
STAFF RECOMMENDATION:

Staff recommends TRANSMITTAL of the request to the State of Florida subject to conditions listed in the attached staff report and development order.

LAND PLANNING AGENCY (LPA) RECOMMENDATIONS:

On December 1, 2004, the Land Planning Agency voted 7-0 to recommend APPROVAL AND TRANSMITTAL of the request subject to staff recommendations.

SCHOOL BOARD COMMENTS

Item VI B: 20 acres west of SR 434 and north of East Red Bug Road; 74 fee simple townhouse units

The change from Low Density Residential to Medium Density Residential will generate more public school students, although the increase should be minimal -- no more than 5-10 additional students. With the opening of Hagerty High School in August 2005, there should be capacity at all levels. If the development trends in this area, shift to multi-family, however, there could be significant impact on the school system.

Thank you for the opportunity to comment.

Dianne L. Kramer, Deputy Supt./Operations
Seminole County Public Schools
407.320.0060 direct line
407.320.0292 FAX

Red Bug Rd. / Cooper Townhomes Large Scale Land Use Amendment Staff Report

Low Density Residential (LDR) to Medium Density Residential (MDR)		Amendment (Z2004-050, 05S.FLU01)
<i>REQUEST</i>		
APPLICANT	Jim Cooper	
PLAN AMENDMENT	Low Density Residential (LDR) to Medium Density Residential (MDR)	
REZONING	A-1 to R-3A	
APPROXIMATE GROSS ACRES	20.12	
LOCATION	North side of East Red Bug Rd., ¼ mile west of SR 434	
BCC DISTRICT	1, Dallari	
<i>RECOMMENDATIONS AND ACTIONS</i>		
STAFF RECOMMENDATION February 8, 2005	Staff recommends TRANSMITTAL of the request subject to conditions listed in the staff report and development order.	
LAND PLANNING AGENCY RECOMMENDATION December 1, 2004	The Land Planning Agency voted 7-0 to recommend TRANSMITTAL of the request subject to staff recommendations.	

STAFF ANALYSIS

Low Density Residential (LDR) to Medium Density Residential (MDR)

Amendment
(Z2004-050,
05S.FLU01)

1. **Property Owner:** Diocese of Orlando, Norbert M. Dorsey, Bishop

2. **Tax Parcel Numbers:** 21-21-31-300-002A-0000
21-21-31-300-002C-0000
21-21-31-300-002D-0000

3. **Development Trends:** The subject property lies in an undeveloped area between commercial uses along S. Central Ave. in the City of Oviedo and agricultural uses to the west, also in Oviedo. Although the adjoining property to the east is vacant, the City has assigned it a zoning and future land use for commercial development. To the south is Dunhill, a single family PUD with a density equivalent to that of R-1BB.

SITE DESCRIPTION

1. **EXISTING AND PERMITTED USES:** The future land use designation of Office, currently assigned to the subject property, permits general office and supporting uses such as schools and day care centers.

Location	Future Land Use*	Zoning*	Existing Use
North	Commercial (City of Oviedo)	Public Lands (City of Oviedo)	Vacant
South	Planned Development	PUD	Single Family
East	Commercial (City of Oviedo)	Commercial (City of Oviedo)	Vacant
West	Low Density Res. / Rural (City of Oviedo)	Agricultural (City of Oviedo)	Vacant

- See enclosed future land use and zoning maps for more details.

COMPREHENSIVE PLAN CONSISTENCY

2. PLAN PROGRAMS - Plan policies address the continuance, expansion and initiation of new government service and facility programs, including, but not limited to, capital facility construction. Each application for a land use designation amendment will include a description and evaluation of any Plan programs (such as the effect on the timing/financing of these programs) that will be affected by the amendment if approved.

Summary of Program Impacts: The proposed amendment does not alter the options or long-range strategies for facility improvements or capacity additions included in the Support Documentation to the Vision 2020 Plan. The amendment request would not be in conflict with the Metroplan Orlando Plan or the Florida Department of Transportation's 5-Year Plan (Transportation Policy 14.1).

A. **Traffic Circulation - Consistency with Future Land Use Element:** *In terms of all development proposals, the County shall impose a linkage between the Future Land Use Element and the Transportation Element and all land development activities shall be consistent with the adopted Future Land Use Element (Transportation Policy 2.1).*

Access to the subject property is via East Red Bug Road, currently an unimproved right-of-way which will have to be constructed to County standards. The nearest arterial is SR 434, approximately ¼ mile to the east of the site. The most recent traffic count information, from 2002, indicates 24,755 daily trips on this road. Based on the recent 6-laning of this facility, operating level of service (LOS) should be no lower than "B." The adopted LOS standard is "D."

B. **Water and Sewer Service – Adopted Potable Water and Sanitary Sewer Service Area Maps:** *Figure 11.1 and Figure 14.1 are the water and sewer service area maps for Seminole County*

The subject property is within the City of Oviedo water and sewer service areas. Water and sewer service are available to the site.

C. **Public Safety – Adopted Level of Service:** *The County shall maintain adopted levels of service for fire protection and rescue...as an average response time of five minutes (Public Safety Policy 12.2.2).*

The property is served by the Seminole County EMS/Fire Station #46. Response time to the site is less than 5 minutes, which meets the County's average response time standard of 5 minutes.

3. REGULATIONS - The policies of the Plan also contain general regulatory guidelines and requirements for managing growth and protecting the environment. These guidelines will be used to evaluate the overall consistency of the land use amendment with the Vision 2020 Plan, but are not applied in detail at this stage.

A. **Preliminary Development Orders: Capacity Determination:** *For preliminary development orders and for final development orders under which no development activity impacting public facilities may ensue, the capacity of Category I and Category III public facilities shall be determined as follows...No rights to obtain final development orders under which development activity impacting public facilities may ensue, or to obtain development permits, nor any other rights to develop the subject property shall be deemed to have been granted or implied by the County's approval of the development order without a determination having previously been made that the capacity of public facilities will be available in accordance with law (Implementation Policy 1.2.3).*

A review of the availability of public facilities to serve this property indicates that there would be adequate facilities to serve this area, or that such facilities could be made available, and that the proposed Plan amendment would create no adverse impacts to public facilities.

B. **Flood Plain and Wetlands Areas - Flood Plain Protection and Wetlands Protection:** *The County shall implement the Conservation land use designation through the regulation of development consistent with the Flood Prone (FP-1) and Wetlands (W-1) Overlay Zoning classifications...(Policy FLU 1.2 and 1.3).*

The site contains significant areas of wetlands. However, these areas will be left largely undisturbed and will be dedicated to Seminole County through conservation easements as required by Policy FLU 1.3.

C. **Protection of Endangered and Threatened Wildlife:** *The County shall continue to require, as part of the Development Review Process, proposed development to coordinate those processes with all appropriate agencies and comply with the US Fish and Wildlife Service and the Florida Fish and Wildlife Conservation Commission Rules as well as other applicable Federal and State Laws regarding protection of endangered and threatened wildlife prior to development approval (Conservation Policy 3.13).*

A threatened and endangered species report shall be required prior to final engineering approval for any proposed development on the subject property.

4. DEVELOPMENT POLICIES - Additional criteria and standards are also included in the Plan that describe when, where and how development is to occur. Plan development policies will be used to evaluate the appropriateness of the use, intensity, location, and timing of the proposed amendment.

A. **Compatibility:** When the County's Future Land Use Map (FLUM) was developed in 1987, land use compatibility issues were evaluated and ultimately defined through a community meeting/hearing process that involved substantial public comment and input. When amendments are proposed to the FLUM, however, staff makes an initial evaluation of compatibility, prior to public input and comment, based upon a set of professional standards that include, but are not limited to criteria such as: (a) long standing community development patterns; (b) previous policy direction from the Board of County Commissioners; (c) other planning principles articulated in the Vision 2020 Plan (e.g., appropriate transitioning of land uses, protection of neighborhoods, protection of the environment, protection of private property rights, no creation of new strip commercial developments through plan amendments, etc.).

Based upon an initial evaluation, the proposed MDR land use may be compatible with the commercial uses existing and proposed to the east, and with the existing single family development in PD to the south. The preserved wetlands on the subject property, as well as the upland preservation area depicted on the site plan, should serve as effective buffers adjacent to any future development to the west and north of the site.

Applicable Plan policies include, but are not limited to, the following:

Transitional Land Uses (Policy FLU 2.5): *The County shall evaluate plan amendments to insure that transitional land uses are provided as a buffer between residential and non-residential uses, between varying intensities of residential uses, and in managing the redevelopment of areas no longer appropriate as viable residential areas. "Exhibit FLU: Appropriate Transitional Land Uses" is to be used in determining appropriate transitional uses.*

"Exhibit FLU: Appropriate Transitional Land Uses" indicates that MDR is an appropriate transitional use adjacent to the single family development to the south, which is consistent with MDR (although the nominal future land use designation is PD). Adjacent to commercial land uses to the east, MDR can be considered compatible with sufficient buffering to minimize any adverse impacts.

Other applicable plan policies include:

*FLU 2.1 Subdivision Standards.
FLU 5.5: Water and Sewer Service Expansion
MDR Future Land Use Definition*

B. **Concurrency Review - Application to New Development:** *For purposes of approving new development subsequent to adoption of this Comprehensive Plan, all adopted public facilities level of service standards and schedules of capital improvements...shall be applied and evaluated...consistent with policies of the Implementation Element... (Capital Improvements Policy 3.2).*

This policy provides for the adoption of level of service (LOS) standards for public facilities and requires that final development orders be issued only if public facilities meeting the adopted LOS are available or will be available concurrent with the development. Additionally, preliminary development orders shall only be issued with the condition that no rights to obtain final development orders or development permits, nor any other rights to develop the subject property are granted or implied by the County's approval of the preliminary development order. The applicant has elected to defer concurrency review and the site will have to demonstrate concurrency compliance at the time of final engineering.

STAFF RECOMMENDATION:

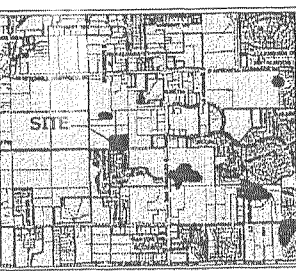
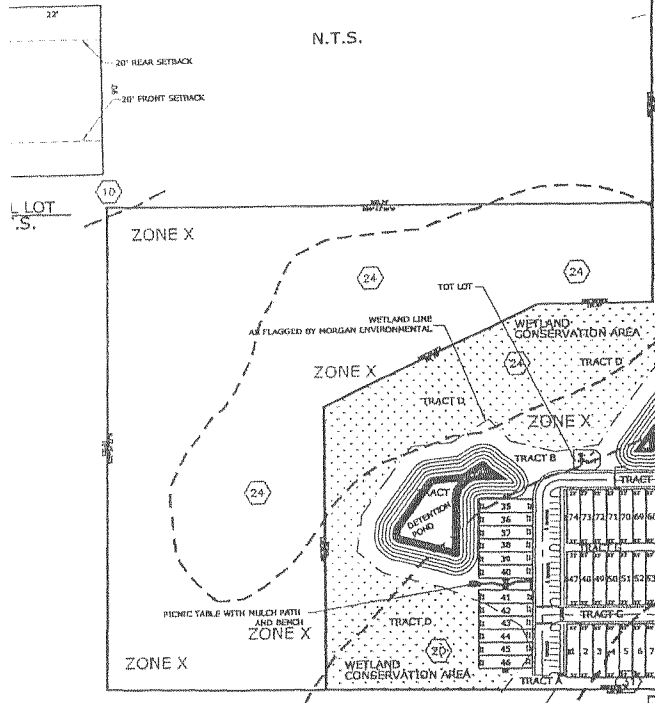
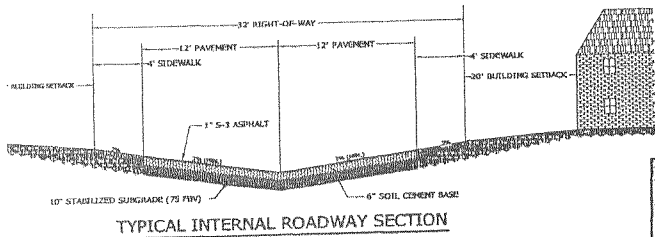
Staff recommends TRANSMITTAL of the request to the State of Florida subject to the attached site plan and the following conditions:

1. Retention ponds will be amenitized in accordance with Section 30.1344 of the Land Development Code.
2. Buffers along the east property line shall contain 4 canopy trees per 100 linear feet, having a minimum caliper of 3" as measured 1 foot above ground, and a 6-foot PVC fence.
3. Building height shall be limited to 35 feet.
4. Building setbacks from the perimeter of the site shall be a minimum of 35 feet.
5. Permitted uses shall be single family homes, townhouses, home occupations, home offices, and appropriate accessory uses.
6. Minimum required setbacks on individual lots shall be:

Front	20'
Rear	20'
Side	0'
7. In the event that sidewalks are installed in easements on privately owned lots, the front building setback shall be no less than 20 feet from the nearest edge of the sidewalk.
8. No accessory buildings shall be permitted on platted townhouse lots.
9. Sidewalks shall be provided adjacent to all dwelling units, and crosswalks shall be designated to establish continuous pedestrian access to all parts of the development.
10. Front walls of the units shall be staggered.
11. The developer shall pave East Red Bug Road to County standards from the project entrance to SR 434.
12. The developer shall provide a sidewalk along East Red Bug Road connecting the development with SR 434.
13. Garage parking spaces shall have minimum dimensions of 10' x 20.'
14. Garages shall not be converted to living space.
15. If parking of recreation vehicles and/or boats on trailers will be permitted within the development, a parking area shall be established separate from townhouse units.

LAND PLANNING AGENCY (LPA) RECOMMENDATION:

On December 1, 2004, the Land Planning Agency voted 7-0 to recommend TRANSMITTAL of the request subject to staff recommendations.

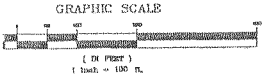


Open Space Area Calculation

Cons. Site Area	20.12	acres
Required External ROW Deductions	0	acres
Public or Private ROW	1.83	acres
Open Areas (incl. alleys)	0	acres
Parking and Shared Areas	0	acres
Residential Lots (if parking)	3.4	acres
Residential Building Footprints (if required)	0	acres
Chaparrals	0	acres
Subtraction (if not applicable per LDC)	2.06	acres
3-Mile Travel/Traverse (i.e. 18 stations)	0.81	acres
Total Open Space	12.82	acres

Net Buildable Acreage Calculation

Cons. Site Area	20.12	acres
External ROW Deductions	0	acres
Non-Residential Outparcels	0	acres
Wetlands	0.82	acres
Wood Pres. Areas	0	acres
Public Road ROW	0	acres
Private Road ROW	0.83	acres
Open Areas (incl. alleys)	0	acres
Lakes	0	acres
Transmission Line Segments	0	acres
Net Buildable Area	0.87	acres



SUR DATA:

- Site located in Section 21, Township 21 South, Range 31 East, Seminole County Florida.
- Current Site Zoning: A-1 Proposed Zoning: R-3A
- Site Contains 20.12 acres more or less
- Existing Use: Vacant/Agricultural
- Proposed Use: Single Family Townhomes
- Total Number of Proposed Lots: 74 (1 Phase only)
- Densitiy/Density: Maximum of 10 D.U. / Net Buildable Area
- Proposed School Age Population: 0.163 x 74 = 12 students (Total Buildout)
- Proposed Minimum Lot Size: 1,083 sq-ft
- Proposed Minimum Lot Width: 22'
- Building Setbacks:
 - a. Frontset setback: 20'
 - b. Sideyard setback: 20'
 - c. Rearset setback: 20'
 - d. Front setback from Sidewalk (where sidewalk not in R/W): 20'
- Off Street Parking:
 - 74 (10' x 20') spaces provided (each lot will include a single garage within the building and driveway space)
 - Seminole County requires 2 spaces per residential unit
 - 74 lots x 2 (spaces per lot) = 148 required spaces
 - 74 (41' street spaces) + 148 (garage spaces + driveway spaces) = 222 proposed spaces
- No construction within 100' of flood plain is proposed.
- All Tracts will be dedicated to a mandatory HOA with an agreement to Seminole County.
- No accessory structures will be permitted on the lots.
- Fire flow shall be provided according to the following:
 - a. Single Family: 300 gpm @ 20 psi
 - b. Multi-Family (2 stories or less): 1,500 gpm @ 20 psi
 - c. Commercial/Recreational: N/A
- Water and Sanitary Sewer services will be provided by City of Gaines.
- The site has water and sewer main routing along Alafaya Trail.
- Blue markers to be installed in streets adjacent to all fire hydrant as per Seminole County Land Development Regulations.
- All traffic markings shall be in accordance with Seminole County and FDOT roadway specifications.
- Project to be constructed in one phase.
- Sidewalks will be provided internal to the subdivision.
- Off-Phase Roadway Improvements to E. Red Bug Road will be made from S.R. 434 to entrance including sidewalks on the north side of the road.
- All Site Wetland areas will be placed in conservation, unless impact is proposed.
- The proposed 8ft status will be owned and maintained by the HOA.
- All retention ponds will be owned and maintained by the HOA with an agreement to Seminole County.
- Front yards of buildings will be staggered to provide architectural variation in the front elevations.

LEGAL DESCRIPTION:

A parcel of land situated within Section 21, Township 21 South, Range 31 East, Seminole County, Florida. Said parcel being more particularly described as follows:

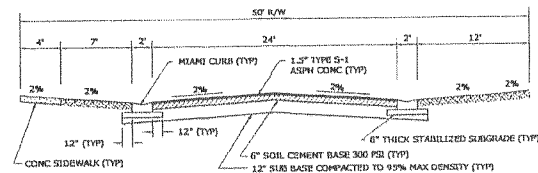
COMMENCING at a 5' x 5' Concrete monument found and accepted as marking the East 1/4 Corner of Section 21, Township 21 South, Range 31 East, Thence North 00 Degrees 36 Minutes 00 Seconds East along the East line of said section a distance of 25.00 to the POINT OF BEGINNING of the parcel herein described, thence along the southerly Right-of-Way line of Red Bug Lake Road, North 89 Degrees 23 Minutes 10 Seconds West, a distance of 963.39'; thence North 00 Degrees 00 Minutes 00 Seconds West, a distance of 478.03'; thence North 64 Degrees 46 Minutes 36 Seconds East, a distance of 339.70'; thence South 89 Degrees 00 Minutes 00 Seconds East, a distance of 191.47' thence North 00 Degrees 36 Minutes 00 Seconds East, a distance of 680.59'; thence South 89 Degrees 23 Minutes, 32 Seconds East, a distance of 419.00'; thence South 00 Degrees 36 Minutes, and 00 Seconds West, a distance of 1,314.26' feet, to the Point of Beginning; said described tract containing 20.12 Acres, (or 876,427 Sq. Ft.), more or less.

TRACT TABLE

TRACT	AREA (AC)	TYPE	OWNERSHIP	EASEMENT
A	0.21	OPEN SPACE	HOA	
B	3.53	OPEN SPACE/PARTITION	HOA	
C	3.97	STREET OFF-WAY	HOA	
D	0.62	CONSERVATION	HOA	
E	0.01	SPF STATION TRACT	HOA	
F	0.23	UNLAWFUL HOUSE QUARTERS	HOA	
G	0.12	OPEN SPACE	HOA	
H	0.20	OPEN SPACE	HOA	
TOTAL	16.12			

SOIL NUMBER SOIL NAME HYDRO. GROUP

(24)	BAMBERG/SANDHILL SUBSTRATUM	U3
(24)	HYDRA/DUNBAR/17M SANDHILL	U3
(24)	HYDRA/17M SANDHILL	A
(24)	LAVANES - REDDIPPER 1500 SUBSTR.	A
(24)	SOILS LINE	
(24)	FORM LINE	



EAST RED BUG ROAD CROSS SECTION N.T.S.

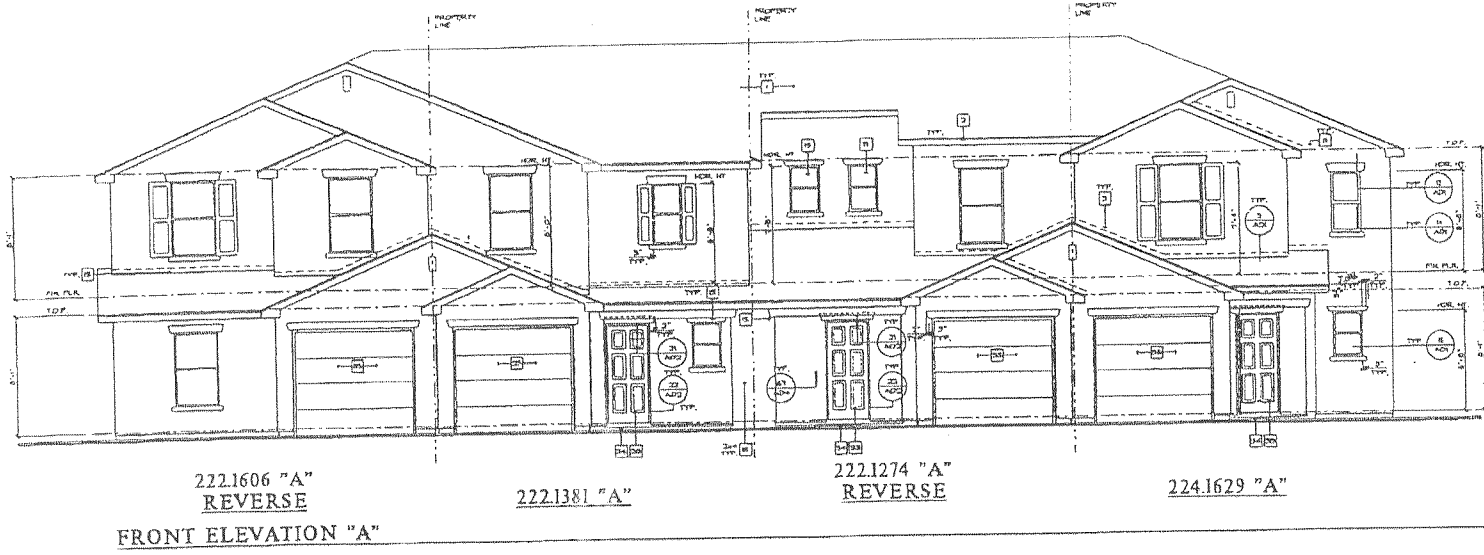
Community Planning
 Project Management
 Civil Engineering
 Landscape Architecture
 Miller
 Linbush
 Rymer &
 Boyd
 330 East Lake Street
 Gaines, Florida 32601
 Phone: 352.335.2111
 Fax: 352.335.2114
 www.mlr.com

MILLER LINBUSH RYMER & BOYD
 REGISTERED PROFESSIONAL ENGINEERS
 LICENSE NO. 12111
 REGISTERED PROFESSIONAL LANDSCAPE ARCHITECTS
 LICENSE NO. 12111

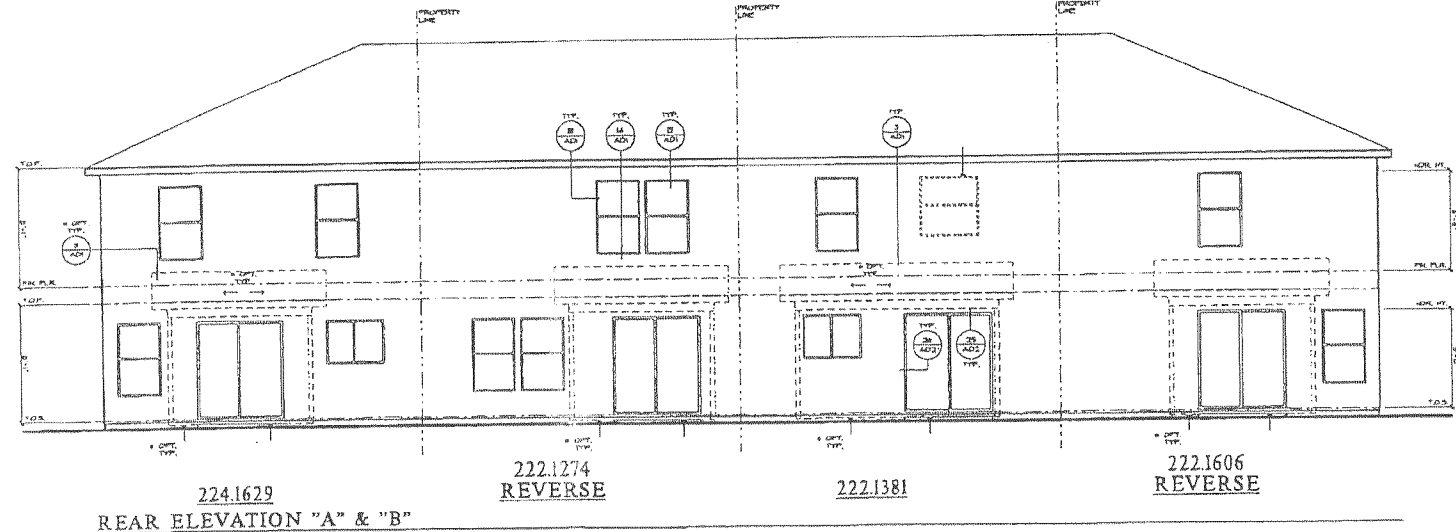
COOPER CREW/PLANNING, LLC
 313 S. JOHNSON STREET, SUITE 100
 GAINESVILLE, FL 32601
 COOPER@MLR.COM
 352.335.2111

COOPER PROPERTY
 SEMINOLE COUNTY, FLORIDA
 OVERALL SITE PLAN

DATE: 5/24/04
 SCALE: 1"=100'
 PROJECT NO: 0006.00
 SHEET NO: G15
 TOTAL SHEETS: G15



FRONT ELEVATION "A"



REAR ELEVATION "A" & "B"

ELEVATION NOTES

<p>1. NOT ALL KEY NOTES APPLY.</p> <p>2. MESH MATERIAL - REFER TO KEYNOTES</p> <p>3. SH PANELS/STAIRS BOARD WITH ALUMINUM PANELS</p> <p>4. (S) PLUMBING</p> <p>5. (S) PLUMBING - BARE/CONCRETE</p> <p>6. (S) DUMP DITCHED</p> <p>7. (S) CONCRETE CURB</p> <p>8. (S) CONCRETE VENT - FITTING OR EQUAL SEE ELEVATION FOR SIZE</p> <p>9. (S) CONCRETE VENT - FITTING OR EQUAL SEE ELEVATION FOR SIZE</p>	<p>10. (S) CONCRETE BRITENES - SEE ELEVATION FOR SIZE</p> <p>11. (S) CONCRETE COVER HOLDERS - FITTING OR EQUAL SEE ELEVATION FOR PART #</p> <p>12. (S) CONCRETE BRITENES</p> <p>13. (S) CONCRETE BRITENES ALLEYS - FITTING OR EQUAL SEE ELEVATION FOR PART #</p> <p>14. (S) CONCRETE BRITENES FINISH OVER DECORATIVE GRIDDLE</p> <p>15. (S) CONCRETE BRITENES FINISH OVER ROUGH FINISH</p> <p>16. (S) CONCRETE BRITENES FINISH OVER ROUGH FINISH SEE ELEVATION FOR SIZE</p> <p>17. (S) CONCRETE BRITENES</p> <p>18. (S) CONCRETE BRITENES</p>	<p>19. (S) BRICK VENT FOR SPOCS</p> <p>20. (S) BRICK VENT FOR SPOCS</p> <p>21. (S) BRICK VENT FOR SPOCS</p> <p>22. (S) BRICK VENT FOR SPOCS</p> <p>23. (S) BRICK VENT FOR SPOCS</p> <p>24. (S) BRICK VENT FOR SPOCS</p> <p>25. (S) BRICK VENT FOR SPOCS</p> <p>26. (S) BRICK VENT FOR SPOCS</p> <p>27. (S) BRICK VENT FOR SPOCS</p>	<p>28. (S) CONCRETE BRITENES WITH STRUCTURAL BODY - FITTING OR EQUAL SEE ELEVATION FOR PART #</p> <p>29. (S) CONCRETE BRITENES WITH STRUCTURAL BODY - FITTING OR EQUAL SEE ELEVATION FOR PART #</p> <p>30. (S) CONCRETE BRITENES WITH STRUCTURAL BODY - FITTING OR EQUAL SEE ELEVATION FOR PART #</p> <p>31. (S) CONCRETE BRITENES WITH STRUCTURAL BODY - FITTING OR EQUAL SEE ELEVATION FOR PART #</p> <p>32. (S) CONCRETE BRITENES WITH STRUCTURAL BODY - FITTING OR EQUAL SEE ELEVATION FOR PART #</p> <p>33. (S) CONCRETE BRITENES WITH STRUCTURAL BODY - FITTING OR EQUAL SEE ELEVATION FOR PART #</p> <p>34. (S) CONCRETE BRITENES WITH STRUCTURAL BODY - FITTING OR EQUAL SEE ELEVATION FOR PART #</p> <p>35. (S) CONCRETE BRITENES WITH STRUCTURAL BODY - FITTING OR EQUAL SEE ELEVATION FOR PART #</p>	<p>36. (S) OPTIONAL DOOR/POOR - REFER TO PLAN OPTIONS</p> <p>37. (S) VERTICAL FINISH CONCRETE BOARD WITH BATT & CF O.C.</p> <p>38. (S) CONCRETE</p> <p>39. (S) CONCRETE BRITENES WITH STRUCTURAL BODY - FITTING OR EQUAL SEE ELEVATION FOR PART #</p> <p>40. (S) CONCRETE BRITENES WITH STRUCTURAL BODY - FITTING OR EQUAL SEE ELEVATION FOR PART #</p> <p>41. (S) CONCRETE BRITENES WITH STRUCTURAL BODY - FITTING OR EQUAL SEE ELEVATION FOR PART #</p> <p>42. (S) CONCRETE BRITENES WITH STRUCTURAL BODY - FITTING OR EQUAL SEE ELEVATION FOR PART #</p> <p>43. (S) CONCRETE BRITENES WITH STRUCTURAL BODY - FITTING OR EQUAL SEE ELEVATION FOR PART #</p> <p>44. (S) CONCRETE BRITENES WITH STRUCTURAL BODY - FITTING OR EQUAL SEE ELEVATION FOR PART #</p>
---	---	---	---	---



ARCHITECTURE

22' TOWNHOMES

KB HOME
OF TAMPA, LLC
3400 Buschwood
Park Drive, Suite 220
Tampa, FL 33618
TEL: (813) 774-7800
FAX: (813) 932-6470

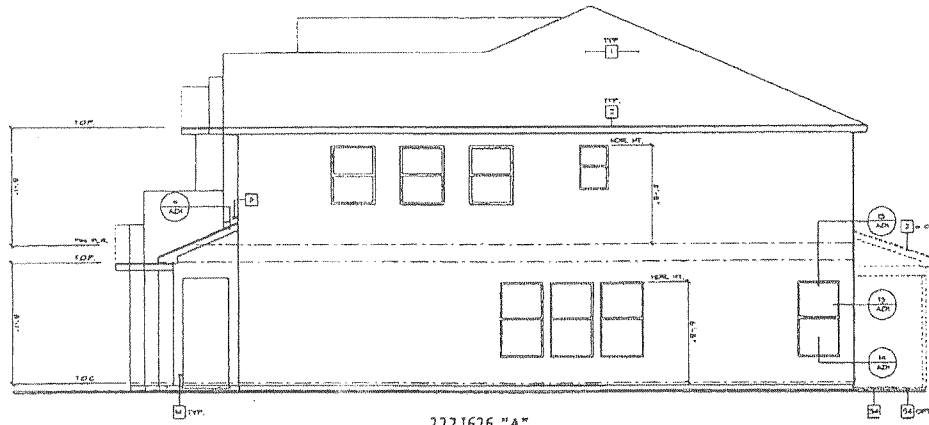
ISSUE DATE: 12/03/03
DRAWN BY: JJ/GF
PROJECT NO.: 120098/09
PROJECT MGR.: JLB

NO. 1	DATE	DESCRIPTION

PLAN: 4 PLEX
SHEET: 3A

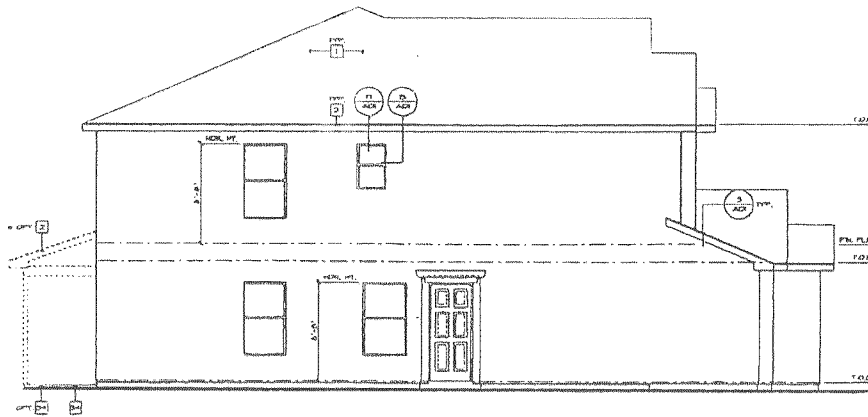
Vertical text on the right edge of the page, likely a project or drawing reference number.

REV. 1.1.0



222.1626 "A"

RIGHT ELEVATION "A"



222.1606 "A"

LEFT ELEVATION "A"

- ELEVATION NOTES**
1. ROOF MATERIAL - REFER TO ROOF NOTES
 2. 2x4 FRAMING/CLAD TOYED WITH HOLLOW INSULATION FIBERGLASS
 3. G.I. FLASHING
 4. G.I. FLASHING + SAND/GRADUATED
 5. G.I. ROOF SHEET
 6. GUTTER/JOINT
 7. DECORATIVE VENEER - FINISH OR EQUAL - SEE ELEVATION FOR PART #
 8. DECORATIVE CORNICE - FINISH OR EQUAL - SEE ELEVATION FOR PART #
 9. DECORATIVE SHUTTERS - SEE ELEVATION FOR SIZE
 10. DECORATIVE COVER HOLDING - FINISH OR EQUAL - SEE ELEVATION FOR PART #
 11. ROUGHNESS FINISH
 12. DECORATIVE DENTAL BLOCKS - FINISH OR EQUAL - SEE ELEVATION FOR PART #
 13. GEOMETRICAL FINISH OVER DECORATIVE CORNICE
 14. GEOMETRICAL FINISH OVER PART #
 15. GEOMETRICAL FINISH OVER BLOCKS FROM SEE ELEVATION FOR SIZE
 16. BUILT UP COLUMN
 17. FIBER GYPSUM TRIM
 18. STONE VENEER HOLD SPACES
 19. BRICK VENEER FOR SPACES
 20. REVEAL
 21. HOLD OVER CORNER
 22. FORMWORK CORNER
 23. FINISH BOARD
 24. FIBER GYPSUM LAMP SINKS - 8" ELEVATION
 25. FIBER GYPSUM SHAKE SINKS - 8" ELEVATION
 26. GEOMETRICAL BLOCK COLUMN
 27. NOT IN USE
 28. DECORATIVE COLUMN WITH STRUCTURAL ROCKET - FINISH OR EQUAL - SEE ELEVATION FOR PART #
 29. DECORATIVE COLUMN ROSE - FINISH OR EQUAL - SEE ELEVATION FOR PART #
 30. DECORATIVE SIDE BRIDGE - FINISH OR EQUAL - SEE ELEVATION FOR PART #
 31. DECORATIVE TRIM - FINISH OR EQUAL - SEE ELEVATION FOR PART #
 32. DECORATIVE POSTS/PL
 33. ENTRY SCENE
 34. CONCRETE STAIRS/SPACER - SEE SLAB INTERFERENCE PLAN
 35. OPTIONAL GARAGE DOOR PER SPETS
 36. OPTIONAL DOOR/SCREEN - REFER TO PLAN DETAILS
 37. VERTICAL FIBER GYPSUM SINKS OVER BATT + 1" O.C. SCISSORING
 38. DOOR COLUMN BY TURNED HOLLOW
 39. VERTICAL FIBER GYPSUM SINKS OVER BATT + 1" O.C. SCISSORING
 40. VERTICAL FIBER GYPSUM SINKS OVER BATT + 1" O.C. SCISSORING
 41. FINISH



22'
TOWNHOMES

KB HOME
OF TAMPA, INC.
3400 Buschwood
Park Drive, Suite 2200
Tampa, FL 33618
TEL: (813) 775-7800
FAX: (813) 932-6471

ISSUE DATE: 12/25/03
DRAWN BY: J/JF
PROJECT NO.: 120099809
PROJECT MGR.: ELS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	12/25/03
2	ISSUED FOR PERMIT	12/25/03
3	ISSUED FOR PERMIT	12/25/03
4	ISSUED FOR PERMIT	12/25/03
5	ISSUED FOR PERMIT	12/25/03
6	ISSUED FOR PERMIT	12/25/03
7	ISSUED FOR PERMIT	12/25/03
8	ISSUED FOR PERMIT	12/25/03
9	ISSUED FOR PERMIT	12/25/03
10	ISSUED FOR PERMIT	12/25/03

PLAN:
4 PLEX
SHEET:
3A1

This document is the property of KB Home of Tampa, Inc. It is to be used only for the project and location specified herein. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of KB Home of Tampa, Inc.



ARCHITECTURE

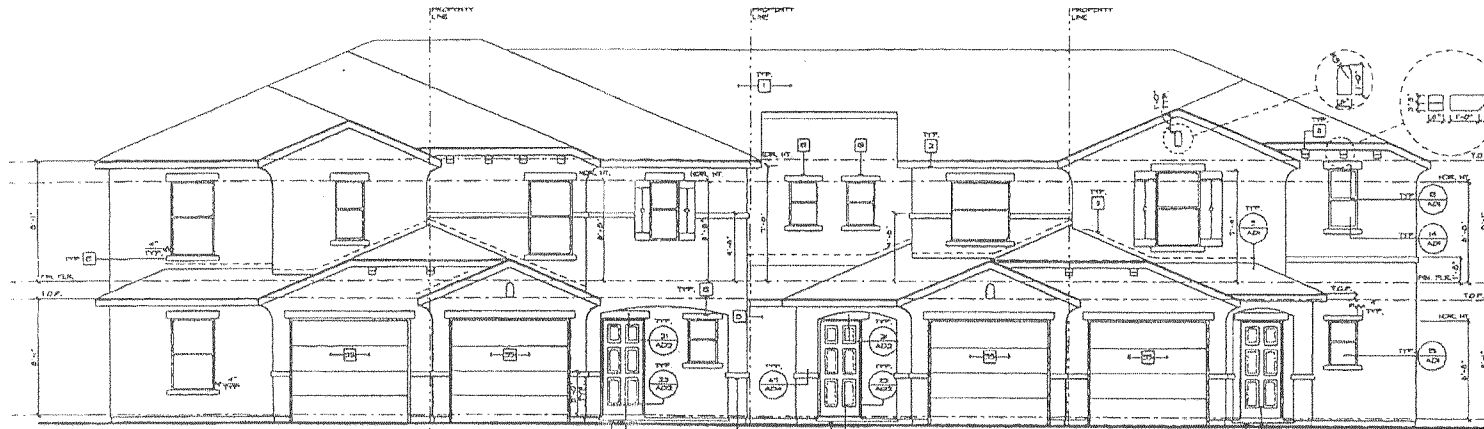
22'
TOWNHOMES

KB HOME
OF TAMPA, INC.
3408 Buschwood
Park Drive, Suite 250
Tampa, FL 33611
TEL: (813) 775-7800
FAX: (813) 932-6470

ISSUE DATE: 12/22/03
DRAWN BY: JJC
PROJECT NO.: 1120649100
PROJECT MGR.: CLR

NO.	DESCRIPTION	DATE

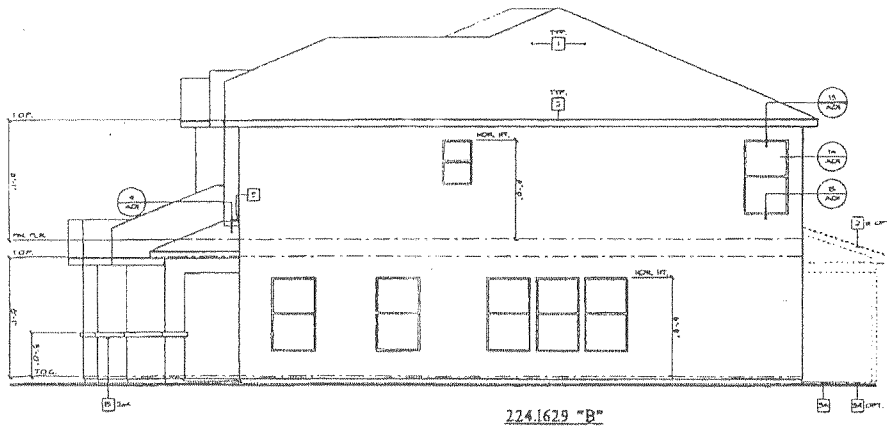
PLACE:
4 PLEX
SHEET:
3.B1



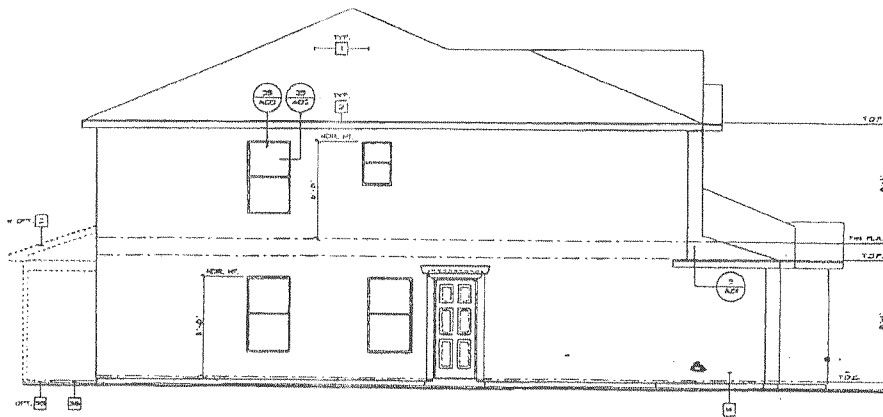
222.1606 "B" REVERSE
222.1381 "B"
222.1274 "B" REVERSE
224.1629 "B"
FRONT ELEVATION "B"

ELEVATION NOTES			
1. ROOF MATERIAL - REFER TO ROOF NOTES	2. 2x4 FINISH/SHIMS BOARD WITH ALUMINUM FINISH CAJ	3. S.I. FLASHING	4. S.I. FLASHING + SADDLE/CORNER
5. ALL UNIT SCALED	6. GENERAL LIGHT	7. DECORATIVE MESH - FITTED ON EQUAL SEE ELEVATION FOR PART #	8. DECORATIVE CORNICE - FITTED ON EQUAL
9. DECORATIVE SHUTTERS - SEE ELEVATION FOR SIZE	10. DECORATIVE COVERED WINDOWS - FITTED ON EQUAL SEE ELEVATION FOR PART #	11. RECESSED ELEMENT	12. DECORATIVE CORNICE BRIDGE - FITTED ON EQUAL SEE ELEVATION FOR PART #
13. CORNICE/ROOF FINISH OVER DECORATIVE CORNICE	14. CORNICE/ROOF FINISH OVER SPICES	15. CORNICE/ROOF FINISH OVER ROOF FINISH SEE ELEVATION FOR PART #	16. MULTI-LIFT SYSTEM
17. STONE MASONRY PER SPEC'S	18. BRICK VENEER PER SPEC'S	19. GENERAL	20. HOLDING COURSE
21. HOLDING COURSE	22. HOLDING COURSE	23. BRICK VENEER PER SPEC'S	24. FINISH BRICK PER SPEC'S
25. FINISH BRICK PER SPEC'S	26. FINISH BRICK PER SPEC'S	27. NOT IN USE	28. DECORATIVE CORNICE PER STRUCTURAL REQUEST - FITTED ON EQUAL SEE ELEVATION FOR PART #
29. DECORATIVE CORNICE BRIDGE - FITTED ON EQUAL SEE ELEVATION FOR PART #	30. DECORATIVE CORNICE BRIDGE - FITTED ON EQUAL SEE ELEVATION FOR PART #	31. DECORATIVE TRAIL - FITTED ON EQUAL SEE ELEVATION FOR PART #	32. DECORATIVE POST/SHELF
33. ENTRY DOOR	34. CONCRETE SIDEWALK PER SPEC'S	35. CONCRETE SIDEWALK PER SPEC'S	36. CONCRETE SIDEWALK PER SPEC'S
37. OPTIONAL SIDEWALK PER SPEC'S	38. VERTICAL FINISH CORNER SIMS PER SPEC'S = 1" O.C.	39. SIDEWALK	40. SIDEWALK PER SPEC'S
41. VERTICAL FINISH CORNER SIMS PER SPEC'S = 1" O.C.	42. SIDEWALK PER SPEC'S	43. VERTICAL FINISH CORNER SIMS PER SPEC'S = 1" O.C.	44. SIDEWALK PER SPEC'S

THIS DRAWING IS THE PROPERTY OF KB HOME ARCHITECTURE. ANY REUSE OR REPRODUCTION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF KB HOME ARCHITECTURE IS STRICTLY PROHIBITED. © 2003 KB HOME ARCHITECTURE.



RIGHT ELEVATION "B"



LEFT ELEVATION "B"

- ELEVATION NOTES**
- NOTE: NOT ALL KEY NOTES APPLY
 1. ROOF MATERIAL - REFER TO ROOF NOTES
 2. EXTERIOR FINISHES - REFER TO FINISH SCHEDULE
 3. S-1 FLASHING
 4. S-1 FLASHING
 5. S-1 FLASHING
 6. S-1 FLASHING
 7. S-1 FLASHING
 8. S-1 FLASHING
 9. S-1 FLASHING
 10. S-1 FLASHING
 11. S-1 FLASHING
 12. S-1 FLASHING
 13. S-1 FLASHING
 14. S-1 FLASHING
 15. S-1 FLASHING
 16. S-1 FLASHING
 17. S-1 FLASHING
 18. S-1 FLASHING
 19. S-1 FLASHING
 20. S-1 FLASHING
 21. S-1 FLASHING
 22. S-1 FLASHING
 23. S-1 FLASHING
 24. S-1 FLASHING
 25. S-1 FLASHING
 26. S-1 FLASHING
 27. S-1 FLASHING
 28. S-1 FLASHING
 29. S-1 FLASHING
 30. S-1 FLASHING
 31. S-1 FLASHING
 32. S-1 FLASHING
 33. S-1 FLASHING
 34. S-1 FLASHING
 35. S-1 FLASHING
 36. S-1 FLASHING
 37. S-1 FLASHING
 38. S-1 FLASHING
 39. S-1 FLASHING
 40. S-1 FLASHING
 41. S-1 FLASHING



22'
TOWNHOMES

KB HOME
OF TAMPA, INC.

3450 Buschwood
Park Drive, Suite 250
Tampa, FL 33618
TEL: (813) 775-7800
FAX: (813) 332-6470

ISSUE DATE: 12/20/03
DRAWN BY: JH/CP
PROJECT NO.: 120009109
PROJECT MGR.: ELR

NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		
31		
32		
33		
34		
35		
36		
37		
38		
39		
40		
41		

PLAN:
4 PLEX

SHEET:
3.B2

B. Red Bug Road / Cooper Townhomes; Jim Cooper, applicant; approximately 20 acres; Large Scale Land Use Amendment from LDR (Low Density Residential) to MDR (Medium Density Residential); and Rezone from A-1 (Agriculture District) to R-3A (Multiple-Family Dwelling District) for townhouses; located on the north side of East Red Bug Road, ¼ mile west of Alafaya Trail. (Z2004-050 / 05S.FLU01)

Commissioner Dallari - District 1
Jeffrey Hopper, Senior Planner

Mr. Hopper introduced the application for a rezoning from A-1 to R-3A and a Large Scale Land Use Amendment from Low Density to Medium Density Residential by Jim Cooper on approximately 20 acres located on the north side of East Red Bug Road, ¼ mile west of SR 434.

Mr. Hopper said that the applicant is proposing a 74-unit townhouse development on a currently unimproved section of East Red Bug Road. The units will be clustered in the southeastern portion of the site. Approximately 8.6 acres of the site are wetlands, which will be preserved in a conservation easement. Net buildable area is 9.7 acres for a net density of 7.7 units per acre. If the development is approved, the property will be subdivided, and the lots and townhome units will be sold fee simple. Visitor parking, which is sometimes an issue in townhouse developments, should be adequate for this project, with 79 off-street spaces proposed in addition to the 2 per unit required by Code. Staff recommends transmittal of the large scale land use amendment and approval of the requested rezone subject to the conditions listed in the development order and your staff report. These conditions include the following: a) Building heights limited to 35 feet; b) Front setbacks shall be 20 feet from sidewalks; c) Developer shall provide a sidewalk along E. Red Bug Road connecting the site with SR 434; and d) Garages shall not be converted to living space.

Commissioner Hattaway asked about staff recommendation number 15. She asked if this would be established in the open space recreation area.

Mr. Hopper said that no such RV parking was planned for the project.

Jim Cooper stated that he concurred with the staff recommendation and that no recreational vehicle parking lot was planned for this project.

Dr. Fred Brough of 454 Moffat Loop asked for clarification of the location of the site. He had not been able to identify it from the location on the map he received as a public notice. His property abuts the county road. He had been told that a wall was going to be going in along the road. He is concerned about noise abatement.

Mrs. Elise Brough stated that she wanted a wall along the road that abuts Dunhill subdivision so that the children from the new subdivision do not cut through the Dunhill properties and use the Dunhill facilities.

Jim Cooper stated that he had developed Dunhill for the DL Mason Company in the 1980's. It is Mr. Cooper's recollection that when Phase II of Dunhill was developed, a wall was to be put in by that developer. There is a large buffer there now. He does not believe a wall is necessary and does not want to build a wall.

Commissioner Peltz made a motion to recommend approval of the request for a Large Scale Land Use Amendment from LDR (Low Density Residential) to MDR (Medium Density Residential); and Rezone from A-1 (Agriculture District) to R-3A (Multiple-Family Dwelling District).

Commissioner Dorworth seconded the motion.

There was no discussion.

The motion passed unanimously.

C. An Ordinance Amending the Land Development Code of Seminole County Sections 2.3, 30.102, 30.122, 30.162, 30.182, 30.202, 30.222, 30.1371; creating definitions; clarifying Permitted Uses in A-1, A-3, A-5, A-10, RC-1, R-1, R-1A, R-1AA, R-1AAA, R-1AAAA, R-1B, R-1BB, and R-2 Zoning categories; creating boat dock and boathouse regulations; providing for severability; providing for codification; and providing for an effective date.

Countywide
Matt West, Planning Manager

Mr. West stated that this ordinance was initiated at the request of the Board of County Commissioners and the Board of Adjustment. It came after a situation arose on a lot zoned A-5 (Agriculture) was purchased on Lake Mills. The property owner wished to put a dock in prior to the building of the house on the lot. The Land Development Code states that the principal structure must be built first, before the accessory structure. Mr. West was directed to draft an ordinance which allows placement of a dock in certain zoning categories prior to the building of the house. A discussion has developed concerning the allowable elevation of a boathouse. Currently it is 10 feet above the mean high water line. This becomes a general policy question. Ten feet is not a lot if you want to lift your boat out of the water and have equipment. On dry land the maximum building height is 35 feet. Having researched the height issue, it was determined that the limitation was to keep the height from being excessive: 2 or 3 stories, thus blocking the view of neighbors. The current ten feet maximum may be too low. Perhaps the building height could be changed. Lake height varies with weather conditions.

**SEMINOLE COUNTY DEVELOPMENT
ORDER**

On May 10, 2005, Seminole County issued this Development Order relating to and touching and concerning the following described property:

Legal description attached as Exhibit A.

(The aforescribed legal description has been provided to Seminole County by the owner of the aforescribed property.)

FINDINGS OF FACT

Property Owner: DIOCESE OF ORLANDO
NORBERT M. DORSEY, BISHOP

Project Name: RED BUG ROAD / COOPER TOWNHOMES

Requested Development Approval: Large Scale Land Use Amendment from Low Density Residential (LDR) to Medium Density Residential (MDR) and rezoning from A-1 (Agriculture) to R-3A (Multiple Family Dwelling District)

The Development Approval sought is consistent with the Seminole County Comprehensive Plan and will be developed consistent with and in compliance to applicable land development regulations and all other applicable regulations and ordinances.

The owner of the property has expressly agreed to be bound by and subject to the development conditions and commitments stated below and has covenanted and agreed to have such conditions and commitments run with, follow and perpetually burden the aforescribed property.

Prepared by: JEFF HOPPER
1101 East First Street
Sanford, Florida 32771

NOW, THEREFORE, IT IS ORDERED AND AGREED THAT:

- (1) The aforementioned application for development approval is **GRANTED**.
- (2) All development shall fully comply with all of the codes and ordinances in effect in Seminole County at the time of issuance of permits including all impact fee ordinances.
- (3) The conditions upon this development approval and the commitments made as to this development approval, all of which have been accepted by and agreed to by the owner of the property are as follows:

- a. Retention ponds will be amenitized in accordance with Section 30.1344 of the Land Development Code.
- b. Buffers along the east property line shall contain 4 canopy trees per 100 linear feet, having a minimum caliper of 3" as measured 1 foot above ground, and a 6-foot PVC fence.
- c. Building height shall be limited to 35 feet.
- d. Building setbacks from the perimeter of the site shall be a minimum of 35 feet.
- e. Permitted uses shall be single family homes, townhouses, home occupations, home offices, and appropriate accessory uses.
- f. Minimum required setbacks on individual lots shall be:

Front	20'
Rear	20'
Side	0'
- g. In the event that sidewalks are installed in easements on privately owned lots, the front building setback shall be no less than 20 feet from the nearest edge of the sidewalk.
- h. No accessory buildings shall be permitted on platted townhouse lots.
- i. Sidewalks shall be provided adjacent to all dwelling units, and crosswalks shall be designated to establish continuous pedestrian access to all parts of the development.
- j. Front walls of the units shall be staggered.
- k. The developer shall pave East Red Bug Road to County standards from the project entrance to SR 434.
- l. The developer shall provide a sidewalk along East Red Bug Road connecting the development with SR 434.
- m. Garage parking spaces shall have minimum dimensions of 10' x 20.'
- n. Garages shall not be converted to living space.
- o. If parking of recreation vehicles and/or boats on trailers will be permitted within the development, a parking area shall be established separate from townhouse units.

(4) This Development Order touches and concerns the aforescribed property and the conditions, commitments and provisions of this Development Order shall perpetually burden, run with and follow the said property and be a servitude upon and binding upon said property unless released in whole or part by action of Seminole County by virtue of a document of equal dignity herewith. The owner of the said property has expressly covenanted and agreed to this provision and all other terms and provisions of this Development Order.

(5) The terms and provisions of this Order are not severable and in the event any portion of this Order shall be found to be invalid or illegal then the entire order shall be null and void.

Done and Ordered on the date first written above.

By: _____
Carlton D. Henley, Chairman
Board of County Commissioners

EXHIBIT A

LEGAL DESCRIPTION:

A parcel of land situated within Section 21, Township 21 South, Range 31 East, Seminole County, Florida. Said parcel being more particularly described as follows:

COMMENCING at a 5" x 5" Concrete monument found and accepted as marking the East ¼ Corner of Section 21, Township 21 South, Range 31 East; Thence North 00 Degrees 36 Minutes 00 Seconds East along the East line of said section a distance of 25.00' to the POINT OF BEGINNING of the parcel herein described;

thence along the southerly Right-of-Way line of Red Bug Lake Road, North 89 Degrees 23 Minutes 10 Seconds West, a distance of 963.39'; thence North 00 Degrees 00 Minutes 00 Seconds West, a distance of 478.03'; thence North 64 Degrees 46 Minutes 30 Seconds East, a distance of 379.70'; thence South 90 Degrees 00 Minutes 00 Seconds East, a distance of 191.42' thence North 00 Degrees 36 Minutes 00 Seconds East, a distance of 660.59'; thence South 89 Degrees 25 Minutes, 32 Seconds East, a distance of 419.00'; thence South 00 Degrees 36 Minutes, and 00 Seconds West, a distance of 1,314.26 feet, to the Point of Beginning; said described tract containing 20.12 Acres, (or 876,427 Sq. Ft.), more or less.

EXHIBIT A

SITE PLAN

AN ORDINANCE AMENDING, PURSUANT TO THE LAND DEVELOPMENT CODE OF SEMINOLE COUNTY, THE ZONING CLASSIFICATIONS ASSIGNED TO CERTAIN PROPERTY LOCATED IN SEMINOLE COUNTY (LENGTHY LEGAL DESCRIPTION ATTACHED AS EXHIBIT); ASSIGNING CERTAIN PROPERTY CURRENTLY ASSIGNED THE A-1 (AGRICULTURAL) ZONING CLASSIFICATION THE R-3A (MULTIPLE FAMILY DWELLING) ZONING CLASSIFICATION; PROVIDING FOR LEGISLATIVE FINDINGS; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION; AND PROVIDING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF SEMINOLE COUNTY, FLORIDA:

Section 1. LEGISLATIVE FINDINGS.

(a) The Board of County Commissioners hereby adopts and incorporates into this Ordinance as legislative findings the contents of the documents titled "Red Bug Road / Cooper Townhomes."

(b) The Board hereby determines that the economic impact statement referred to by the Seminole County Home Rule Charter is unnecessary and waived as to this Ordinance.

Section 2. REZONINGS. The zoning classification assigned to the following described property is changed from A-1 (Agriculture) to R-3A (Multiple Family Dwelling):

LEGAL DESCRIPTION ATTACHED EXHIBIT A

Section 3. CODIFICATION. It is the intention of the Board of County Commissioners that the provisions of this Ordinance shall not be codified.

Section 4. SEVERABILITY. If any provision of this Ordinance or the application thereof to any person or circumstance is held invalid, it is the intent of the Board of County Commissioners that the invalidity shall not affect other provisions or applications of this Ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this Ordinance are declared severable.

Section 5. EFFECTIVE DATE. A certified copy of this Ordinance shall be provided to the Florida Department of State by the Clerk of the Board of County Commissioners in accordance with Section 125.66, Florida Statutes. This Ordinance shall become effective upon the date of filing by the Department and recording of Development Order #4-23000003 in the official land records of Seminole County.

ENACTED this 10th day of May, 2005.

BOARD OF COUNTY COMMISSIONERS
SEMINOLE COUNTY, FLORIDA

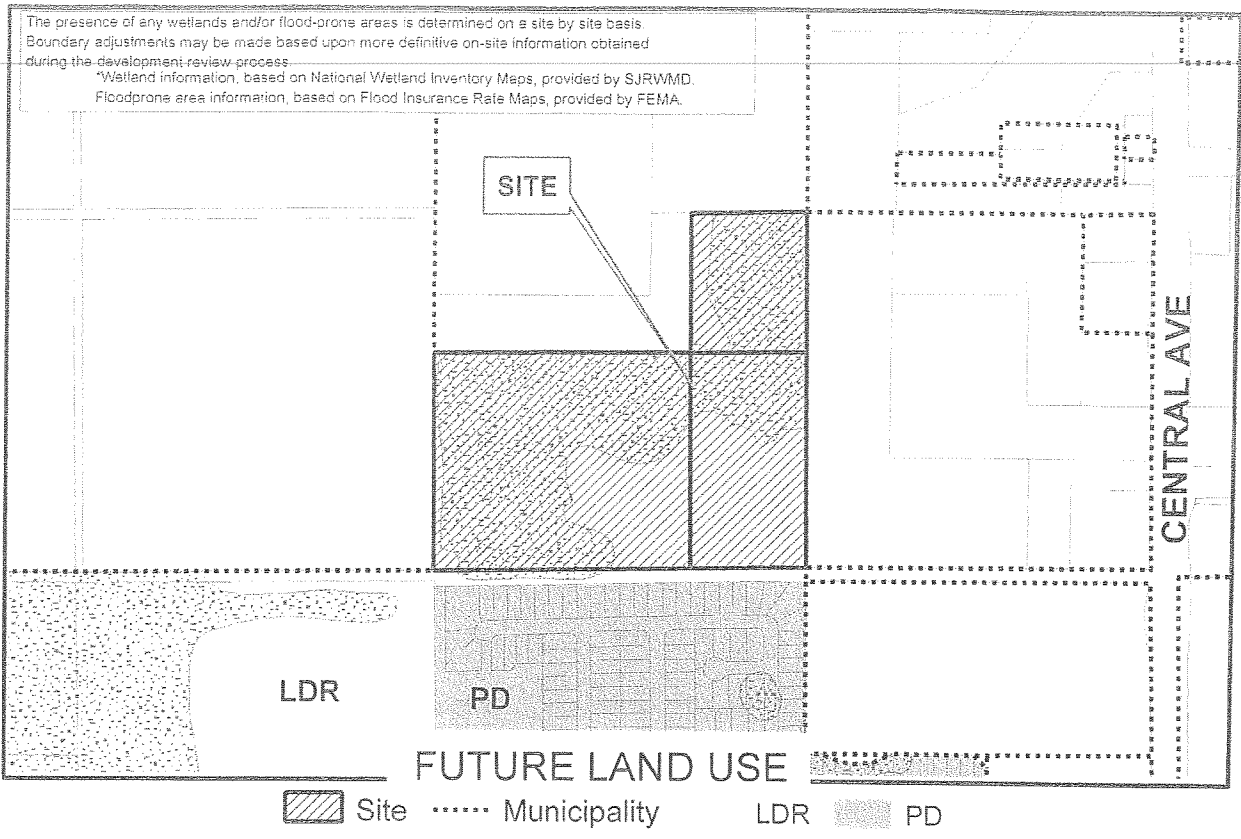
By: _____
Carlton D. Henley
Chairman

EXHIBIT A

LEGAL DESCRIPTION

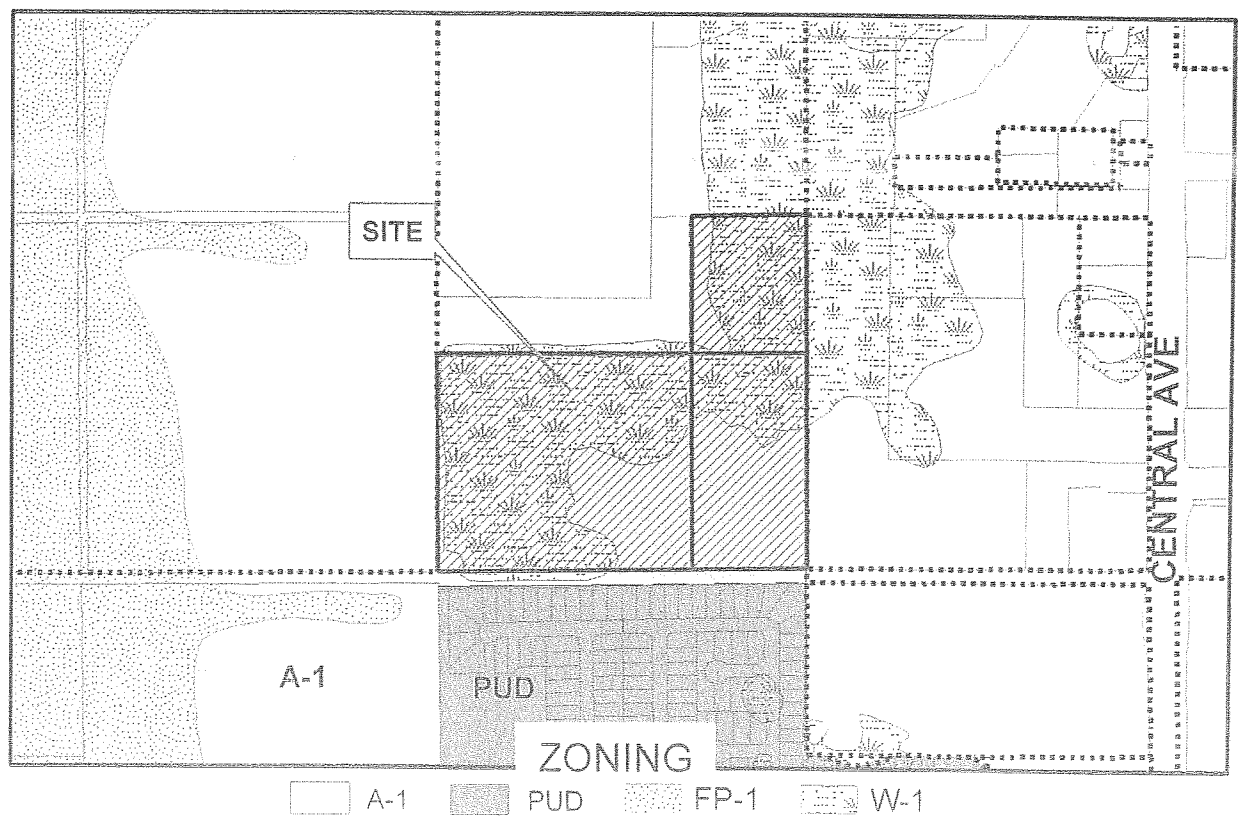
A parcel of land situated within Section 21, Township 21 South, Range 31 East, Seminole County, Florida. Said parcel being more particularly described as follows:

COMMENCING at a 5" x 5" Concrete monument found and accepted as marking the East $\frac{1}{4}$ Corner of Section 21, Township 21 South, Range 31 East; Thence North 00 Degrees 36 Minutes 00 Seconds East along the East line of said section a distance of 25.00' to the POINT OF BEGINNING of the parcel herein described;
thence along the southerly Right-of-Way line of Red Bug Lake Road, North 89 Degrees 23 Minutes 10 Seconds West, a distance of 963.39'; thence North 00 Degrees 00 Minutes 00 Seconds West, a distance of 478.03'; thence North 64 Degrees 46 Minutes 30 Seconds East, a distance of 379.70'; thence South 90 Degrees 00 Minutes 00 Seconds East, a distance of 191.42' thence North 00 Degrees 36 Minutes 00 Seconds East, a distance of 660.59'; thence South 89 Degrees 25 Minutes, 32 Seconds East, a distance of 419.00'; thence South 00 Degrees 36 Minutes, and 00 Seconds West, a distance of 1,314.26 feet, to the Point of Beginning; said described tract containing 20.12 Acres, (or 876,427 Sq. Ft.), more or less.





Applicant: Red Bug Road R-3A Townhomes
 Physical STR: 21-21-31-300-0020, 2A & 2C-0000
 Gross Acres: 29.41 +/- BCC District: 1
 Existing Use: Vacant Residential
 Special Notes: None

	Amend/ Rezone#	From	To
FLU	05S.FLU01	LDR	MDR
Zoning	z2004-050	A-1	R-3A





Amendment No: 05S.FLU01
 From: LDR To: MDR
 Rezone No: Z2004-056
 From: A-1 To: R-3A

-  Parcel
-  Subject Property



February 1999 Color Aerials