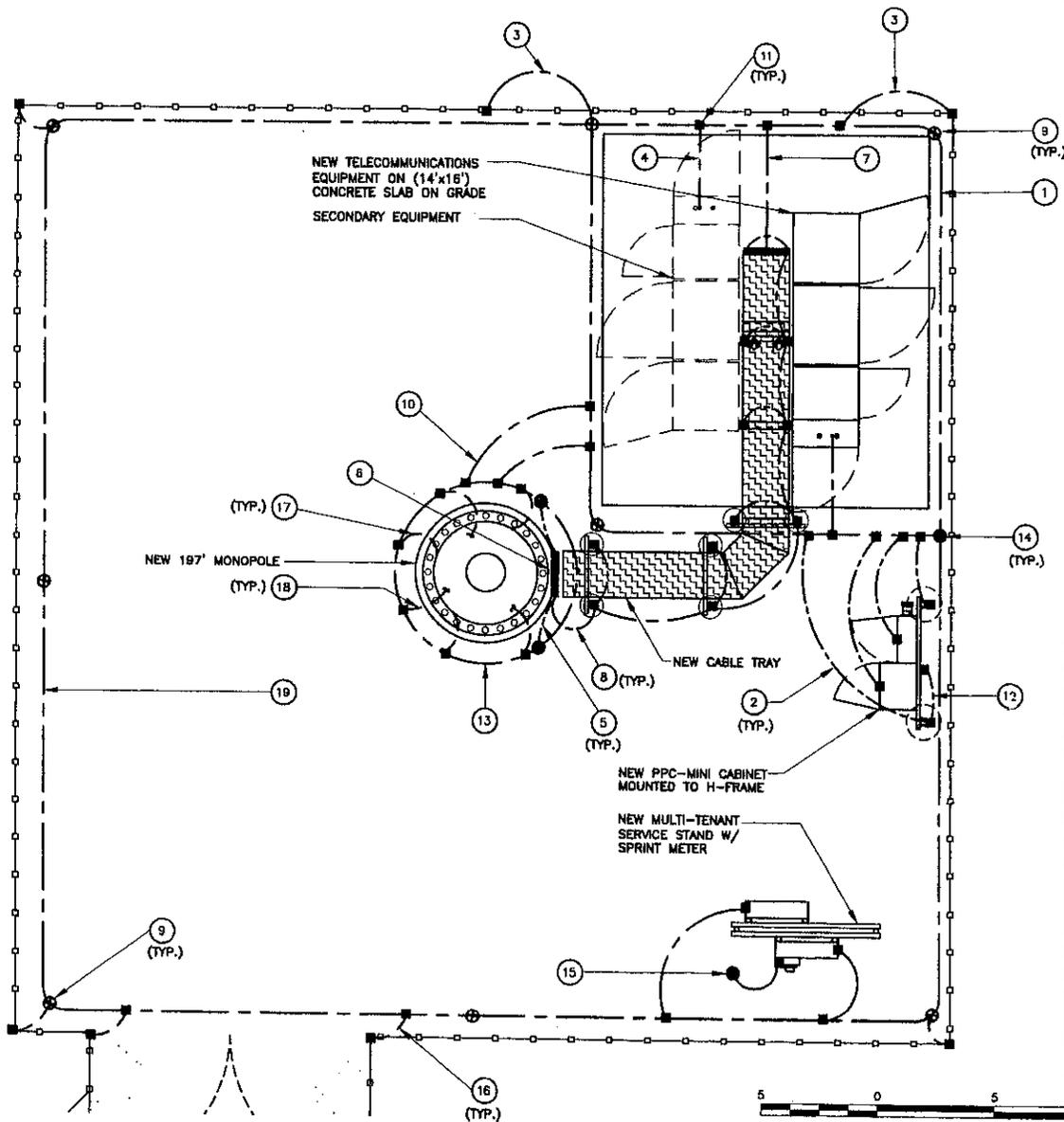
10.0' UTILITY EASEMENT

MATCH LINE "A"

5 0 5 10  
SCALE: 1" = 5'-0" (11" x 17")  
SCALE: 1" = 2.5' (24" x 36")

**DETAIL REF. GROUNDING KEY**

- 1 #2 AWG SOLID TINNED BCW GROUND RING AROUND EQUIPMENT AT A DEPTH OF 30"
- 2 BOND TO MINI-PPC CABINET & SUPPORT FRAME (TYP. x 3)
- 3 BOND TO FENCE POSTS
- 4 #2 AWG BOND MIBG ON BTS EQUIPMENT TO GROUND RING WITH ONE LEAD EACH. ROUTE 1/2" PVC UP THRU SLAB.
- 5 BOND LOWER CIGBE TO TOWER GROUND RING
- 6 LOWER CIGBE
- 7 #2 AWG BOND GROUND BAR ON CABLE TRAY TO EQUIPMENT GROUND RING
- 8 CABLE TRAY GROUNDING (TYP.)
- 9 COPPER GROUND ROD (TYP.)
- 10 BOND EQUIPMENT GROUND RING TO TOWER GROUND RING (2 PLACES)
- 11 CADWELD CONNECTION
- 12 ROUTE GROUND LEAD THROUGH 1/2" PVC CONDUIT FROM EQUIPMENT GROUND RING TO 3" GALVANIZED CONDUIT FOR EQUIPMENT LIGHTING ASSEMBLY ON PPC-MINI
- 13 #2 AWG SOLID TINNED BCW TOWER GROUND RING.
- 14 GROUND ROD WITH INSPECTION WELL
- 15 SERVICE ENTRANCE GROUND ROD
- 16 BOND TO NEW GATES & FENCE POSTS
- 17 BOND TO REBAR IN TOWER FOUNDATION (TYP. x 3)
- 18 BOND TOWER TO TOWER GROUND RING (TYP. x 3)
- 19 #2 AWG SOLID TINNED BCW GROUND RING AROUND COMPOUND AT A DEPTH OF 30"



CALLED NORTH



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PROJECT NO: 1811.016  
DRAWN BY: TJP  
CHECKED BY: JD

| REV. | DATE     | DESCRIPTION             |
|------|----------|-------------------------|
| 2    | 7/28/04  | REVISED GROUNDING       |
| 1    | 06/22/04 | RELOCATED METER RACK    |
| 0    | 05/24/04 | ISSUED FOR CONSTRUCTION |
| A    | 04/21/04 | ISSUED FOR REVIEW       |

*Warren Henson*  
9.22.04

WARREN HENSON  
P.E. #21884

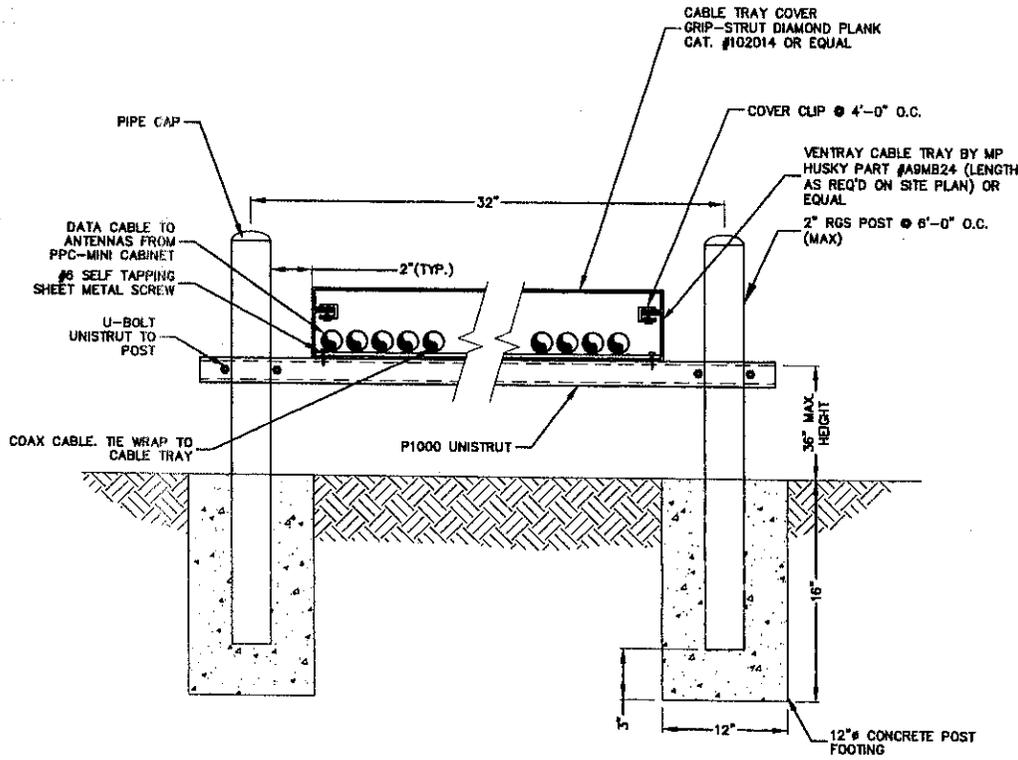
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OR60XC518A  
WHITE STALLION  
1051 VAN ARSDALE STREET  
DVEDO, FL 32789  
RAW LAND - MONOPOLE

SHEET TITLE  
**GROUNDING PLAN**

SHEET NUMBER  
**E3**

5 0 5 10  
SCALE: 1" = 5' (11" x 17")  
SCALE: 1" = 2.5' (24" x 36")



**1** CABLE TRAY MOUNTING DETAIL  
NOT TO SCALE

**ANTENNA CABLE AND ACCESSORY NOTES AND REQUIREMENTS:**

1. GENERAL: PROVIDE ALL LABOR, EQUIPMENT, AND MATERIALS NECESSARY FOR RECEIVING, INSTALLING, TESTING, AND ADJUSTING ANTENNA CABLES FROM THE ANTENNA TO THE CONNECTIONS AT THE BASE TRANSMISSION SYSTEM (BTS). THIS SHALL INCLUDE ALL EQUIPMENT SHOWN OR REQUIRED FOR A COMPLETE OPERATING SYSTEM. ANTENNA, ANTENNA CABLES, CONNECTORS, AND FITTING SHALL BE THIRD PARTY FURNISHED COMPONENTS AS SHOWN ON THE BILL OF MATERIALS.

2. MATERIALS

- A. ANTENNA CABLES: AS SCHEDULED
- B. ANTENNA CONNECTORS: AS SCHEDULED
- C. CABLE HANGERS: INSTALLED AT MAXIMUM 4' SPACING
- D. GROUNDING KITS - AS SPECIFIED

3. INSTALLATION

- A. ANTENNA CABLE LENGTHS SHALL BE FIELD MEASURED. INSTALLER SHALL NOTIFY SPRINT PRIOR TO PURCHASE OF CABLE OF THE OVERALL LENGTH REQUIRED.
- B. CABLES SHALL BE LABELED IN ACCORDANCE WITH SPRINT ELECTRICAL MATERIALS AND METHODS SPECIFICATIONS.
- C. ALL CABLE CONNECTIONS OUTSIDE SHALL BE COVERED WITH WEATHERPROOFING TAPE.
- D. THE MINIMUM BENDING RADIUS FOR ALL ANTENNA CABLES SHALL BE AS SHOWN BELOW OR PER THE MANUFACTURER, WHICHEVER IS MORE CONSERVATIVE:

| CABLE  | IN AIR OR CABLE TRAY | IN CONDUIT |
|--------|----------------------|------------|
| 1/2"   | 5"                   | 10"        |
| 7/8"   | 10"                  | 18"        |
| 1-5/8" | 20"                  | 28"        |

E. CABLES SHALL BE INSTALLED WITH THE MINIMUM NUMBER OF BENDS. CABLE SHALL NOT BE LEFT UNTERMINATED IN THE FIELD.

F. GROUNDING KITS - AFTER INSTALLATION OF GROUND STRAPS, THE CONNECTIONS SHALL BE MADE WEATHER TIGHT USING WEATHERPROOF KITS AS IDENTIFIED ABOVE. GROUND PIGTAILS SHALL BE BROUGHT OUT IN THE DOWNWARD DIRECTION FROM THE CONNECTION TO THE ANTENNA CABLE WITHOUT ANY SHARP BENDS (MINIMUM RADIUS 10") AND CONNECTION SHALL BE MADE TO GROUNDING SYSTEM.



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PROJECT NO: 1611.518  
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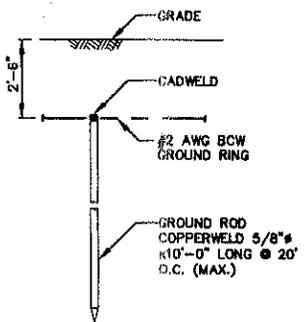
*Warren Henson*  
9.22.04

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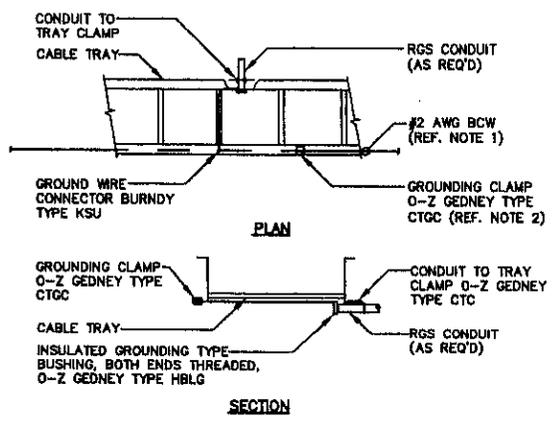
OR60XCS16A  
WHITE STALLION  
1051 VAN ARSDALE STREET  
OVIEDO, FL 32789  
RAW LAND - MONOPOLE

SHEET TITLE  
ELECTRICAL DETAILS

SHEET NUMBER  
E4

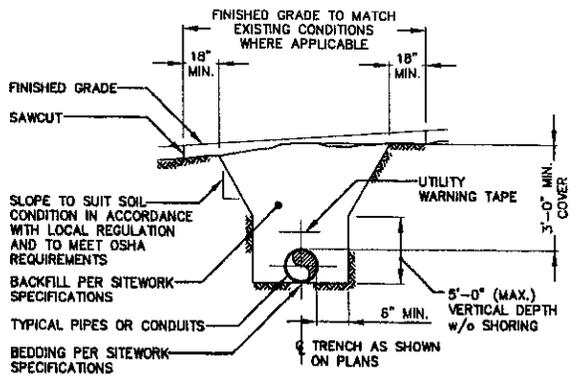


**1** COPPER-CLAD STEEL GROUND ROD  
NOT TO SCALE

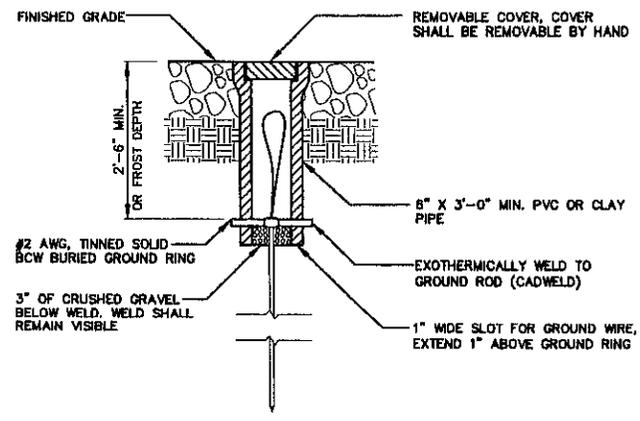


- NOTES:**
- GROUND WIRE CONNECTED TO GROUND RING.
  - TYPICAL FOR EACH SECTION OF TRAY.
  - REFER TO GROUNDING DETAIL **1** **EG** FOR ADDITIONAL GROUNDING.

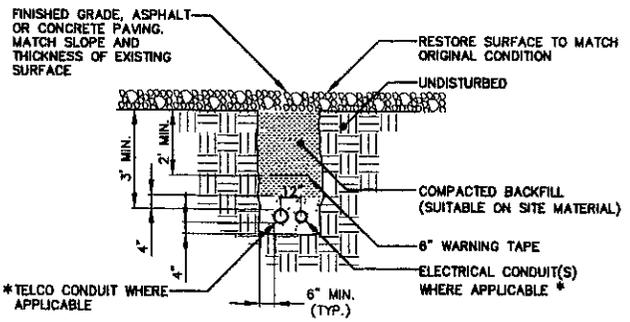
**2** TRAY GROUNDING & RGS CONDUIT RUN  
NOT TO SCALE



**4** TYPICAL TRENCH  
NOT TO SCALE



**3** GROUND INSPECTION TEST WELL  
NOT TO SCALE



- NOTES:**
- PROVIDE PVC CONDUIT BELOW GRADE EXCEPT AS NOTED BELOW.
  - PROVIDE RGS CONDUIT AND ELBOWS AT STUB UP LOCATIONS (i.e. SERVICE POLE, BTS EQUIPMENT, ETC.).
  - INSTALL UTILITY PULLBOXES PER NEC.

**5** UNDERGROUND CONDUIT(S) ELECTRIC/TELEPHONE  
NOT TO SCALE



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|             |          |
|-------------|----------|
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| DRAWN BY:   | TJP      |
| CHECKED BY: | JD       |

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*Warren McVish*  
9.22.04

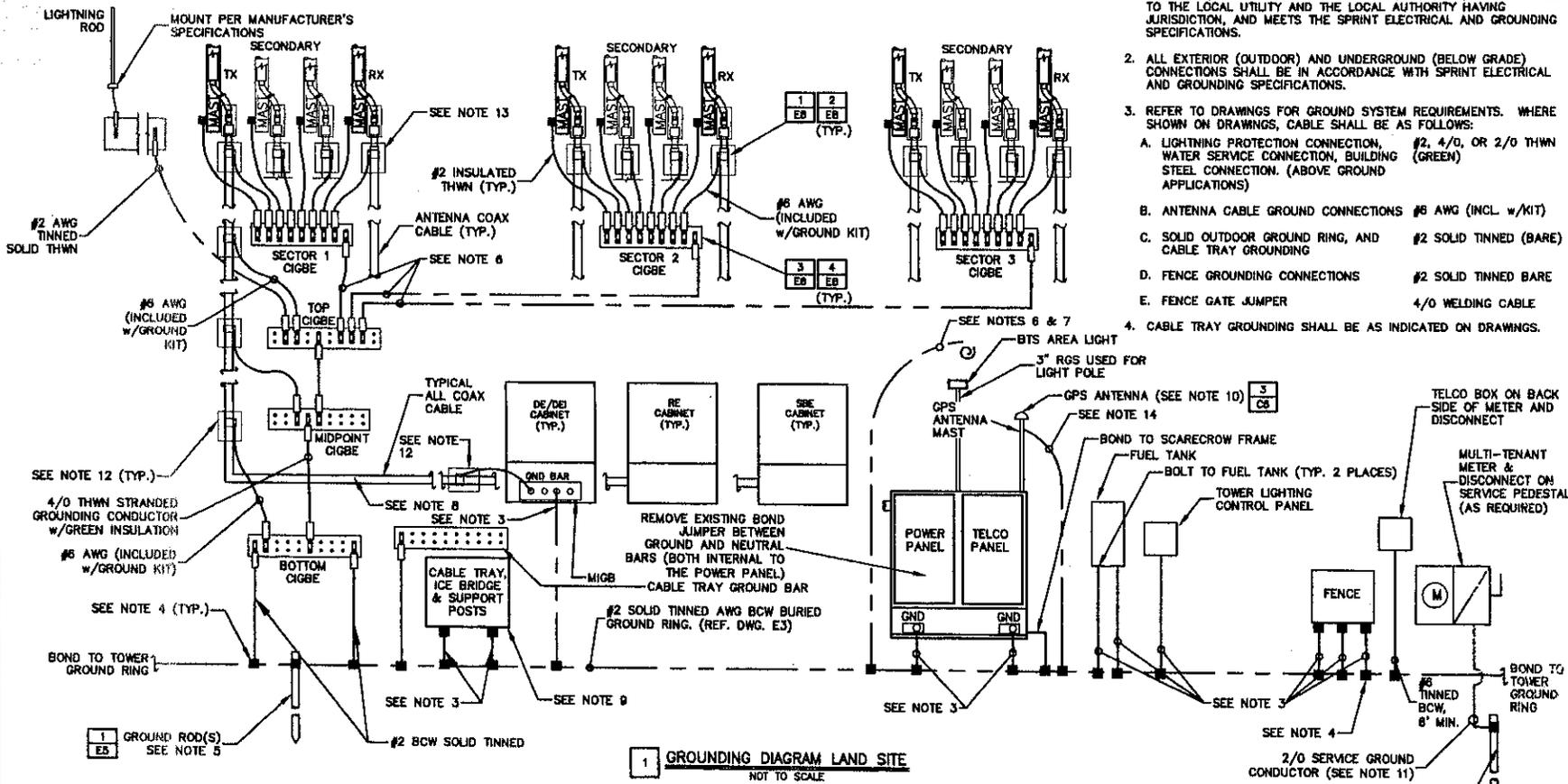
WARREN McVISH  
P.E. #21854

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WHITE STALLION  
1051 VAN ARSDALE STREET  
OVIEDO, FL 32786  
RAW LAND - MONOPOLE

SHEET TITLE  
ELECTRICAL DETAILS

SHEET NUMBER  
E5



1 GROUNDING DIAGRAM LAND SITE  
NOT TO SCALE

**NOTES**

1. PROVIDE #2 AWG GROUNDING CONDUCTOR UNLESS NOTED OTHERWISE.
2. PROVIDE BONDING AND GROUNDING CONDUCTORS WITH GREEN TYPE THWN INSULATION UNLESS OTHERWISE NOTED.
3. PROVIDE SOLID #2 TINNED BARE COPPER GROUNDING CONDUCTOR.
4. CADWELD CONNECTION.
5. PROVIDE GROUNDING ELECTRODES IN QUANTITY, TYPE AND SIZE AS INDICATED ON SITE GROUNDING PLAN, DRAWING E3.

**NOTES: (CONT'D)**

6. PROVIDE & INSTALL A 4/0 THWN STRANDED GROUNDING CONDUCTOR.
7. LEAVE GROUND WIRE COILED UP FOR FUTURE EQUIPMENT, CAP END OF CONDUIT, SEE DETAIL 5 DRAWING E8.
8. ADD COAX GROUND KIT CONNECTION TO INTERMEDIATE CIGBE WHEN LENGTH OF CABLE TRAY (FROM TOWER TO EQUIPMENT) IS GREATER THAN 15 FEET.
9. ADD 2/0 GREEN INSULATED CONDUCTOR BETWEEN CABLE TRAY AND GRIPSTRUT/COVER, SEE DETAILS 1 & 3 DRAWING E5.
10. ADD 2/0 GREEN INSULATED CONDUCTOR TO 1" BELOW THREADS OF EACH GPS ANTENNA MAST, CONNECT OTHER END TO GROUND BUSS BAR IN TELCO OR POWER PANEL.
11. THE SERVICE GROUND CONDUCTORS SHALL GO DIRECTLY TO THE SERVICE GROUND ROD AND IS NOT TO BE CONNECTED TO ANYTHING ELSE.
12. ALL COAX CABLES ARE TO BE GROUND AT ITS SECTOR CIGBE, THE TOP CIGBE, MIDPOINT CIGBE IF REQUIRED, BOTTOM CIGBE, INTERMEDIATE CIGBE IF REQUIRED AND AT THE MGB.
13. PROVIDE STANDARD COAX CABLE GROUNDING KIT OR FIELD FABRICATE TO SUIT CONDITIONS, TOTAL LENGTH OF GROUNDING CONDUCTOR SHALL NOT EXCEED 10'-0".
14. #2 STRANDED GREEN GROUND LEAD WITH CLAMP-ON CONNECTION TO GPS.

**GENERAL GROUNDING SYSTEM NOTES:**

1. THE CONTRACTOR SHALL VERIFY THAT THE SYSTEM IS EFFECTIVELY GROUNDING, MEETS NEC ARTICLE 250 REQUIREMENTS, IS ACCEPTABLE TO THE LOCAL UTILITY AND THE LOCAL AUTHORITY HAVING JURISDICTION, AND MEETS THE SPRINT ELECTRICAL AND GROUNDING SPECIFICATIONS.
2. ALL EXTERIOR (OUTDOOR) AND UNDERGROUND (BELOW GRADE) CONNECTIONS SHALL BE IN ACCORDANCE WITH SPRINT ELECTRICAL AND GROUNDING SPECIFICATIONS.
3. REFER TO DRAWINGS FOR GROUND SYSTEM REQUIREMENTS. WHERE SHOWN ON DRAWINGS, CABLE SHALL BE AS FOLLOWS:
  - A. LIGHTNING PROTECTION CONNECTION, WATER SERVICE CONNECTION, BUILDING STEEL CONNECTION. (ABOVE GROUND APPLICATIONS) #2, 4/0, OR 2/0 THWN (GREEN)
  - B. ANTENNA CABLE GROUND CONNECTIONS #6 AWG (INCL. W/KIT)
  - C. SOLID OUTDOOR GROUND RING, AND CABLE TRAY GROUNDING #2 SOLID TINNED (BARE)
  - D. FENCE GROUNDING CONNECTIONS #2 SOLID TINNED BARE
  - E. FENCE GATE JUMPER 4/0 WELDING CABLE
4. CABLE TRAY GROUNDING SHALL BE AS INDICATED ON DRAWINGS.



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PROJECT NO: 1511.518  
DRAWN BY: JUP  
CHECKED BY: JD

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| 1   | 07/28/04 | REVISED GROUNDING       |
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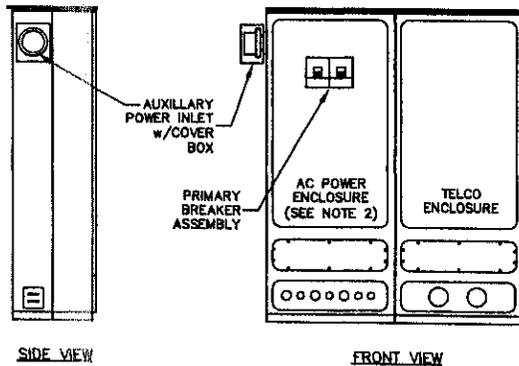
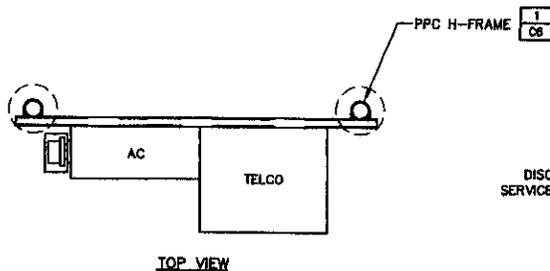
*W. H. Henson*  
9.22.04

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WHITE STALLION  
1051 VAN ARSDALE STREET  
OVIEDO, FL 32789  
RAW LAND - MONOPOLE

SHEET TITLE  
GROUNDING DIAGRAM

SHEET NUMBER  
E6



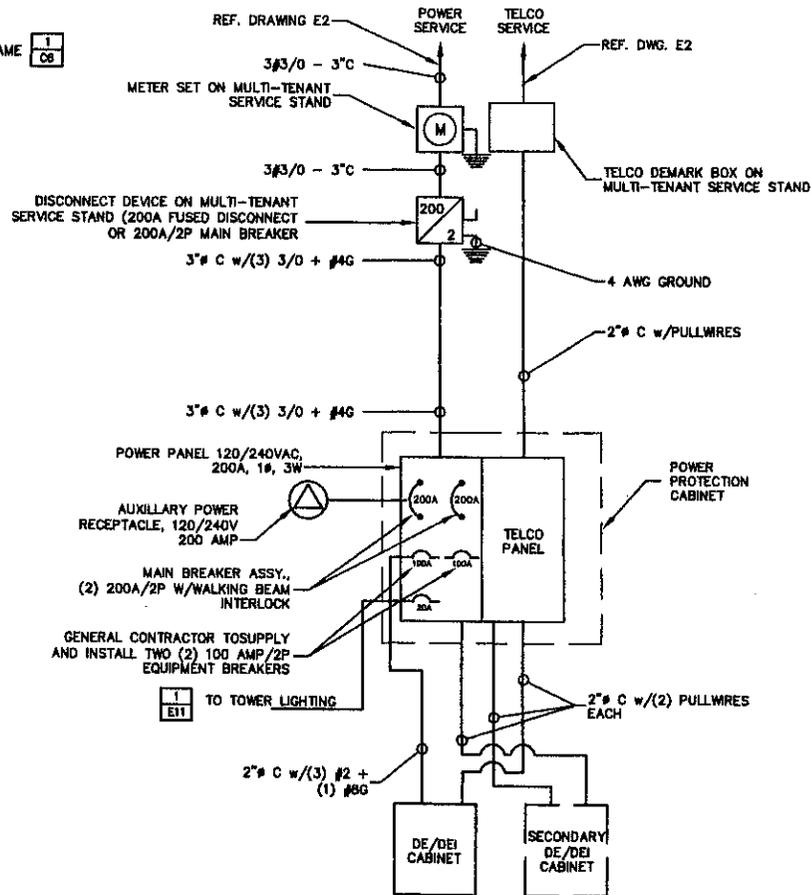
NOTES

1. AC POWER ENCLOSURE, 200 AMP, 240/120V, 1 $\phi$ , 3W W/ GROUND, 200A/2P MAIN CIRCUIT BREAKER.
2. ALL EQUIPMENT SHALL BE GROUNDED. PER LATEST EDITION OF NEC AND AS INDICATED.
3. ELECTRICAL EQUIPMENT SHALL BE MIN. 3'-0" FROM ANY ENERGIZED PART TO ANY STRUCTURE AND AS REQUIRED BY LOCAL UTILITY COMPANIES, AHJ AND NATIONAL ELECTRICAL CODE.

1 PPC-MINI DETAIL

NOT TO SCALE

FOR ORIENTATION SEE DRAWING E2



NOTES:

1. ELECTRICAL SERVICE SHALL BE RATED 200A, 2 POLE, 240/120V, 1 $\phi$  3W.
2. CONTRACTOR TO VERIFY UTILITY CO. FAULT CURRENT AND ENSURE THAT ALL EQUIPMENT MEETS FAULT CURRENT. (AT A MIN. ALL EQUIPMENT TO BE 10,000 AIC).
3. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS PROVIDED BY PPC MANUFACTURER.
4. REMOVE BONDING JUMPER IN PPC AND BOND SERVICE DISCONNECT PER NEC REQUIREMENTS.
5. ALL CONDUIT INSTALLED ABOVE GROUND LEVEL TO BE RGS. CONTRACTOR SHALL TRANSITION RGS AT ELBOW LOCATION TO PVC UNDERGROUND.

2 POWER & TELCO DIAGRAM

NOT TO SCALE

3  
E9



8580 SPRINT PARKWAY  
OVERLAND PARK, KANSAS 66251



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PROJECT NO: 1811.518  
DRAWN BY: TJP  
CHECKED BY: JD

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*Warren Heison*  
9.22.04

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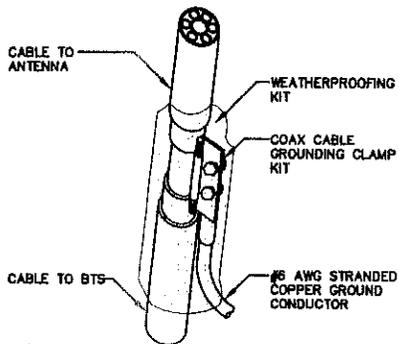
OR60XC516A  
WHITE, STALLION  
1051 VAN ARSDALE STREET  
OVIDO, FL 32789  
RAW LAND - MONOPOLE

SHEET TITLE

ELECTRICAL DETAILS

SHEET NUMBER

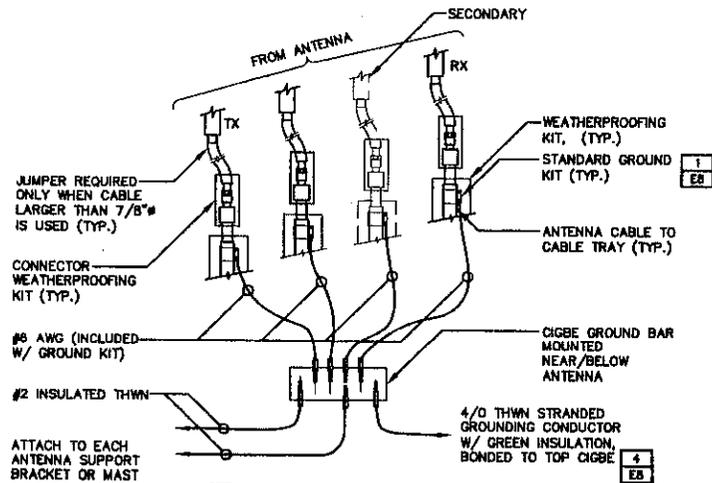
E7



**NOTES:**

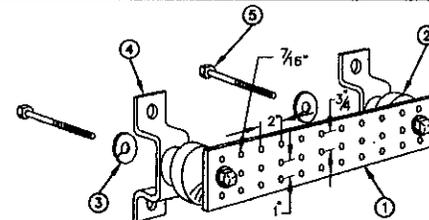
1. DO NOT INSTALL CABLE GROUND KIT AT A BEND IN CABLE.
2. ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
3. 2-1/2" # MAX FOR TX/RX ANTENNA CABLES.
4. 1-1/4" # MAX FOR GPS ANTENNA CABLES.

**1 COAX CABLE GROUND**  
NOT TO SCALE



- NOTE:**
1. DO NOT INSTALL CABLE GROUND KIT AT A BEND.
  2. ALWAYS DIRECT GROUND WIRE DOWN TO CIGBE.

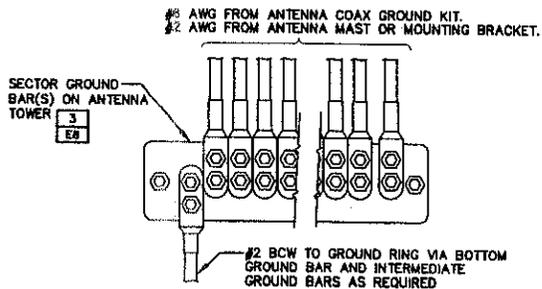
**2 CONNECTION OF GROUND WIRES TO SECTOR CIGBE ANTENNAS**  
NOT TO SCALE



**LEGEND**

- 1 - SOLID TINNED COPPER GROUND BAR, 1/4" x 4" x 20" MIN., NEWTON INSTRUMENT CO. CAT. #B-8142 w/PRE-DRILLED HOLE DIAMETERS AND SPACINGS TO MATCH NEMA DOUBLE LUG CONFIGURATION. GROUND BARS SHALL NEITHER BE FIELD FABRICATED NOR NEW HOLES DRILLED. GROUND LUGS SHALL MATCH THE HOLE SPACING ON THE BAR. HARDWARE DIAMETER SHALL BE 3/8" MINIMUM.
- 2 - INSULATORS, NEWTON INSTRUMENT CAT. NO. 3061-4
- 3 - 5/8" LOCKWASHERS, NEWTON INSTRUMENT CO. CAT. NO. 3015-8
- 4 - WALL MOUNTING BRACKET, NEWTON INSTRUMENT CO. CAT. NO. A-6056
- 5 - 5/8-11 X 1" H.H.C.S. BOLTS, NEWTON INSTRUMENT CO. CAT. NO. 3012-1
- 6 - SECTOR CIGBE GROUND BAR TO BE SIZED FOR (4) ANTENNAS AND (4) BRACKETS OR MASTS ALL OTHER GROUND BARS SHALL BE SIZED TO ACCOMMODATE ALL GROUNDING CONNECTIONS REQUIRED PLUS PROVIDE 50% SPARE CAPACITY.

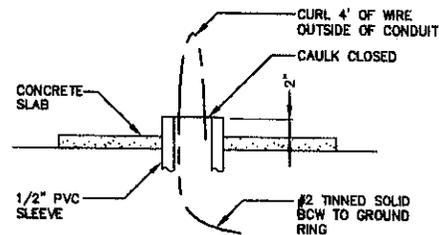
**3 GROUND BAR FOR MIGB & CIGBE**  
NOT TO SCALE



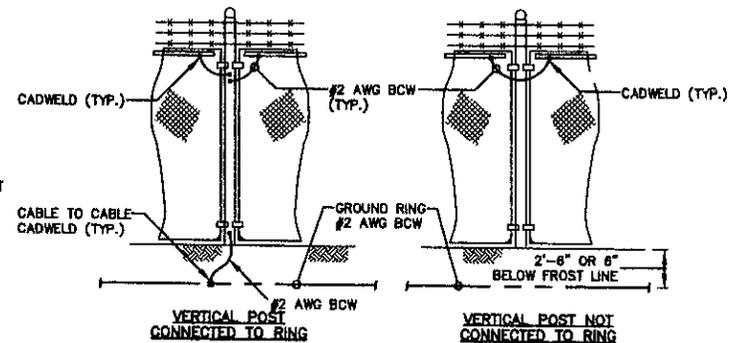
**NOTE:**

1. CONTRACTOR TO UTILIZE KOPR-SHIELD (THOMAS & BETTS) ON ALL LUG CONNECTIONS.
2. SIMILAR INSTALLATION FOR TOP AND BOTTOM TOWER GROUND BARS AND FOR COAX ENTRY PORT GROUND BARS.

**4 GROUNDING WIRE INSTALLATION TO SECTOR CIGBE**  
NOT TO SCALE



**5 GROUNDING WIRE STUB-OUT FOR FUTURE EQUIPMENT**  
NOT TO SCALE



**NOTES:**

1. VERTICAL POSTS SHALL BE BONDED TO THE RING AT EACH CORNER AND AT EACH GATE POST. AS A MINIMUM ONE VERTICAL POST SHALL BE BONDED TO THE GROUND RING IN EVERY 100 FOOT STRAIGHT RUN OF FENCE.
2. HORIZONTAL RAILS SHALL BE BONDED TO EACH OTHER.
3. BOND EACH HORIZONTAL RAIL/BRACE TO EACH OTHER AND TO EACH VERTICAL POST THAT IS BONDED TO THE EXTERIOR GROUND RING.

**6 FENCE GROUNDING**  
NOT TO SCALE



8580 SPRINT PARKWAY  
OVERLAND PARK, KANSAS 66251



ALCOA Wireless  
Services, Inc.  
486 NORTH HOLLER ROAD  
SUITE 100  
MAITLAND, FL 32751  
OFFICE (407) 961-1750  
FAX (407) 961-1766

PROJECT NO: 1811518

DRAWN BY: TJP

CHECKED BY: JD

| REV | DATE     | DESCRIPTION             |
|-----|----------|-------------------------|
| 0   | 05/24/04 | ISSUED FOR CONSTRUCTION |
| A   | 04/21/04 | ISSUED FOR REVIEW       |

*W. H. Harrison*  
9.22.04

WARNED: MENSON  
11/11/04

IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER THIS DOCUMENT UNLESS EXPLICITLY AGREED TO BY ALCOA WIRELESS OR NEWTON INSTRUMENT. ALCOA WIRELESS DISCLAIMS ALL LIABILITY ASSOCIATED WITH THE REUSE, ALTERATION OR MODIFICATION OF THE CONTENTS HEREIN.

OR60XC516A  
WHITE STALLION  
1051 VAN ARSDALE STREET  
OWIEDO, FL 32785  
RAW LAND -- MONOPOLE

SHEET TITLE  
**ELECTRICAL DETAILS**

SHEET NUMBER  
**E8**



8380 SPRINT PARKWAY  
OVERLAND PARK, KANSAS 66251



ALCOA Wireless  
Services, Inc.  
485 NORTH KELLER ROAD  
SUITE 150  
MAITLAND, FL 32751  
OFFICE (407) 861-1743  
FAX (407) 861-1746

PROJECT NO: 1811.018  
DRAWN BY: TJP  
CHECKED BY: JD

| REV | DATE     | DESCRIPTION             |
|-----|----------|-------------------------|
| 1   | 07/28/04 | REVISED GROUNDING       |
| D   | 05/24/04 | ISSUED FOR CONSTRUCTION |
| A   | 04/31/04 | ISSUED FOR REVIEW       |

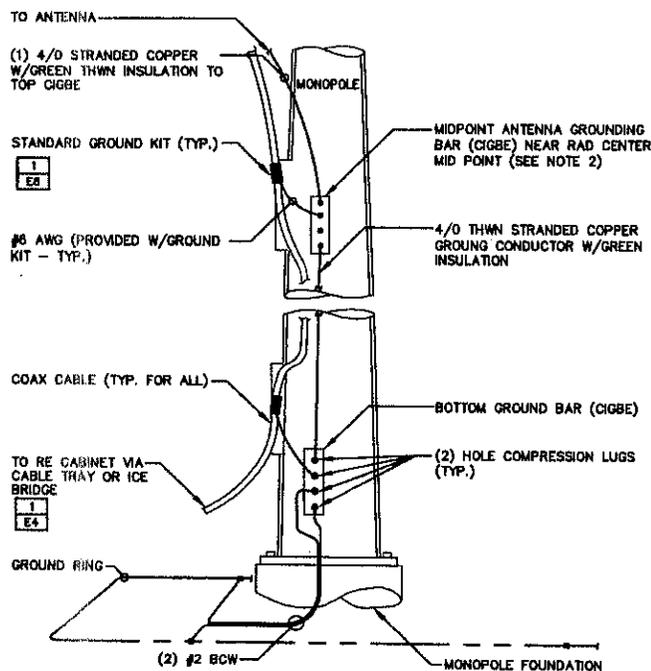
*Watson*  
9.27.04

WARREN HEDSON  
P.E. #51081  
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CONTENTS HEREIN.

OR60XC518A  
WHITE STALLION  
1051 VAN ARSDALE STREET  
OVIEDO, FL 32789  
RAW LAND - MONOPOLE

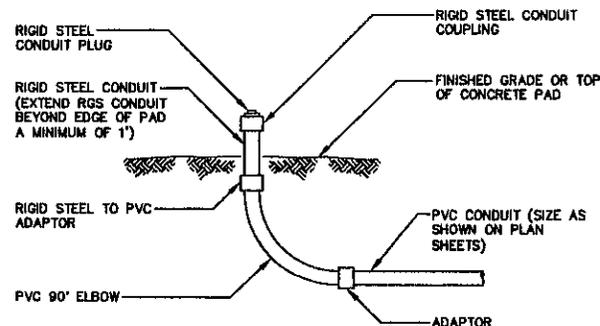
SHEET TITLE  
ELECTRICAL DETAILS

SHEET NUMBER  
E9

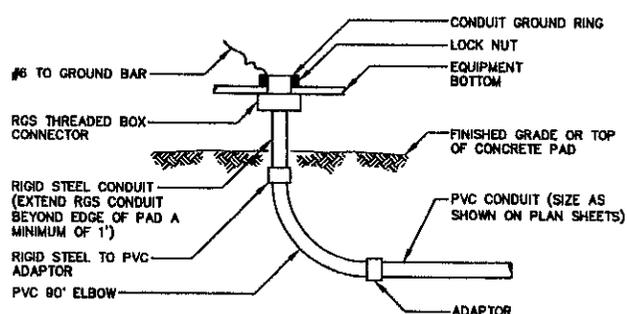


- NOTES:**
1. CADCWELDED TO GROUND RING.
  2. INTERMEDIATE CIGBE IS ONLY REQUIRED WHEN RAD CENTER IS GREATER THAN 200 FEET ABOVE BOTTOM CIGBE.

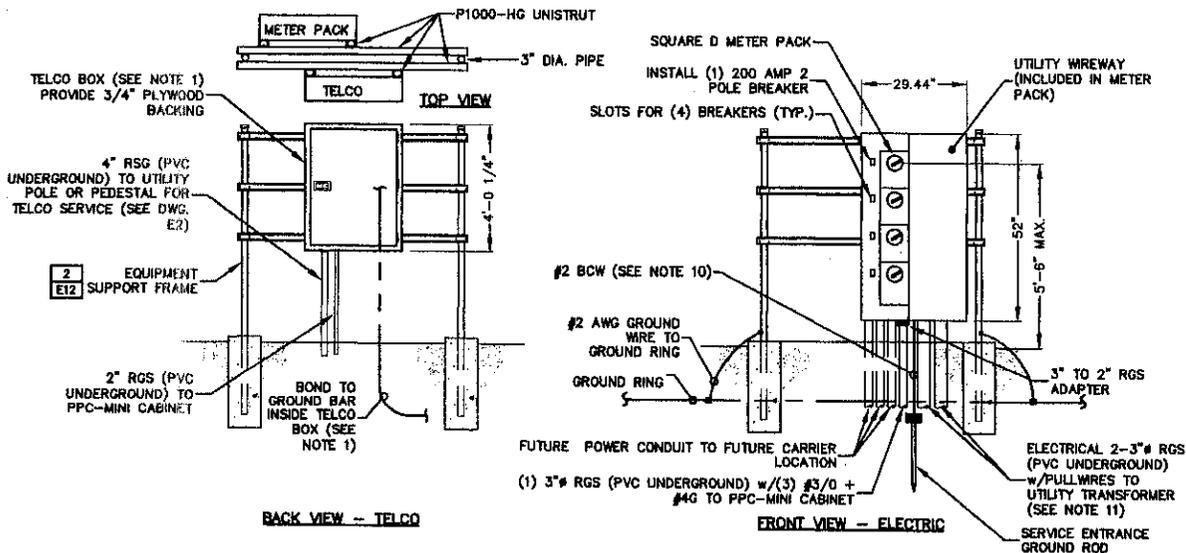
**1** ANTENNA CABLE GROUNDING TO GROUND BAR AND MONOPOLE  
NOT TO SCALE



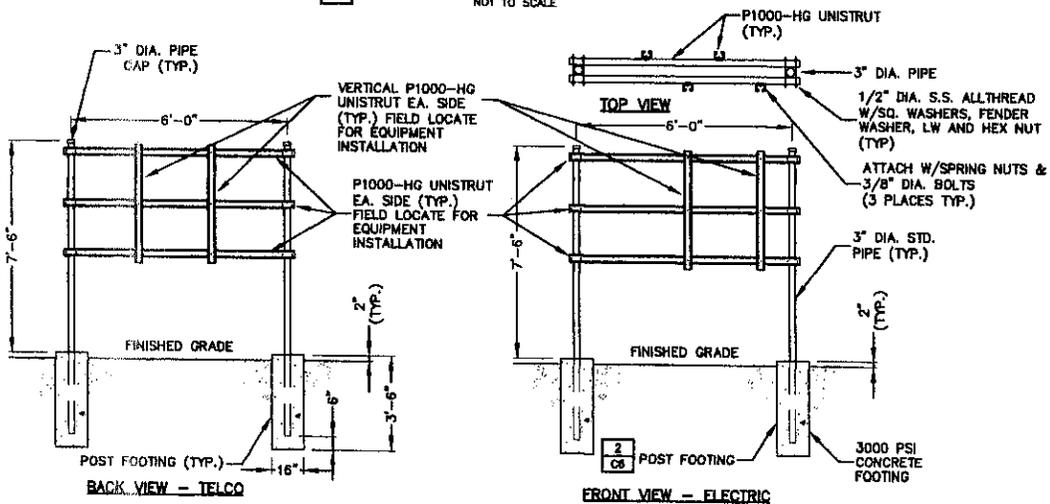
**2** CONDUIT STUB-UP w/CAP  
NOT TO SCALE



**3** CONDUIT STUB-UP w/o CAP  
NOT TO SCALE



**1 EQUIPMENT SUPPORT FRAME DETAILS**  
NOT TO SCALE



**2 EQUIPMENT SUPPORT FRAME DETAILS**  
NOT TO SCALE

UTILITY METER ENCLOSURE INSTALLATION TO BE COORDINATED WITH THE LOCAL ELECTRICAL PROVIDER

**NOTES:**

1. PROVIDE 1"x6" GROUND BAR IN TELCO BOX SUITABLE FOR CONNECTING TO #6 AWG STRANDED WIRE. PROVIDE 3'-0" SECTION OF #6 WIRE FOR USE BY TELEPHONE COMPANY.
2. PROVIDE 3"x4"x8" TELCO DISTRIBUTION PANEL (MINIMUM 50 PAIR TERMINAL) MOUNTED TO VERTICAL UNISTRUT ON EQUIPMENT SUPPORT FRAME OPPOSITE OF UTILITY METERS.
3. COORDINATE METER ENCLOSURE AND FUSED/BREAKER DISCONNECT SWITCH ACCEPTABILITY WITH LOCAL UTILITY COMPANY PRIOR TO ORDERING AND INSTALLATION.
4. METER ENCLOSURE SHALL BE SQUARE D OR APPROVED EQUIVALENT, AND SHALL INCLUDE ACCESSORIES AND MOUNTING BRACKETS SUITABLE FOR OUTDOOR INSTALLATION. ENCLOSURE SHALL BE MOUNTED TO THE VERTICAL UNISTRUT ATTACHED TO THE EQUIPMENT SUPPORT FRAME.
5. FUSED SERVICE DISCONNECT SWITCH SHALL BE SQUARE D OR APPROVED EQUIVALENT, 200A/2P, 250V IN A NEMA 3R ENCLOSURE. FUSES SHALL BE 200A RATED AND SHALL BE PER LOCAL UTILITY COMPANY REQUIREMENTS.
6. DETAIL DEPICTS SQUARE D PRODUCTS, AS DESCRIBED ABOVE. ACTUAL DIMENSIONS MAY VARY DEPENDING ON INSTALLED EQUIPMENT.
7. CONNECT NEUTRAL TERMINAL IN DISCONNECTING DEVICE TO SERVICE ENTRANCE GROUND ROD.
8. REFER TO ELECTRICAL SITE PLAN AND POWER & TELEPHONE DIAGRAM FOR CONDUIT AND CONDUCTOR REQUIREMENTS.
9. ALL WORK SHALL CONFORM TO NATIONAL ELECTRICAL CODE (NEC) AND THE LOCAL BUILDING CODES. ALL COMPONENTS SHALL BE U.L. APPROVED.
10. THE SERVICE ENTRANCE GROUND WIRE MUST GO DIRECTLY TO THE SERVICE ENTRANCE GROUND ROD WITHOUT CONNECTING TO ANYTHING ELSE. IF THE SERVICE ENTRANCE GROUND ROD IS PART OF THE GROUND RING, THEN THE GROUND RING WIRES CAN CONNECT TO THIS GROUND ROD ALSO; OTHERWISE, A #2 AWG GROUND WIRE IS TO CONNECT THIS GROUND ROD TO THE GROUND RING.
11. THESE CONDUITS WERE SHOWN FOR DESIGN CONCEPT ONLY. COORDINATE EXACT QUANTITY AND SIZE CONDUIT WITH THE ELECTRIC POWER UTILITY.



6500 SPRINT PARWAY  
OVERLAND PARK, KANSAS 66251



ALCOA Wireless  
Services Inc.  
486 NORTH WILSON ROAD  
SUITE 100  
MAITLAND, FL 32751  
OFFICE (407) 841-1768  
FAX (407) 841-1768

|             |          |
|-------------|----------|
| PROJECT NO: | 1611.018 |
| DRAWN BY:   | TAP      |
| CHECKED BY: | JD       |

| REV | DATE     | DESCRIPTION             |
|-----|----------|-------------------------|
| 0   | 08/24/04 | ISSUED FOR CONSTRUCTION |
| A   | 04/21/04 | ISSUED FOR REVIEW       |

*W. Henson*  
9.29.04

WARREN HENSON  
FL P.E. #01844

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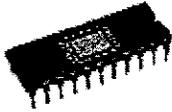
OR80XC516A  
WHITE STALLION  
1031 VAN ARSDALE STREET  
OWIEDO, FL 32789  
RAW LAND - MONOPOLE

SHEET TITLE  
ELECTRICAL DETAILS

SHEET NUMBER  
E10

# EXHIBIT 8

10/15/2004 10:20:18 AM



Greg Holcomb/Seminole  
10/15/2004 09:44 AM

To Kathy Fall/Seminole@Seminole, Earnest  
McDonald/Seminole@Seminole

cc

bcc

Subject Tower reviews

History:

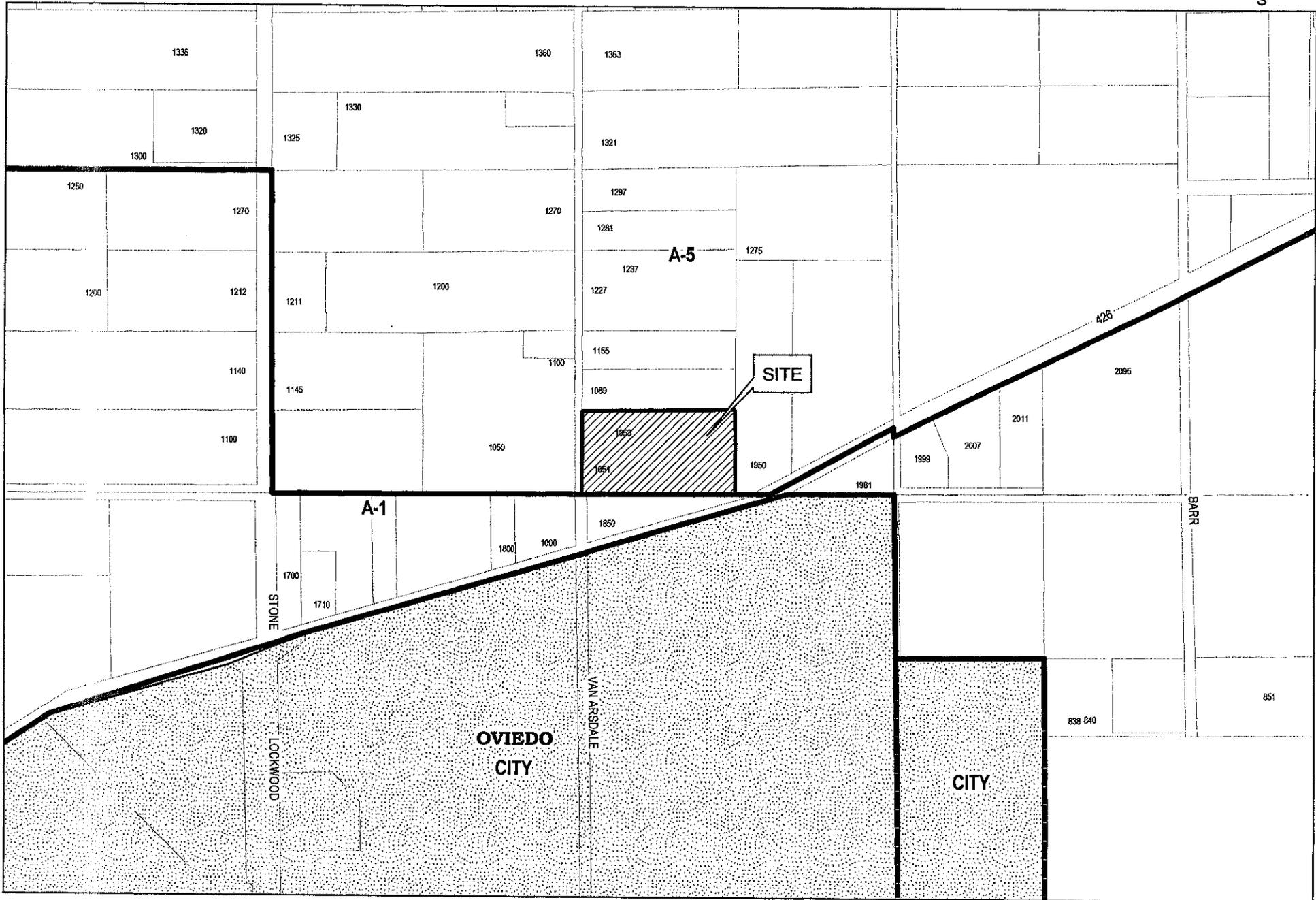
↳ This message has been forwarded.

I have reviewed the two applications for Special Exceptions submitted by Sprintcom, Inc. at the proposed locations of 1051 Van Arsdale Street Oviedo and 9913 Bear Lake Road Apopka. Both seem to be in order from the RF engineering and co-location perspective. You may want the applicant to insure they are building suitable co-locatable structures with space for future providers in the same area and their intent to allow such.

Let me know if you need any further information. Thanks.

--\*\*\*\*Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. Seminole County policy does not differentiate between personal and business emails. E-mail sent on the County system will be considered public and will only be withheld from disclosure if deemed confidential pursuant to State Law.\*\*\*\*

**Gary & Elizabeth Lashinsky  
1051 Van Arsdale St**

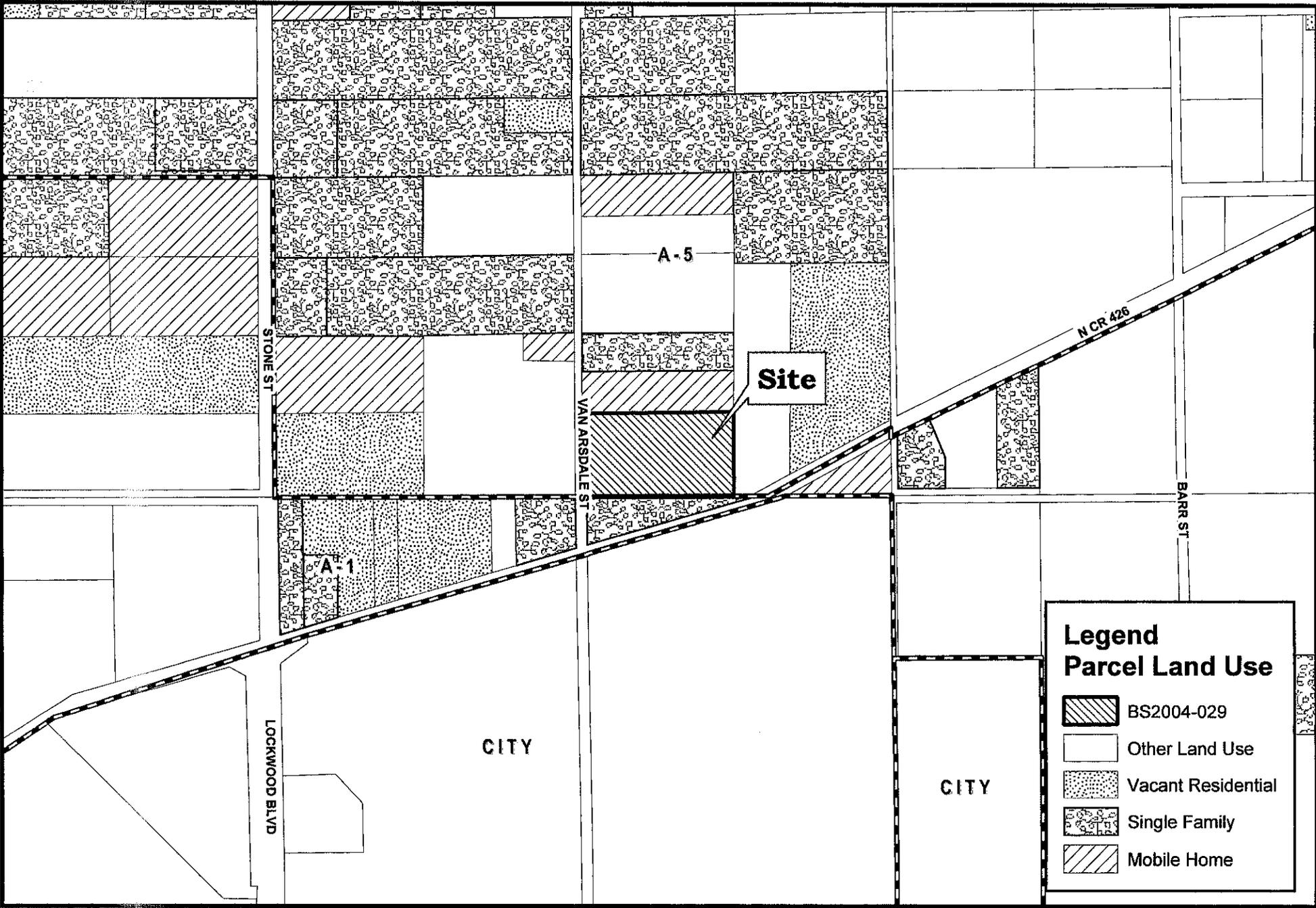


25-20-31-5BA-0000-4370 / District 2

**BS2004-029  
OCTOBER 25, 2004**

**1:6,500**

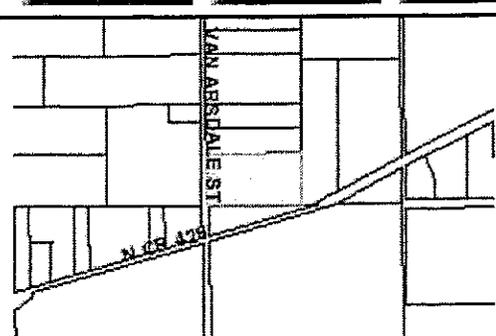
**Gary & Elizabeth Lashinsky  
1051 Van Arsdale St**



**Legend  
Parcel Land Use**

|  |                    |
|--|--------------------|
|  | BS2004-029         |
|  | Other Land Use     |
|  | Vacant Residential |
|  | Single Family      |
|  | Mobile Home        |

Personal Property

| <b>PARCEL DETAIL</b>   | <input type="button" value="REAL ESTATE"/> <input checked="" type="button" value="PERSONAL PROP"/> <input type="button" value="TAX ROLL"/> <input type="button" value="SALES SEARCH"/> | <input type="button" value="Back"/>   |            |               |            |                               |            |               |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
|--|--|---|------------|---------------|------------|-------------------------------|------------|---------------|---------------|-------|-------|----------|----------|---------------|---------|-------|-------|-----------|----------|---|---------|-------|------|----------|--------|---|
|  <p>1101 E. First St.<br/>Seaside FL 32771<br/>407-665-7386</p>   |   |   |            |               |            |                               |            |               |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| <p style="text-align: center;"><b>GENERAL</b></p> <p>Parcel Id: 25-20-31-5BA-0000-4370      Tax District: G1-AGRICULTURAL</p> <p>Owner: LASHINSKY GARY &amp; ELIZABETH A      Exemptions:</p> <p>Address: 4056 GILDER ROSE PL</p> <p>City,State,ZipCode: WINTER PARK FL 32792</p> <p>Property Address: 1051 VAN ARSDALE ST</p> <p>Facility Name:</p> <p>Dor: 60-GRAZING LAND</p>   |  | <p style="text-align: center;"><b>2004 WORKING VALUE SUMMARY</b></p> <p>Value Method: Market</p> <p>Number of Buildings: 2</p> <p>Depreciated Bldg Value: \$190,756</p> <p>Depreciated EXFT Value: \$72,375</p> <p>Land Value (Market): \$49,200</p> <p>Land Value Ag: \$10,882</p> <p>Just/Market Value: \$312,331</p> <p>Assessed Value (SOH): \$274,013</p> <p>Exempt Value: \$0</p> <p>Taxable Value: \$274,013</p> <p style="text-align: center;">2004 Notice of Proposed Property Tax</p> |            |               |            |                               |            |               |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| <p style="text-align: center;"><b>SALES</b></p> <table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>Deed</th> <th>Date</th> <th>Book</th> <th>Page</th> <th>Amount</th> <th>Vac/Imp</th> </tr> </thead> <tbody> <tr> <td>WARRANTY DEED</td> <td>08/1993</td> <td>02638</td> <td>0201</td> <td>\$85,000</td> <td>Improved</td> </tr> <tr> <td>WARRANTY DEED</td> <td>01/1985</td> <td>01605</td> <td>1515</td> <td>\$38,000</td> <td>Vacant</td> </tr> <tr> <td>WARRANTY DEED</td> <td>01/1973</td> <td>00967</td> <td>0307</td> <td>\$15,000</td> <td>Vacant</td> </tr> </tbody> </table> <p style="text-align: center;">Find Comparable Sales within this DOR Code</p> |  | Deed  | Date       | Book          | Page       | Amount                        | Vac/Imp    | WARRANTY DEED | 08/1993       | 02638 | 0201  | \$85,000 | Improved | WARRANTY DEED | 01/1985 | 01605 | 1515  | \$38,000  | Vacant   | WARRANTY DEED   | 01/1973 | 00967 | 0307 | \$15,000 | Vacant | <p style="text-align: center;"><b>2003 VALUE SUMMARY</b></p> <p>2003 Tax Bill Amount: \$3,858</p> <p>2003 Taxable Value: \$265,884</p> <p style="text-align: center;">DOES NOT INCLUDE NON-AD VALOREM ASSESSMENTS</p> |
| Deed   | Date   | Book  | Page       | Amount        | Vac/Imp    |                               |            |               |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| WARRANTY DEED  | 08/1993  | 02638   | 0201       | \$85,000      | Improved   |                               |            |               |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| WARRANTY DEED  | 01/1985  | 01605   | 1515       | \$38,000      | Vacant     |                               |            |               |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| WARRANTY DEED  | 01/1973  | 00967   | 0307       | \$15,000      | Vacant     |                               |            |               |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| <p style="text-align: center;"><b>LAND</b></p> <table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>Land Assess Method</th> <th>Frontage</th> <th>Depth</th> <th>Land Units</th> <th>Unit Price</th> <th>Land Value</th> </tr> </thead> <tbody> <tr> <td>IMP PASTUR-</td> <td>0</td> <td>0</td> <td>3.920</td> <td>225.00</td> <td>\$882</td> </tr> <tr> <td>ACREAGE</td> <td>0</td> <td>0</td> <td>1.000</td> <td>10,000.00</td> <td>\$10,000</td> </tr> </tbody> </table>  |  | Land Assess Method  | Frontage   | Depth         | Land Units | Unit Price                    | Land Value | IMP PASTUR-   | 0             | 0     | 3.920 | 225.00   | \$882    | ACREAGE       | 0       | 0     | 1.000 | 10,000.00 | \$10,000 | <p style="text-align: center;"><b>LEGAL DESCRIPTION PLAT</b></p> <p>LEG W 1/2 OF LOT 437 BLACK-HAMMOCK PB 1 PG 31</p> |         |       |      |          |        |   |
| Land Assess Method   | Frontage   | Depth   | Land Units | Unit Price    | Land Value |                               |            |               |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| IMP PASTUR-  | 0  | 0   | 3.920      | 225.00        | \$882      |                               |            |               |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| ACREAGE  | 0  | 0   | 1.000      | 10,000.00     | \$10,000   |                               |            |               |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| <b>BUILDING INFORMATION</b>  |  |   |            |               |            |                               |            |               |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| Bld Num  | Bid Class  | Year Blt  | Fixtures   | Gross SF      | Stories    | Ext Wall                      | Bid Value  | Est. Cost New |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| 2  | STEEL/PRE ENG  | 1996  | 4          | 4,800         | 1          | METAL PREFINISHED - INSULATED | \$123,818  | \$140,702     |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| <b>BUILDING INFORMATION</b>  |  |   |            |               |            |                               |            |               |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| Bld Num  | Bid Type   | Year Blt  | Fixtures   | Base SF       | Gross SF   | Heated SF                     | Ext Wall   | Bid Value     | Est. Cost New |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| 1  | BARN/SHEDS   | 1991  | 3          | 8,979         | 10,147     | 8,979                         | SIDING AVG | \$66,938      | \$97,294      |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| Appendage / Sqft   |  | OVERHANG / 1168   |            |               |            |                               |            |               |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| <b>EXTRA FEATURE</b>   |  |   |            |               |            |                               |            |               |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| Description  | Year Blt   | Units   | EXFT Value | Est. Cost New |            |                               |            |               |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| MOBILE HOME  | 2000   | 1,344   | \$60,641   | \$63,168      |            |                               |            |               |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| MH A/C PKG   | 2000   | 1,344   | \$1,613    | \$1,680       |            |                               |            |               |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| ALUM PORCH W/CONC FL   | 1985   | 280   | \$728      | \$1,820       |            |                               |            |               |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| WOOD UTILITY BLDG  | 1985   | 128   | \$307      | \$768         |            |                               |            |               |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |
| COMMERCIAL ASPHALT DR 2 IN   | 1996   | 12,496  | \$8,298    | \$10,372      |            |                               |            |               |               |       |       |          |          |               |         |       |       |           |          |   |         |       |      |          |        |   |

FIREPLACE

1985

1

\$788

\$1,500

**NOTE:** Assessed values shown are NOT certified values and therefore are subject to change before being finalized for ad valorem tax purposes.

\*\*\* If you recently purchased a homesteaded property your next year's property tax will be based on Just/Market value.

[BACK](#)

[PROPERTY APPRAISER  
HOME PAGE](#)

[CONTACT](#)

**SEMINOLE COUNTY APPROVAL DEVELOPMENT ORDER**

On October 25, 2004, Seminole County issued this Development Order relating to and touching and concerning the following described property:

LEG LOT 437 OF BLACK HAMMOCK PB 1 PG 31

(The aforescribed legal description has been provided to Seminole County by the owner of the aforescribed property.)

**FINDINGS OF FACT**

**Property Owner:** LASHINSKY  
4056 GILDER ROSE PLACE  
WINTER PARK, FL 32792

**Project Name:** SPRINT WIRELESS COMMUNICATION TOWER

**Requested Development Approval:**

**SPECIAL EXCEPTION TO ESTABLISH A 194 FOOT TALL MONOPOLE COMMUNICATION TOWER IN THE A-5 (AGRICULTURE DISTRICT)**

The Development Approval sought is consistent with the Seminole County Comprehensive Plan and will be developed consistent with and in compliance to applicable land development regulations and all other applicable regulations and ordinances.

The owner of the property has expressly agreed to be bound by and subject to the development conditions and commitments stated below and has covenanted and agreed to have such conditions and commitments run with, follow and perpetually burden the aforescribed property.

Prepared by: Kathy Fall  
1101 East First Street  
Sanford, Florida 32771

**Order****NOW, THEREFORE, IT IS ORDERED AND AGREED THAT:**

- (1) The aforementioned application for development approval is **GRANTED**.
- (2) All development shall fully comply with all of the codes and ordinances in effect in Seminole County at the time of issuance of permits including all impact fee ordinances.
- (3) The conditions upon this development approval and the commitments made as to this development approval, all of which have been accepted by and agreed to by the owner of the property are as follows:

1. **THE PROPOSED TOWER SHALL NOT EXCEED 194 FEET, AS VERIFIED BY A RF (RADIO FREQUENCY) ENGINEER TO BE THE MINIMUM HEIGHT NEEDED TO FURTHER CINGULAR WIRELESS' COMMUNICATION GOALS IN THE IMMEDIATE AREA.**
2. **THE PROPOSED TOWER SHALL BE PAINTED A MUTED COLOR TO BLEND IN WITH THE NATURAL ENVIRONMENT.**
3. **ANY IMPROVEMENTS AND/OR ADDITIONS TO THE PROPOSED TOWER SHALL BE SUBMITTED FOR APPROVAL TO THE COUNTY.**
4. **A LISTED SPECIES SURVEY SHALL BE PROVIDED PRIOR TO FINAL ENGINEERING APPROVAL.**
5. **PRIOR TO THE FINAL DEVELOPMENT ORDER / APPROVAL, AN APPLICATION FOR FULL CONCURRENCY MANAGEMENT SHALL BE PROVIDED.**
6. **THE PROPOSED USE SHALL OTHERWISE COMPLY WITH THE SEMINOLE COUNTY VISION 2020 COMPREHENSIVE PLAN, LAND DEVELOPMENT CODE AND ALL APPLICABLE CONSTRUCTION AND BUILDING CODES.**

(4) This Development Order touches and concerns the aforescribed property and the conditions, commitments and provisions of this Development Order shall perpetually burden, run with and follow the said property and be a servitude upon and binding upon said property unless released in whole or part by action of Seminole County by virtue of a document of equal dignity herewith. The owner of the

said property has expressly covenanted and agreed to this provision and all other terms and provisions of this Development Order.

(5) The terms and provisions of this Order are not severable and in the event any portion of this Order shall be found to be invalid or illegal then the entire order shall be null and void.

**Done and Ordered on the date first written above.**

By: \_\_\_\_\_  
Matthew West  
Planning Manager

STATE OF FLORIDA )  
COUNTY OF SEMINOLE )

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared \_\_\_\_\_ who is personally known to me or who has produced \_\_\_\_\_ as identification and who executed the foregoing instrument.

WITNESS my hand and official seal in the County and State last aforesaid this \_\_\_\_\_ day of \_\_\_\_\_, 2004.

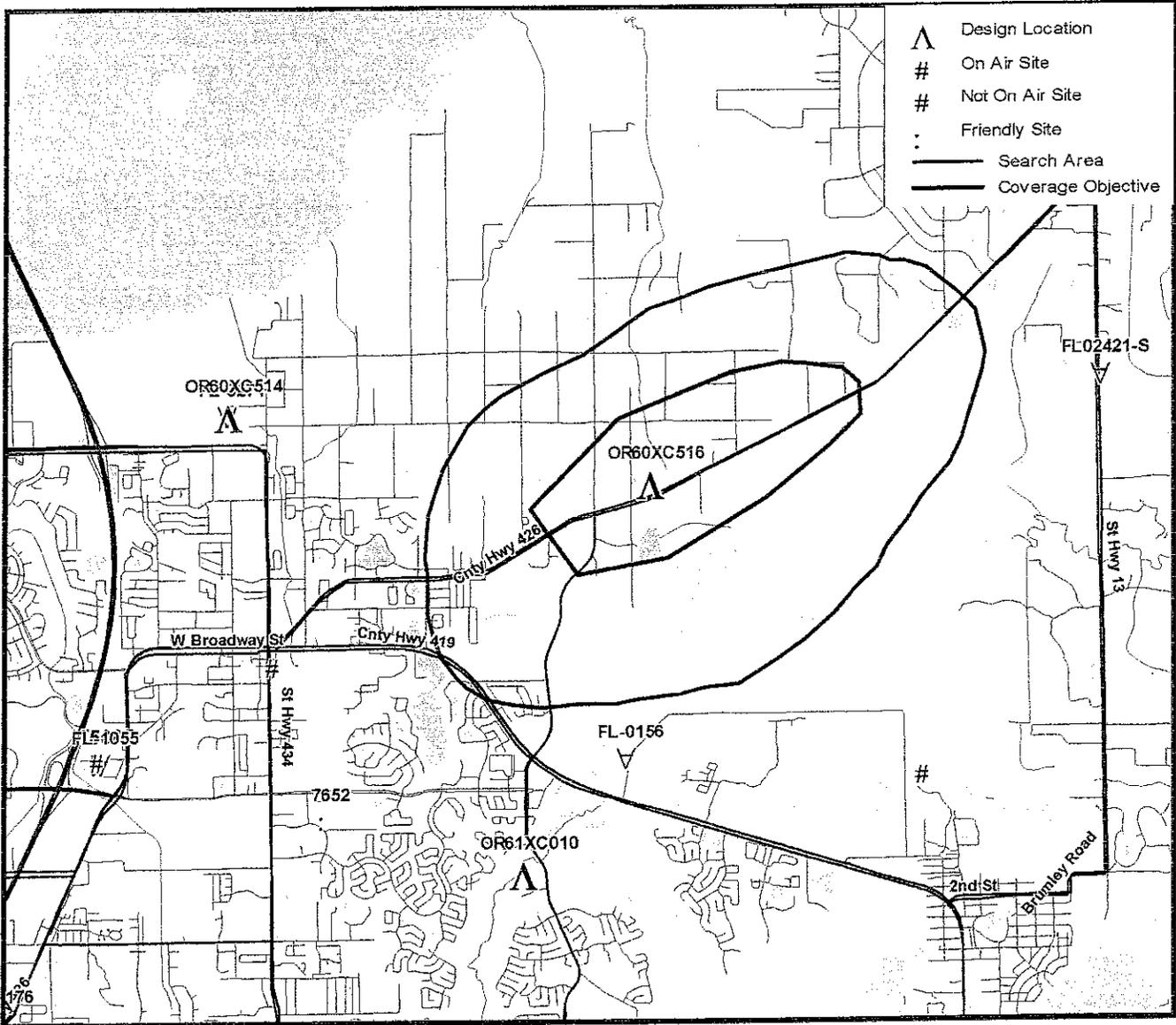
\_\_\_\_\_  
Notary Public, in and for the County and  
State  
Aforementioned

My Commission Expires:

## Sprint PCS Site Acquisition Request Form

| Market and Source Data |                  |
|------------------------|------------------|
| Client:                | Sprint PCS       |
| Market:                | Orlando          |
| Phase:                 | 5                |
| Date:                  | May 15, 2003     |
| RF Engineer:           | David Coniglio   |
| Telephone:             | 407-475-2022     |
| Mobile:                | 407-230-9743     |
| Additional Contact:    | Scott McElligott |

| Search Ring Information     |                                   |
|-----------------------------|-----------------------------------|
|                             | Market Final Rank <b>56</b>       |
| Site Number:                | OR60XC516                         |
| Site Name:                  | Solution 98 Big Econ              |
| City/Town Name:             | Orlando                           |
| Zip Code:                   | 32765                             |
| Center of Search Latitude:  | 28.687                            |
| Center of Search Longitude: | -81.1646                          |
| Ground Elevation AMSL (ft): | 23                                |
| Centerline AGL (ft):        | Min: 170; Max: 190; Preferred 190 |
| Morphology:                 | Suburban                          |



# Sprint PCS

## Site Acquisition Request Form

| Market and Source Data |                  |
|------------------------|------------------|
| C                      | Sprint PCS       |
| Market:                | Orlando          |
| Phase:                 | 5                |
| Date:                  | May 15, 2003     |
| RF Engineer:           | David Coniglio   |
| Telephone:             | 407-475-2022     |
| Mobile:                | 407-230-9743     |
| Additional Contact:    | Scott McElligott |

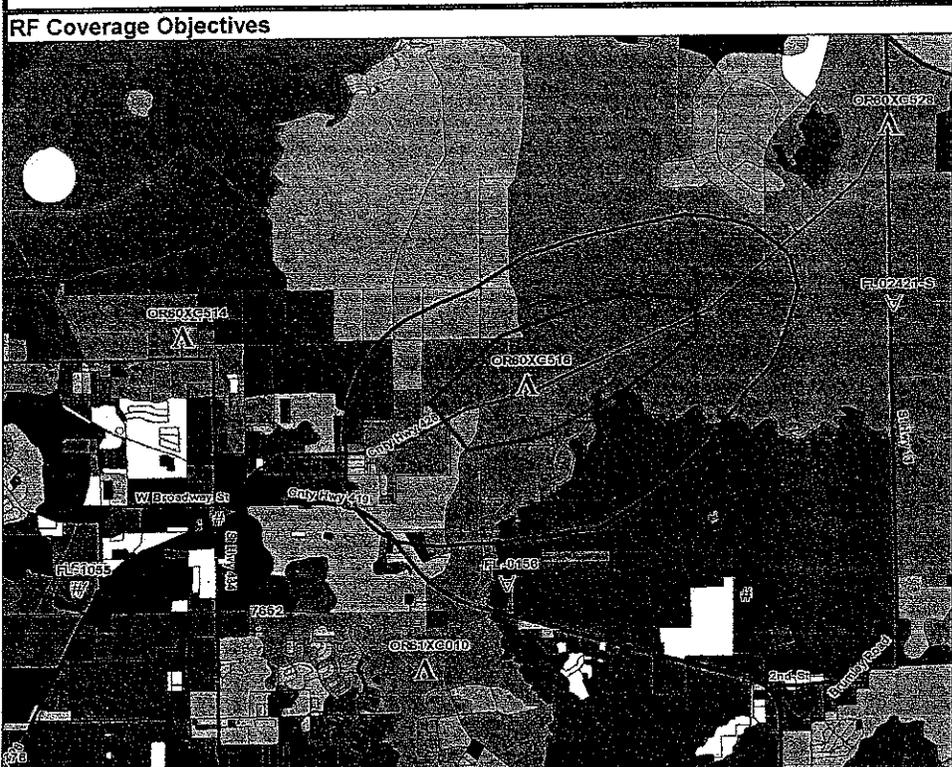
| Search Ring Information     |                      | Market Final Rank                  | 56 |
|-----------------------------|----------------------|------------------------------------|----|
| Site Number:                | OR60XC516            |                                    |    |
| Site Name:                  | Solution 98 Big Econ |                                    |    |
| City/Town Name:             | Orlando              |                                    |    |
| ZipCode:                    | 32765                |                                    |    |
| Center of Search Latitude:  |                      | 28.687                             |    |
| Center of Search Longitude: |                      | -81.1646                           |    |
| Ground Elevation AMSL (ft): |                      | 23                                 |    |
| Centerline AGL (ft):        |                      | Min: 170; Max: 190; Preferred: 190 |    |
| Morphology:                 |                      | Suburban                           |    |

| Projected Antenna Building Layout Plan |                     |
|--|---------------------|
| Initial Configuration                  | 3-sector site       |
| Antenna Orientation (initial estimate) | 0, 120, 240         |
| Antenna Type/Configuration             | Panel/ 2 per sector |
| Equipment Type                         | Full Site Metrocell |
| Vendor                                 | Nortel              |

*Additional RF design criteria for Repeaters sites only*

**RF Design Comments**

A monopole may be required in the search area. Power connection and enough room to house equipment along with room for growth cabinet and backup power supply is a requirement. Any building or support structure meeting the height requirement within the search area should be submitted as a candidate.



|   |                    |
|---|--------------------|
| △ | Design Location    |
| # | On Air Site        |
| # | Not On Air Site    |
| . | Friendly Site      |
| — | Search Area        |
| — | Coverage Objective |

| Sprint_Ec |              |
|-----------|--------------|
| ■         | .74 to 0     |
| ■         | .79 to .74   |
| ■         | .84 to .79   |
| ■         | .89 to .84   |
| ■         | .98 to .89   |
| ■         | -103 to .98  |
| ■         | -120 to -103 |

**Design Criteria:**

Required Signal Density: -96.14 dBm/pop  
 Total Pops to be covered: 25375  
 Avg dB Increase/Pop: 7.92 dB

**Must Cover:**

Northeast Oviedo, Geneva and County Road 426

| Possible Site Candidates/Miscellaneous Site Information |         |             |               |                        |
|---|---------|-------------|---------------|------------------------|
| Cand #  | Address | Description | Location Type | Possible Antenna Mount |
| 1   |         |             |               |                        |
| 2   |         |             |               |                        |
| 3   |         |             |               |                        |
| 4   |         |             |               |                        |
| 5   |         |             |               |                        |
| 6   |         |             |               |                        |

331.0

344.A

345.A

430

344.B

344

25

345

430.B

431

344.0

345.0

345.1

430.A

2.00  
2.00

431A

343

432

333A

275

A

342

150

291

B

291

150

433

275

341

434.A

434.B

BA 90-11-76 TE  
BA 96-10-70 TE

435.A

435

340.A

237

338.A

338

437

250'

60'

270'

487 450'

5 1/2 RD 426

1 2

Gov Lot 3

2  
74  
CA

5

7

6

Lot 7

8 Gov

14

ARTESIA AVE

10

2  
74  
CA

P

2  
87  
B

1

↑ N

SHADED PARCELS ARE THOSE WITH RESIDENTIAL USES

VAN ARSPALE

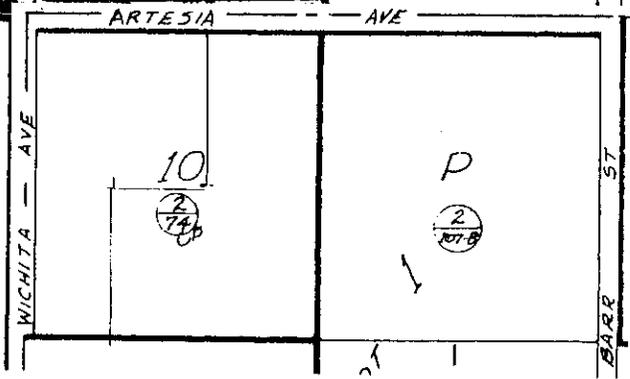
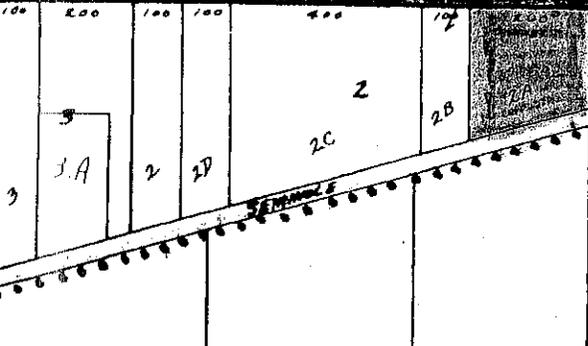
WICHITA

BARR

STONE

WICHITA AVE

BARR ST





Greg Holcomb/Seminole  
10/15/2004 09:44 AM

To Kathy Fall/Seminole@Seminole, Earnest  
McDonald/Seminole@Seminole  
cc  
bcc  
Subject Tower reviews

I have reviewed the two applications for Special Exceptions submitted by Sprintcom, Inc. at the proposed locations of 1051 Van Arsdale Street Oviedo and 9913 Bear Lake Road Apopka. Both seem to be in order from the RF engineering and co-location perspective. You may want the applicant to insure they are building suitable co-locatable structures with space for future providers in the same area and their intent to allow such.

Let me know if you need any further information. Thanks.

--\*\*\*\*Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. Seminole County policy does not differentiate between personal and business emails. E-mail sent on the County system will be considered public and will only be withheld from disclosure if deemed confidential pursuant to State Law.\*\*\*\*

**Sec. 30.1363. Applicability/administration.**

- (a) All new communication towers in unincorporated Seminole County shall be subject to the land development regulations set forth in this part, all other applicable land development regulations set forth in this Code and all federal and state laws relating thereto.
- (b) For purposes of measurement, communication tower setbacks and separation distances, as outlined in Section 30.1364, shall be calculated and applied to facilities located anywhere in Seminole County irrespective of municipal and county jurisdictional boundaries.
- (c) All new communication antennas which are not attached to communication towers shall comply with Section 30.1367.
- (d) All communication towers existing prior to the effective date of Sections 30.1362 through 30.1370 shall be permitted to continue to be used as they presently exist. Routine maintenance (including replacement with a new tower, or tower of less impact, of like construction; provided, however, that any such tower shall be the same or less height of the tower as it existed on the effective date of this part) shall be permitted on such existing communication towers; provided, however, that replacement of the communication tower shall require the entire site be brought into compliance with Section 30.1365. New construction, other than routine maintenance of an existing communication tower, shall comply with any adopted land development regulations, applicable building codes and related codes.
- (e) A communication tower that has received county approval in the form of either a special exception or building permit, but has not yet been constructed, shall be considered an existing tower if such approval is valid, current and not expired.
- (f) AM array consisting of one (1) or more tower units and supporting a ground system which functions as one (1) AM broadcasting antenna shall be considered one (1) communication tower. Measurements for setbacks and separation distances shall be measured from the outer perimeter of a communication tower included in the AM array. Additional tower units may be added within the perimeter of the AM array by right.
- (g) The determination as to whether placement of a communication tower on property assigned the PUD or PCD zoning classification shall be based on the identified zoning or use for that tract within the development.
- (h) Determinations of compliance with the provisions of Sections 30.1362 through 30.1370 or with regard to any matter relating to communication towers shall be made by the current planning manager subject to the appeal processes and procedures as set forth at Sections 30.42 and 30.43.
- (i) To ensure that the least intrusive methods for communication service are implemented, the current planning manager may require detailed written reports from applicants explaining and detailing, among other things, the reasons that co-location, camouflaging, alternative site, or a less intrusive tower or antenna was not proposed.

(Ord. No. 96-5, § 28, 7-9-

**Sec. 30.1364. Performance standards.**

(a) *Setbacks.*

- (1) Communication tower setbacks shall be measured from the outer extremity of the base of the communication tower to the property line of the parcel on which it is located.
- (2) Communication towers shall be located on parcels which comply with the minimum setback and lot size requirements of the zoning classification assigned to the property on which they are located.
- (3) For towers located on properties assigned the PUD or PCD zoning classification, the setback requirements for the parcel outlined in the PUD/PCD approval shall apply.
- (4) In cases where there are non-conforming residential uses on property which is not assigned a residential zoning classification, a reduction of fifty (50) percent of the side or rear yard setback distance opposite the non conforming residential use shall be permitted by the current planning manager unless the side or rear yard proposed for reduction is assigned a residential land use designation or zoning classification.

(b) *Minimum separation from off-site uses/designated areas.*

- (1) Communication tower separation shall be measured from the outer extremity of the base of the tower to the closest property line of the off-site use as specified in Table 1 below.
- (2) Separation requirements for communication towers shall comply with the minimum standards established in Table 1 below unless otherwise provided.
- (3) Reduced separation distances may be reduced by the current planning manager when written consent as set forth in a recordable instrument is obtained from all property owners within the applicable separation distance.
- (4) Separation distances may be decreased or increased by the board of adjustment in accordance with the procedural requirements for variances as set forth in this Code and the substantive determinations as set forth in Table 1 below, when considering whether to approve a special exception, if competent substantial evidence is presented demonstrating unique planning considerations and compatibility impacts.

TABLE 1

MINIMUM SEPARATION FROM OTHER USES

TABLE INSET:

| Off-site Use  | Separation Distance   |
|---|---|
| Property assigned a single-family (includes modular homes and mobile homes used for living purposes), duplex, or multi-family residential zoning classification or future land use designation or with an existing residential use. | 200 feet or 300% height of tower whichever is greater except when a variance is granted based upon findings that the aesthetic impacts of the tower is enhanced, that compatibility with abutting property owners is maintained, and the approval of the tower would be consistent with and further the provisions of Section 30.1362. The standard relative to variances as otherwise set forth in this Code may be considered in determining whether to approve a variance hereunder, but shall not be determinative as to whether the variance may be granted. |
| Property assigned a non-residential zoning classification or future land use designation or property with an existing non-residential use.  | None. Only district setbacks apply.   |

(c) *Separation distances between communication towers.*

- (1) Separation distances between communication towers shall be and measured between the communication tower proposed for approval and those towers that are permitted or existing.
- (2) The separation distances shall be measured by drawing or following a straight line between the GPS coordinate of the center of the existing or permitted communication tower and the proposed GPS

coordinate of the center of the proposed communication tower as depicted on a site plan of the proposed tower.

- (3) The separation distances, listed in linear feet, shall be as set forth in Table 2

TABLE 2

SEPARATION DISTANCES BETWEEN COMMUNICATION TOWERS

TABLE INSET:

| DESCRIPTION                         | EXISTING TOWERS |       |                                     |                                 |            |
|-------------------------------------|-----------------|-------|-------------------------------------|---------------------------------|------------|
|                                     | LATTICE         | GUYED | MONOPOLE 75 FT IN HEIGHT OR GREATER | MONOPOLE LESS THAN 75 IN HEIGHT | CAMOUFLAGE |
| LATTICE                             | 5,000           | 5,000 | 1,500                               | 750                             | 0          |
| GUYED                               | 5,000           | 5,000 | 1,500                               | 750                             | 0          |
| MONOPOLE 75 FT IN HEIGHT OR GREATER | 1,500           | 1,500 | 1,500                               | 750                             | 0          |
| MONOPOLE LESS THAN 75 IN HEIGHT     | 750             | 750   | 750                                 | 750                             | 0          |
| CAMOUFLAGE                          | 0               | 0     | 0                                   | 0                               | 0          |

(4) A variance from the minimum separation distances between communication towers as set forth in Table 2 may be granted when two (2) or more communication tower owners or operators agree to co-locate their communication antennas on the same communication tower and upon findings being made that the aesthetic impacts of the tower is enhanced, that compatibility with abutting property owners is maintained, and the approval of the tower would be consistent with and further the provisions of section 30.1362. The standard relative to variances as otherwise set forth in this Code may be considered in determining whether to approve a variance hereunder, but shall not be determinative as to whether the variance may be granted.

(d) *Measurement of height.* Measurement of communication tower height shall include antenna, base pad and any and all other appurtenances and shall be measured from the finished grade of the parcel on which the communication tower is located.

(Ord. No. 96-5, § 29, 7-9-

**Sec. 30.1366. Abandonment.**

(a) In the event that the use of any communication tower has been found to be discontinued, as determined by the current planning manager, for a period of one hundred eighty (180) consecutive days said tower shall be deemed to have been abandoned.

(b) In the event the communication tower is found by the current planning manager to be abandoned, the owner/operator of the communication tower or the owner of the property on which the communication tower is located shall have one hundred eighty (180) days from the date of the current planning manager's finding of abandonment within which to:

(1) Reactivate the use of the communication tower or transfer the tower to another owner/operator who must make actual use of the tower as previously permitted within ninety (90) days of the transfer, or

(2) Dismantle and remove the communication

(c) Determination of the date of abandonment shall be made by the current planning manager who shall have the power to request documentation and affidavits from the communication tower owner/operator regarding the issue of communication tower usage. The communication tower owner/operator shall provide all requested information within five (5) working days of a request being made.

(d) With regard to towers that received special exception and/or variance approval, one hundred eighty (180) days after dismantling or the expiration of the three hundred and sixty (360) day period as set forth in this section, the special exception and/or variance for the tower shall automatically expire.

(e) Each owner/operator of a communication tower shall post a surety bond, or other instrument or guarantee of a form acceptable to the county attorney, with the current planning manager in favor of the county in an amount found by the current planning manager to be reasonably necessary to remove the communication tower in the event of abandonment. The current planning manager is hereby granted authority to establish this amount based on policy guidelines adopted by the board of county commissioners. The contents of such bond shall include or the bond shall be accompanied with a contingent right of entry which runs with the land to authorize entry upon the property in the event that it is necessary to remove the abandoned tower.

(Ord. No. 96-5, § 31, 7-9-96; Ord. No. 97-18, § 45, 5-13-

**Sec. 30.1367. Communication antennas.**

Any communication antenna which is not attached to a communication tower shall be a permitted ancillary use to any commercial, industrial, professional, institutional, multi-family or utility structure provided that:

- (1) The communication antenna does not exceed more than twenty (20) feet above the highest point of the structure; and
- (2) The communication antenna complies with all applicable FCC and FAA regulations;
- (3) The communication antenna complies with all applicable building codes and laws, rules and regulations.

(Ord. No. 96-5, § 32, 7-9-

**Sec. 30.1368. Co-location of communication tower antennas.**

(a) General policy relating to co-location. To minimize adverse visual impacts associated with the proliferation and clustering of **Communication Towers**, co-location of **Communication Antennas** by more than one (1) carrier on existing or new **Communication Towers** is encouraged. Additional **Communication Antennas** proposed on existing **Communication Towers** are permitted uses and may co-locate onto existing **Communication Towers** if they satisfy the requirements of this section and no special exception is required:

(b) Procedure for administrative granting of special exceptions. If co-location requires utilization of real property for construction of ancillary facilities such as equipment rooms, which uses were not permitted under the applicable zoning code and which uses are expressly prohibited by prior special exceptions, then such ancillary facilities such as equipment rooms shall not be deemed a permitted use as a matter of right under this section unless and until a special exception is issued pursuant to the provisions of this subsection.

(1) The Current Planning Manager, after consultation with the applicant, shall determine in conjunction with the Planning and Development Director, consistent with sound and generally accepted planning and land use principles, whether co-location of ancillary equipment, such as equipment rooms, in support of co-located **communication** antennae are appropriate and meet the criteria of this Section.

(2) Upon a determination that the co-location of ancillary facilities, including equipment rooms, are appropriate for a parcel, the Current Planning Manager shall cause a "Notice of Intent to Allow Co-Location of **Communication Tower** Ancillary Facilities, including Equipment Rooms" to be published in a newspaper of general circulation. The Notice shall, at a minimum, state the address of the real property and the proposed use. The Notice shall further state that any person objecting to the use of the property as described must file a notice of objection with the Current Planning Division within thirty (30) days of the publication.

(3) Upon a determination that co-location of **Communication Tower** ancillary facilities (including equipment rooms) is not appropriate for the subject property, the applicant may appeal said decision to the Board of County Commissioners by filing a notice of appeal with the Current Planning Division within thirty (30) days of the rendering of the decision. The Current Planning Division shall schedule the appeal before the Board. The Board may approve or deny the co-location.

(4) If the Current Planning Division receives no objections to the Notice, in his or her sole discretion, then the Current Planning Manager shall allow the co-location of **Communication Tower** ancillary structures (including equipment rooms) as proposed.

(5) The Planning and Development Director shall issue a development order or denial development order consistent with the determination made under this Section.

(c) Type of construction. A **Communication Tower** which is modified or reconstructed to accommodate the co-location of an additional **Communication Antenna** shall be of the same **Tower** type or a lesser impact **Tower** type, as determined by the Current Planning Manager based upon the intent of Sections 30.1362 through 30.1370 and sound and generally acceptable planning practices and principles, as the existing **Communication Tower**.

(d) Height. An existing **Communication Tower** may be modified or rebuilt to a taller height, not to exceed twenty feet (20') over the Tower's existing height, to accommodate the co-location of an additional **Communication Antenna**. Such a height increase may only occur one (1) time per **Communication Tower** and may be allowed for those sites which obtained previous special exception approval. The additional height authorized herein shall not require an additional distance separation as described in Table 1, Section 30.1364. The **Communication Tower's** pre-modification height shall be used to calculate such distance separations.

(e) Site location. A **Communication Tower** which is being rebuilt to accommodate the co-location of an additional **Communication Antenna** may be moved on the site to an area located within fifty (50') feet of its existing location and may also be relocated, with the approval of the Current Planning Manager based upon sound planning and land use principles and upon a finding that such approval would be consistent with and further the intent of this Code, in the same manner on a site which received a previous special exception notwithstanding any condition of approval relating to the grant of the special exception. After a **Communication Tower** is rebuilt to accommodate co-location, only one (1) **Tower** may remain on the site. A **Communication**

**Tower** relocated on a site shall continue to be measured from the original **Tower** location for purposes of calculating separation distances between **Communication Towers**. A **Communication Tower** which has been relocated on a site and which intrudes into the separation distances required with regard to property described in Table 1, Section 30.1364, shall only be permitted when written consent as set forth in a recordable instrument is obtained from all property owners within the applicable separation distance.

(f) Filing of a master plan. To enhance the County's ability to promote the co-location of **Communication Towers**, any **communication** company that owns or operates a **Communication Tower** in the County or intends to install a **Communication Tower** in the County shall file with the Current Planning Division a master plan indicating the site of all existing **Communication Towers**, any and all proposed **Communication Tower** sites and a statement describing the anticipated **Communication Tower** needs over the next ten (10) years; provided, however, that disclosure of marketing strategies, trade secrets, commercially privileged information or any other information that the provider deems would adversely effect his, her or its ability to compete is not required to be disclosed and the determination of the **communication** company shall be conclusive. The master plan shall be filed on or before January 1 of each year. The master plan is not binding. Its primary purpose is to serve as a mechanism of coordinating co-location of **Communication Towers** between persons and entities involved in that industry.

(Ord. No. 96-5, § 33, 7-9-96; Ord. No. 00-44, § 54, 8-22-

**Sec. 30.1370. Non-conforming uses.**

Bona fide nonconforming communications towers or antennas that are damaged or destroyed may be rebuilt without being required to comply with applicable separation requirements. The type, height, and location of a replacement communication tower shall be of the same type and intensity or of a type and intensity of less impact as the communication tower that was damaged or destroyed. Building permits to rebuild a communication tower shall comply with all building codes and must be obtained within one hundred eighty (180) days from the date the facility is damaged or destroyed. If no permit is obtained or if a permit that was issued expires, the communication tower shall be deemed abandoned in accordance with Section 30.1366.

(Ord. No. 96-5, § 35, 7-9-

Secs. 30.1371–30.1375.

**Sec. 30.1376. Annual report.**

(a) The county manager, or his or her designee, shall issue a report to the board of county commissioners on or before December 31, of each year, beginning in 1997, relating to the status of communication towers in the county, anticipated developments in the telecommunications industry, projected issues to be faced by the county and conceptual county programs and policies to address the challenges that are likely to be faced by the county relative to the matters addressed in this part.

(b) To enhance the county's ability to promote the co-location of communication towers and to address other land use issues relative to communication towers, each communication company that owns or operates a communication tower in the county or intends to install a communication tower in the county shall designate a representative to meet with the current planning division at least annually to discuss and evaluate the issues relating to the siting and other planning issues relating to communication towers as well as technological developments in the communications field.

(Ord. No. 96-5, § 36, 7-9-

**Sec. 30.1377. Required submittals checklist.**

The current planning manager shall develop and widely distribute a checklist for applicants for approvals for the placement of communications towers which checklist shall contain, at a minimum, all of the required submittals and information necessary to make application for approval of a communications tower.

(Ord. No. 97-18, § 44, 5-13-

**Sec. 30.1379. Camouflage towers; where permitted.**

Camouflage communication towers may be permitted by the current planning manager on any parcels which is not assigned a residential zoning classification provided that the current planning manager makes the findings set forth in the definition of the term "camouflage communication tower."

(Ord. No. 97-25, § 14, 5-27-

**Sec. 30.1378. Temporary uses.**

The Current Planning Manager may approve the use of properties for temporary use for the sale of merchandise related to customary seasonal holidays such as Christmas, Easter, the Fourth of July and Valentines Day or for special events on property assigned a zoning classification which permits the use if he or she determines that ingress and egress, parking and requisite setbacks are provided that are consistent with and safeguard the public health, safety, morals and welfare. Any use exceeding a temporary use shall subject the property to all provisions of this Code including, but not limited to, site plan approval, impact fee assessment, master plan approval, and any and all other approvals required by this Code. Notwithstanding any provisions of this Code to the contrary, the parking of semi-tractor trailers and cargo trailer boxes is permitted within property assigned a commercial zoning classification to support the storage or other needs of approved temporary uses.

(Ord. No. 97-18, § 12, 5-13-97; Ord. No. 00-44, § 55, 8-22-

- The package sale of alcoholic beverages shall be prohibited.
- Any additional conditions deemed appropriate by the Board of Adjustment.

Dina Ehlers stated that she has owned and operated the existing business since 1990. She also stated that the reason for the change is to comply with the recent changes to smoking laws as pertaining to bars with less than 10 percent food sales. She further stated that if she is allowed to separate the business which she currently lease two locations 3871 & 3875, she would have a very nice restaurant and a neighborhood bar. She lastly stated that it would be more beneficiary, giving the customers the choice of eating or drinking.

**Mrs. Buchanan made a motion to approve the request per staff recommendation.**

**Mr. Bushrui seconded the motion.**

**The motion passed by unanimous consent (5-0).**

- 11.5555 WAYSIDE DRIVE** - Guy Rizzo, applicant; Request for special exception to establish a theological studies college in the A-1 (Agriculture District); Located on the south side of Wayside Drive, approximately 0.2 mile east of the intersection of Orange Boulevard and Wayside Drive; (BS2004-027).  
Francisco Torregrosa, Planner

**This item was continued until the November 15, 2004 meeting.**

- 12.1051 VAN ARSDALE STREET** - Gary & Elizabeth A. Lashinsky, applicants; Request for (1) special exception to establish a 197 foot tall monopole communication tower in the A-5 (Rural Zoning Classification District); and (2) associated variances from 591 feet to 60 feet, 591 feet to 230 feet, 591 feet to 270 feet, 591 feet to 450 feet and 591 feet to 535 feet to reduce the minimum distance separation from the proposed tower to the nearest properties with single-family dwellings; Located on the east side of Van Arsdale Street, approximately 192 feet north of the intersection of Van Arsdale Street and North County Road 426; (BS2004-029) (BV2004-149).  
Kathy Fall, Senior Planner  
Earnest McDonald, Principal Coordinator

Kathy Fall introduced the location of the application and stated that the subject property abuts a total of five (5) properties where there are existing single-family residences with the separation radius. She also stated that based on the submitted propagation maps and supporting documentation, the applicants have demonstrated a need to expand Sprint's wireless service area by establishing a communication tower in the general vicinity of the subject property. She further

stated that staff recommended approval of the special exception request with the following conditions:

- The proposed tower shall not exceed 194 feet.
- Any improvements and/or additions to the proposed tower shall be submitted for approval to the County.
- A listed species survey shall be provided prior to Final Engineering approval.
- Prior to the final Development Order approval, an application for full concurrency management shall be provided.

Jay Shirah stated that he was speaking on behalf of Sprint PCS. He also stated that they are responsible for the zoning portion of the site and the site acquisition. He also stated that it is always the intent of Sprint PSP to collocate when ever possible. He further stated that at this site it was not possible because doing so would create over lap. He also stated that they felt this area was compatible for a communication tower, there is commercial use, office, and warehouses which is a mixed use. He further stated that the 194 feet monopole type structure is the least intrusive. He lastly stated that the ground equipment would be surrounded with a wooden fence to hide the base equipment.

Gore Hamrick stated that he lives in the property adjacent to the proposed site, and he has lived there for over 17 years. He also stated that he own a tree service and has a horse barn on his property and is concerned about the tower falling over. He further stated that he was concerned about the tower effecting his cell phone service and if he would have to change his current service. He lastly stated that he didn't want the tower in his neighborhood for safety reasons.

Carl Bowman stated that he has had several experiences with radiation and the micro waves from him being a Safety Engineer with Pan American World Airways. He also stated that he didn't like the idea of the tower being that close to his home. He further stated that for health reasons he was against the tower.

Laurian Rauen stated that she own the 11 acre property directly across the street from the proposed site. She also stated that she was one of the three (3) original people that Sprint talked to about the proposed tower. She further stated that she was surprised when they choose that location due to the fact that it is so close to many residents and the church.

Jay Shirah stated that the tower would be built to the standards set forth by the State of Florida. He also stated he was not aware of any towers coming down from the hurricanes that came through Florida. He further stated that in this area it is impossible to meet the 591 foot setback required for distance separation from a tower, but they have chosen the most compatible area.

Richard Shirah stated that he did contact some of the adjacent neighbors to inform them of the proposed communication tower. He also stated that he had a letter of support from one of the adjacent neighbors. He further stated that they turn in three

(3) candidates when a site is chosen. He lastly stated that the health issue is a non issue because it can't be considered as far as the tower is concerned.

Learie Hercules stated that he was an RF Engineer representing Sprint interest. He also stated that he has documentation from the Federal Communication Commission that addresses some of the concerns about radiation and health issues. He also stated the exposure limits adopted by the FCC in 1996 expressed in terms and magnetic field strength and power density for transmitters operating at frequencies from 300 khz to 100 ghz. He further stated that the most restrictive limits on exposure are in the frequency range of 30-300 MHz where the human body absorbs RF energy. He also stated that when a call is made a mobile phone can only transmit 0.6 watts and the communication tower has to transmit back the same 0.6 watts. He lastly stated that the FCC policies with respect to environmental RF fields are designed to ensure that FCC regulated transmitters don not expose the public or workers to levels of RF radiation that are considered by expert organizations to be potentially harmful.

**Mr. Bushrui made a motion to approve the request per staff recommendations.**

**Mrs. Buchanan seconded the motion.**

**The motion passed by (3-2) consent. Mr. Hattaway and Mr. Rozon were in opposition.**

## **REGULAR ITEMS**

### **APPEALS FROM ADMINISTRATIVE DECISIONS:**

**13.1675 DIXON ROAD - Viacom Outdoor / Glenn N. Smith, applicants; Appeal of the Planning Manager's decision to deny a permit for the replacement and/or repair of a nonconforming billboard damaged beyond 50 percent of its replacement value in the A-1 (Agriculture District); Located at the southwest corner of West Interstate-4 and Dixon Road; (BA2004-002).**

**Matt West, Planning Manager**

**This item was continued until the November 15, 2004 meeting.**

## **APPROVAL OF OCTOBER 2004 SPECIAL MEETING MINUTES**

**Mrs. Buchanan made a motion to approve the amended October 4, 2004 minutes.**

**Mr. Bushrui seconded the motion.**

**The motion passed by unanimous consent (5-0).**