

ITEM # 46

**SEMINOLE COUNTY GOVERNMENT  
AGENDA MEMORANDUM**

**SUBJECT:** Request for approval of the Final Site Plan and Addendum #5 to the Mirror Lake Planned Commercial Development (PCD) for Bear Lake Shoppes.

**DEPARTMENT:** Planning & Development **DIVISION:** Planning

**AUTHORIZED BY:** Dori L. DeBord **CONTACT:** Tina Williamson **EXT** 7353

**Agenda Date** 01/09/06 **Regular**  **Consent**  **Work Session**  **Briefing**   
**Public Hearing – 1:30**  **Public Hearing – 7:00**

**MOTION/RECOMMENDATION:**

1. **APPROVE** the Final Site Plan for Lots 2 and 3 of the Mirror Lake Planned Commercial Development (PCD), and authorize the Chairman to execute the attached Addendum #5 to the Mirror Lake PCD Developer's Commitment Agreement, for Bear Lake Shoppes, located at 3860 East State Road 436 (CRF-Bear Lake, LLC, applicant); or
2. **DENY** the Final Site Plan for Lots 2 and 3 of the Mirror Lake Planned Commercial Development (PCD), and deny the attached Addendum #5 to the Mirror Lake PCD Developer's Commitment Agreement, for Bear Lake Shoppes, located at 3860 East State Road 436 (CRF-Bear Lake, LLC, applicant); or
3. **CONTINUE** the request until a time and date certain.

District 3– Commissioner Van Der Weide Tina Williamson, Principal Coordinator

**BACKGROUND:**

The applicant is requesting Final Site Plan approval for Lots 2 and 3 of the Mirror Lake PCD and Addendum #5 to the Mirror Lake PCD Developer's Commitment Agreement to allow for development of an 18,348 sq. ft. retail center and a 1,887 sq. ft. coffee shop.

The Mirror Lake PCD rezone and Development Order were approved by the Board of County Commissioners on February 13, 2001 and the Developer's Commitment Agreement was approved on May 14, 2002. The allowed uses within the PCD are all uses within the C-1 zoning

Reviewed by:	<u>KFT</u>
Co Atty:	<u>KFT</u>
DFS:	<u>AB</u>
OTHER:	<u>DA</u>
DCM:	<u>DA</u>
CM:	<u>DA</u>
File No.	<u>rdp03</u>

district, auto parts sales and service, gasoline pumps as an accessory use to a convenience store and restaurants with drive-thru service. The PCD is allowed to have one restaurant, with the restaurant hours restricted to close no later than midnight. The coffee shop depicted on the attached Final Site Plan constitutes the one restaurant allowed within the PCD. Each lot within the PCD is allowed to develop as a separate phase and an addendum is added to the Developer's Commitment Agreement at the time each Final Site Plan is approved. Addendum #4 in association with Fire Station #13 on Lot 4 was approved by the Board of County Commissioners at their December 12, 2006 meeting.

Staff finds that the proposed Final Site Plan and Addendum #5 to the Mirror Lake PCD Developer's Commitment Agreement comply with all of the conditions contained in the approved Development Order and Developer's Commitment Agreement.

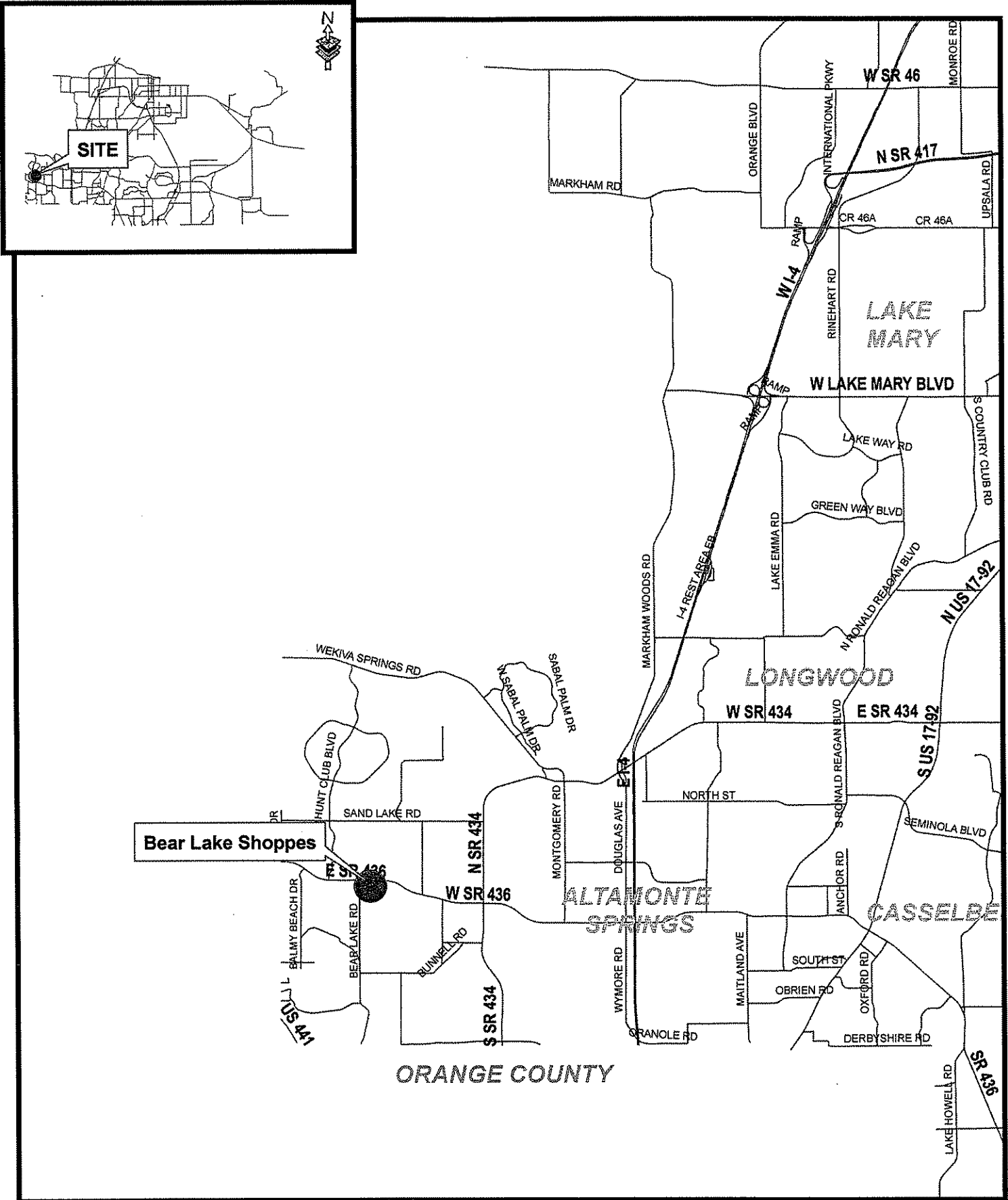
**STAFF RECOMMENDATION:**

Staff recommends APPROVAL of the Final Site Plan for Lots 2 and 3 of the Mirror Lake Planned Commercial Development (PCD), and approval of attached Addendum #5 to the Mirror Lake PCD Developer's Commitment Agreement, for Bear Lake Shoppes, located at 3860 East State Road 436.

**ATTACHMENTS:**

Location Map  
Aerial  
Final Site Plan  
Proposed Addendum #5 to the Developer's Commitment Agreement  
Development Order approved 2/13/01  
Developer's Commitment Agreement Approved 5/14/02  
Addendum #1 to the Developer's Commitment Agreement  
Addendum #2 to the Developer's Commitment Agreement  
Addendum #3 to the Developer's Commitment Agreement  
Addendum #4 to the Developer's Commitment Agreement (under consideration 12/12/06)

# Bear Lake Shoppes PCD





**Bear Lake Shoppes**





**ADDENDUM #5**  
**To The**  
**Mirror Lake Commercial Center PCD**  
**Final PCD Master Plan**  
**Developer's Commitment Agreement**  
**Commitments, Classifications and District Description**  
**(Amended by the Board of County Commissioners on January 09, 2007)**

**ADDENDUM #5**

It is hereby ordered that the Final Site Plan for Lots 2 and 3 of the Mirror Lake PCD A.K.A Bear Lake Shoppes, located on the south side of State Road 436, approximately 755 feet east of Bear Lake Road, as indicated on the attached final site plan (Exhibit A) is hereby incorporated into the Mirror Lake Commercial Center Planned Commercial (PCD), Final PCD Master Plan Developer's Commitment Agreement, Commitments, Classifications, and District Descriptions.

Done and Ordered on this 9<sup>th</sup> Day of January, 2007.

By: \_\_\_\_\_  
Carlton D. Henley  
Chairman  
Seminole County Board of County Commissioners

**OWNER'S CONSENT AND COVENANT**

**COMES NOW**, the owner, CRF- Bear Lake, LLC, on behalf of itself and its heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Development Order.

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Peter A. McFarlane, Registered Agent  
For CRF- Bear Lake, LLC

\_\_\_\_\_  
Witness

**STATE OF FLORIDA**

**COUNTY OF SEMINOLE**

**I HEREBY CERTIFY** that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Peter A. McFarlane, who is personally known to me or who has produced \_\_\_\_\_ as identification and who executed the foregoing instrument.

**WITNESS** my hand and official seal in the County and State last aforesaid this \_\_\_\_\_ day of \_\_\_\_\_, 2007.

\_\_\_\_\_

Notary Public, in and for the County and State  
Aforementioned

My Commission Expires:

**EXHIBIT A**  
**Final Site Plan**



GENERAL SITE NOTES

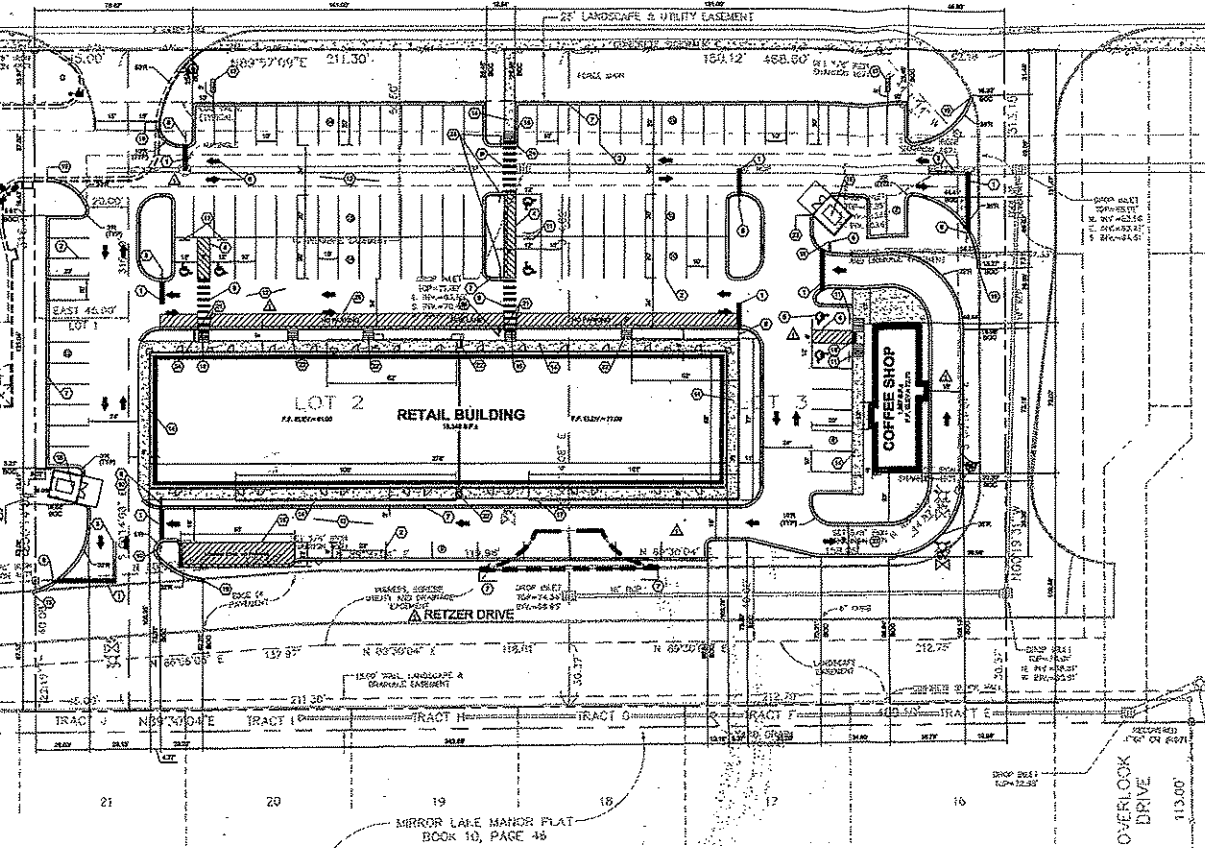
- 1. FOR LEGAL LOCATION, BOUNDARIES, AND DIMENSIONS, REFER TO THE PLAT.
2. FROM ANY CONSTRUCTION CONTRACTOR SHALL TAKE ALL NECESSARY MEASUREMENTS TO DETERMINE PROPOSED BOUNDARIES, CORNERS, AND SHALL VERIFY DIMENSIONS AGAINST ANY SURVEYING RECORD.
3. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS ON ADJACENT LOTS.
4. CONTRACTOR SHALL MAINTAIN PROPOSED CURBS AND GUTTERS, CONCRETE AND PAVEMENT TO EXISTING IN GRADE AND ALIGNED.
5. CONTRACTOR SHALL MAINTAIN PROPOSED A CONCERN TO ACCORDANCE WITH SEMINOLE COUNTY ORDINANCES.
6. THE EXISTING FOR ALL BUILDING FOUNDATIONS AND SHALL BE RECONSTRUCTED WITH ARCHITECTURAL BUILDING PLANS AND PROVISIONS.
7. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ACTUAL FOUNDATION, FOOTING, RAMP & CONCRETE LOCATIONS.
8. CONTRACTOR SHALL COMPLY WITH ALL GOVERNMENT CODES AND BE CONFORMED TO SAME.
9. CONTRACTOR IS RESPONSIBLE FOR KEEPING THE DRAINAGE DRAIN TO ANY EXISTING OR PROPOSED DRAINAGE, DRAINAGE, UTILITY, FURNISH, STORMWATER, ETC. SHALL BE EQUAL TO EXISTING FOR THE ENTIRE PROJECT.
10. CONTRACTOR TO REMOVE OR RELOCATE EXISTING UTILITIES AS SHOWN ON THESE PLANS. CONTRACTOR SHALL VERIFY ALL UTILITIES BEFORE ANY CONSTRUCTION. CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN CONNECTION WITH ALL UTILITIES REMOVED FROM THIS SITE.
11. ALL PAVED AREAS FOR PARKING, DRIVEWAYS SHALL BE ACQUISITION PERMITS AND SHALL BE CONFORMED TO ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
12. DRIVEWAYS SHALL BE CONFORMED TO ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
13. DRIVEWAYS SHALL BE CONFORMED TO ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
14. DRIVEWAYS SHALL BE CONFORMED TO ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
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17. DRIVEWAYS SHALL BE CONFORMED TO ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
18. DRIVEWAYS SHALL BE CONFORMED TO ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
19. DRIVEWAYS SHALL BE CONFORMED TO ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
20. DRIVEWAYS SHALL BE CONFORMED TO ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

SITE DATA

Table with columns: PROPERTY, LOCATION, AREA, PERMITS, etc. Includes project name 'BEAR LAKE SHOPPING CENTER' and location 'CORNER OF S.R. 400 & BEAR LAKE ROAD, SEMINOLE COUNTY, FLORIDA'.

KEYNOTES

- 1. 2" SOLID WHITE PAINTED STOP SIGN PER FOOT INDEX NO. 1794.
2. 4" PAINTED SINGLE WHITE SOLID LINE (STP).
3. 4" PAINTED DOUBLE YELLOW CENTERING STRIPING (CTP).
4. 4" PAINTED SINGLE YELLOW SOLID LINE (STP).
5. 4" PAINTED DOUBLE YELLOW CENTERING STRIPING (CTP).
6. 4" PAINTED SINGLE YELLOW SOLID LINE (STP).
7. 4" PAINTED DOUBLE YELLOW CENTERING STRIPING (CTP).
8. 4" PAINTED SINGLE YELLOW SOLID LINE (STP).
9. 4" PAINTED DOUBLE YELLOW CENTERING STRIPING (CTP).
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12. 4" PAINTED SINGLE YELLOW SOLID LINE (STP).
13. 4" PAINTED DOUBLE YELLOW CENTERING STRIPING (CTP).
14. 4" PAINTED SINGLE YELLOW SOLID LINE (STP).
15. 4" PAINTED DOUBLE YELLOW CENTERING STRIPING (CTP).
16. 4" PAINTED SINGLE YELLOW SOLID LINE (STP).
17. 4" PAINTED DOUBLE YELLOW CENTERING STRIPING (CTP).
18. 4" PAINTED SINGLE YELLOW SOLID LINE (STP).
19. 4" PAINTED DOUBLE YELLOW CENTERING STRIPING (CTP).
20. 4" PAINTED SINGLE YELLOW SOLID LINE (STP).



SCOPES MUST BE DETERMINED AS TO WORK FROM ANY ROOF ADJACENT TO EXISTING STRUCTURE.
EXISTING UTILITIES WILL BE UTILIZED AND PROTECTED AND SHALL BE MAINTAINED AND REPLACED WITH NEW TYPES TO MEET STANDARD.
ADJACENT LOT 1'S ARE OWNED BY THE CITY OF SEMINOLE IN NORTH BAY AREA AND PARCELS ARE:
THE BROWNSVILLE MANAGEMENT AREA WILL HAVE (1) 5 MILLION GALLONS DAILY CAPACITY TRUCKS ON SITE.
TOTAL ACRES: 84.4 ACRES
PROPOSED ZONING: COMMERCIAL
PROPOSED USES: CLUSTERED PLAZA OFFICE BUILDING AND SERVICE BUILDING WITH AN ACCESSORY USE TO A RESIDENTIAL DEVELOPMENT.

UTILITIES: EXISTING UTILITIES TO BE MAINTAINED AND PROTECTED AND REPLACED WITH NEW TYPES TO MEET STANDARD.
LANDSCAPE: LANDSCAPE DESIGN SHALL BE SUBMITTED TO THE CITY OF SEMINOLE FOR REVIEW AND APPROVAL.
OPEN SPACES: APPROXIMATELY 20% OF THE SITE SHALL BE OPEN SPACE IN THE FORM OF BUFFERS AND RETENTION AREAS. THE RETENTION AREAS WILL BE DESIGNED TO COMPLY WITH THE CITY OF SEMINOLE'S STANDARDS FOR OPEN SPACE.

RETAIL BUILDING: 1 STORY 12' CLEAR HEIGHT.
COFFEE SHOP: 1 STORY 12' CLEAR HEIGHT.
LANDSCAPE: LANDSCAPE DESIGN SHALL BE SUBMITTED TO THE CITY OF SEMINOLE FOR REVIEW AND APPROVAL.
OPEN SPACES: APPROXIMATELY 20% OF THE SITE SHALL BE OPEN SPACE IN THE FORM OF BUFFERS AND RETENTION AREAS. THE RETENTION AREAS WILL BE DESIGNED TO COMPLY WITH THE CITY OF SEMINOLE'S STANDARDS FOR OPEN SPACE.

PROPOSED LEGEND

- 1. PROPOSED FUTURE STATE HIGHWAY.
2. EXISTING STATE HIGHWAY.
3. PROPOSED FUTURE STATE HIGHWAY.
4. EXISTING STATE HIGHWAY.
5. PROPOSED FUTURE STATE HIGHWAY.
6. EXISTING STATE HIGHWAY.
7. PROPOSED FUTURE STATE HIGHWAY.
8. EXISTING STATE HIGHWAY.
9. PROPOSED FUTURE STATE HIGHWAY.
10. EXISTING STATE HIGHWAY.

Property Appraiser 10/18/2017 17-21-29-534-0000-0030
17-21-29-534-0000-0029
17-21-29-534-0000-0014
Seminole County
Approved for construction
This approval is subject to specific compliance to the Seminole County Land Development Code and any specific requirements of the Board of County Commissioners. It shall be the responsibility of the developer to correct any defects in the plans or the facility as constructed which results in a failure to meet applicable code requirements. Advertiser's acceptance of the developer's plans does not constitute a waiver of any code requirements nor does it relieve the developer of responsibility to meet those requirements. This specific approval is valid for a period of one year from the date above.

cph logo and contact information for Civil, Professional, and Engineering services. Address: 500 West Palace Street, Tallahassee, FL 32303. Phone: 904-209-4644. Fax: 904-209-4644.

Table with columns: No., Date, and Description. Contains project details and revision history.

SITE DIMENSION PLAN and SITE PLAN. Includes project name 'BEAR LAKE SHOPPING CENTER' and location 'CORNER OF S.R. 400 & BEAR LAKE ROAD, SEMINOLE COUNTY, FLORIDA'. Sheet No. 10.

FILE #PZ00-21

DEVELOPMENT ORDER # 0-20000042

SEMINOLE COUNTY DEVELOPMENT ORDER

BOOK PAGE 4075 0468 SEMINOLE CO. FL.

On February 13, 2001, Seminole County issued this Development Order relating to and touching and concerning the following described property:

Legal description attached as Exhibit A.

(The aforescribed legal description has been provided to Seminole County by the owner of the aforescribed property.)

FINDINGS OF FACT

Property Owner: FLA CONFERENCE ASSN OF SEVENTH DAY ADVENTISTS; BONNIE WINTERSTEEN

Project Name: JOHN PERCY/BEAR LAKE ROAD REZONING

Requested Development Approval: Rezoning from R-1AA and PUD zoning classifications to PCD zoning classification

The Development Approval sought is consistent with the Seminole County Comprehensive Plan and will be developed consistent with and in compliance to applicable land development regulations and all other applicable regulations and ordinances.

The owner of the property has expressly agreed to be bound by and subject to the development conditions and commitments stated below and has covenanted and agreed to have such conditions and commitments run with, follow and perpetually burden the aforescribed property.

RETURN TO SANDY MCCAIN

692946

01 MAY 11 PM 3:38

Prepared by: CINDY MATHENY 1101 East First Street Sanford, Florida 32771

CERTIFIED COPY MARYANNE MORSE CLERK OF CIRCUIT COURT SEMINOLE COUNTY, FLORIDA BY [Signature] DEPUTY CLERK

## Order

## NOW, THEREFORE, IT IS ORDERED AND AGREED THAT:

- (1) The aforementioned application for development approval is **GRANTED**.
- (2) All development shall fully comply with all of the codes and ordinances in effect in Seminole County at the time of issuance of permits including all impact fee ordinances.
- (3) The conditions upon this development approval and the commitments made as to this development approval, all of which have been accepted by and agreed to by the owner of the property are as follows:

1. Access on Bear Lake Road shall be right in/right out only.
2. The Owner to dedicate right-of-way on Bear Lake Road for future intersection improvements. Specific requirements to be determined during Final PCD site plan review.
3. A right turn lane is required on Bear Lake Road.
4. A masonry wall with a minimum 8' height be provided between the site and the residential properties to the south.
5. The south landscape buffer be a minimum of 50' in width.
6. Only one gas station and convenience store combination and one restaurant may be constructed on the site, with the restaurant hours restricted to close at midnight. The gas station operation, based on the location on the site at the corner of Bear Lake Road and SR 436 will be allowed 24 hours of operation.
7. The gas station and convenience store are to be located on the western most part of the lot.
8. Increase setback from the south property line to 100 feet, except for the car wash will shall be 150 feet. The car wash hours are limited to 7 a.m. to 9 p.m.
9. The dumpster pickup hours shall be limited to 8 a.m. to 6 p.m.
10. Delivery times to the restaurant and commercial establishments shall be limited from 7 a.m. to 9 p.m.
11. Dumpsters shall be a minimum 100 feet from the south property line.
12. The hours of operation shall be as requested by the applicant, except as noted above.
13. The Owner is to retain existing trees along the south property line, where feasible.
14. The development is also subject to all development conditions in the attached documents: "Forest Lake South – SR 436 Commercial: Supplemental Conditions of Approval" and "Development Notes" which are incorporated as part of this Development Order and, further, shall be included in the Developer's Commitment Agreement at time of Final PCD plan application.

(4) This Development Order touches and concerns the aforescribed property and the conditions, commitments and provisions of this Development Order shall perpetually burden, run with and follow the said property and be a servitude upon and binding upon said property unless released in whole or part by action of Seminole County by virtue of a document of equal dignity herewith. The owner of the said property has expressly covenanted and agreed to this provision and all other terms and provisions of this Development Order.

(5) The terms and provisions of this Order are not severable and in the event any portion of this Order shall be found to be invalid or illegal then the entire order shall be null and void.

Done and Ordered on the date first written above.

BOARD OF COUNTY COMMISSIONERS

By. 

Dick Van Der Weide  
Chairman

SEMINOLE CO. FL.

4075 0470

OFFICIAL RECORDS  
BOOK PAGE

OWNER'S CONSENT AND COVENANT

COMES NOW; the owner, Florida Conference Association of Seventh Day Adventists, on behalf of itself and its heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Development Order.

Frank McMillan  
Witness Frank McMillan

Cynthia Duncanson  
Cynthia Duncanson  
Director, Church Property Development  
Florida Conference Association of Seventh  
Day Adventists

4075 0471  
SEMINOLE CO., FL.  
BOOK PAGE  
LITURGICAL RECORDS

Lily M. Wilson  
Witness Lily M. Wilson


STATE OF FLORIDA )  
                          *orange* )  
COUNTY OF SEMINOLE )

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Cynthia Duncanson who is personally known to me or who has produced \_\_\_\_\_ as identification and who did take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this \_\_\_\_\_ day of May 7, 2001.

Frank McMillan  
Frank McMillan  
Notary Public, in and for the County and State  
Aforementioned

My Commission Expires:

 Frank McMillan  
MY COMMISSION # CC859317 EXPIRES  
August 28, 2003  
BONDED THRU TROY FAIN INSURANCE, INC.

OWNER'S CONSENT AND COVENANT

COMES NOW, the owner, Bonnie Wintersteen, on behalf of herself and her heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Development Order.

Louaine S. Foster  
Witness

Bonnie Wintersteen  
Bonnie Wintersteen

[Signature]  
Witness

BOOK PAGE  
4075 0472  
SEMINOLE CO. FL.

STATE OF FLORIDA )

COUNTY OF SEMINOLE )

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Bonnie Wintersteen who is personally known to me or who has produced \_\_\_\_\_ as identification and who did take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this 3rd day of May, 2001.

[Signature]

Notary Public, in and for the County and State  
Aforementioned

My Commission Expires:

KENNETH M. BEANE  
NOTARY PUBLIC - STATE OF FLORIDA  
COMMISSION # CCB5742B  
EXPIRES 8/30/2003  
BONDED THRU ASA 1-888-NOTARY1

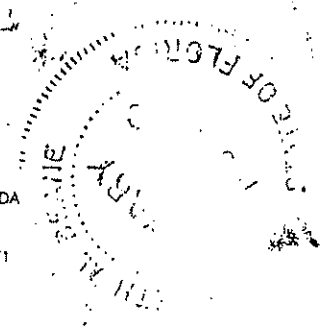


EXHIBIT A  
LEGAL DESCRIPTION

OFFICIAL RECORDS  
BOOK PAGE  
4075 0473  
SEMINOLE CO., FL.

## LEGAL DESCRIPTION

That portion of the SW ¼ of the SW ¼ of Section 8, Township 21 South, Range 29 East, Seminole County, Florida lying Southerly of State Road No. 436.

### TOGETHER WITH:

The West ½ of the NW ¼ of Section 17, Township 21 South, Range 29 East, Seminole County, Florida less the South 2,508 feet; also less the East 25 feet and less the right-of-way for Bear Lake Road; subject to a 25 foot right-of-way easement over the South 25 feet of the above described property, and Lots 1-12, inclusive, Mirror Lake Manor, according to Plat recorded in PB 10, Page 46 of the Public Records of Seminole County, Florida, together with roads to be vacated.

Less Mirror Lake; for a total of approximately 9.3 +/- acres.



#13691  
11/22/00

SEMINOLE CO. FL.

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OFFICIAL RECORDS  
PAGE

Forest Lake South - SR 436 Commercial

SUPPLEMENTAL CONDITIONS OF APPROVAL

Design Factors re: Neighbors to South

	<u>Original Plan</u>	<u>Revised Plan</u>
Buffer Width		
1 story	25'	50'
2 story	50'	50'
Wall Height	6'	8'
Wall Type	Masonry	Subject to approval by neighbors; default to Code
Wall Location	On property line	10' north of property line*
Canopy Trees/100 LF	8	8
Caliper of Trees	2-1/2" (30 gallon)	4" (100 gallon)
Minimum Tree Height	8'	16'
Tree Location	North of wall	Up to 4/100 LF south of wall at neighbor's choice
Minimum Building Setbacks		
1 story	50'	75'
2 story	100'	115'
Maximum Building Height	35'	30'
Commercial	1 story	1 story
Office	3 stories	2 stories
Minimum Dumpster Setback	Not specified	50'

\* Wall location will require agreement of all 9 immediate neighbors. Neighbors will be responsible for all maintenance south of wall. Property south of wall will be deeded to neighbors within 6 months of completion of project. Wall/fence design next to retention area will require acceptance by Lot 13 owner or code requirements will apply.

Other Commitments

- Mandatory Property Owners Association will be formed to fund and manage maintenance of landscape, walls, entries, stormwater area, etc.
- Signs shall comply with code; pole signs shall not be allowed.
- Dumpster service limited to 8:00 a.m. to 10:00 p.m.
- Dumpsters must be screened from view by an enclosure and landscaping; the enclosure must be architecturally consistent with the primary building; opening will not face south.
- Building facades within 150' of property line and facing residential neighbors must include architectural features consistent with other sides of the building.
- Ground mounted mechanical equipment must be screened from view by an enclosure and landscaping; the enclosure must be architecturally consistent with the primary building.
- Roofs must be designed so as to screen from view any roof mounted mechanical equipment.
- Existing trees will be utilized within required front and rear buffer yards and supplemented with new trees to meet standard.
- Minimum caliper of 3" (65 gallon) for all required trees in north buffer and parking areas.
- The stormwater management area will have 3 (15 gal container) bald cypress trees or other Florida native canopy trees per 100 lineal feet of shore in addition to buffer along south edge.

DEVELOPMENT NOTES

**Total Acres:** 9.3 +/- acres  
 Including .77 +/- acres proposed to be vacated.  
 Not Included: 1.5 +/- acres of Conservation and Lake land uses; not proposed to be changed.

**Current Zoning:** R-1AA

**Proposed Zoning:** PCD

**Proposed Uses:** C-1 uses plus auto parts sales and service; gasoline pumps as an accessory use to a convenience store, and restaurants with drive-thru service.

**Development Program:** The development up to 40,000 square feet of commercial uses (retail/restaurant/service) or up to 120,000 square feet of office use, or any combination of commercial and office uses not exceeding 100% of the maximum total. For example, if 25% (10,000 sq. ft.) of the Commercial use is built, then no more than 75% (90,000 sq. ft.) of the Office use could be built. Development will be consistent with the general building layout concepts demonstrated here as delineated by and subject to setback, parking, stormwater and landscaping requirements.

**Max Building Heights:** Up to 2 stories for office uses; 1 story for all other uses; 35' maximum height for all buildings.

**Access Points:** Limited to those shown on plans.

**Easements:** Easements to be recorded for utility lines and for access to utility stations as indicated on plans.

**Stormwater:** Stormwater management systems provided on-site consistent with requirements of Seminole County and SJRWMD.

**Wetlands:** Less than 10% of wetlands on-site to be impacted.

**Buffer Width:** 35' min. for 1 story buildings and 50' min for 2 story buildings.

**Landscaping:** The landscape of all buffers, parking, retention and site development areas shall be in accordance with Seminole County Code unless otherwise noted on plan. The general concept for landscaping is to create a fairly structured appearance through the use of hedges, canopy trees and supplemental/accent materials. Existing trees will be utilized within required front and rear buffer yards and supplemented with new trees to meet standard.

**Open Space:** A minimum of 30% of the site will be open space in the form of buffers and retention area. The retention area will be designed to qualify as open space per code. Buffering between parcels will consist primarily of hedges and canopy trees.

**Operating Hours:** Operating hours will be no more than 7:00 a.m. to 11:00 p.m except Gas/Auto uses may be open up to 24 hours and Restaurant may be open 6:00 a.m. to 1:00 a.m.

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 SEMINOLE CO. FL.  
 OFFICIAL RECORDS  
 BOOK PAGE

**Stormwater Pond Screening:**

The stormwater pond will be screened from adjacent residential use by a wrought iron fence, hedge and canopy trees or other design subject to approval by neighbor. If written approval cannot be obtained from the neighbor, a buffer including a masonry wall consistent with code will be used.

**Minimum Building Setbacks:**

1 story: 75'  
2 story: 100'

**Wall Location:**

South wall to be located up to 10' north of property line. Wall location will require agreement of all 9 immediate neighbors. Neighbors will be responsible for all maintenance south of wall. Property south wall will be deeded to neighbors within 6 months of completion of project. Wall/fence design next to retention area will require acceptance by Lot 13 owner or code requirements will apply.

**Maintenance:**

Mandatory Property Owners Association will be formed to fund and manage maintenance of landscape, walls, entries, stormwater area, etc.

**Signs:**

Signs shall comply with code; pole signs shall not be allowed.

**Dumpsters:**

Dumpster service limited to 8:00 a.m. to 10:00 p.m. Dumpsters to be setback a minimum of 50'. Dumpsters must be screened from view by an enclosure and landscaping; the enclosure must be architecturally consistent with the primary building; opening will not face south.

**Building Facades:**

Building facades within 150' of property line and facing residential neighbors must include architectural features consistent with other sides of the building.

**Mechanical Equipment:**

Ground mounted mechanical equipment must be screened from view by an enclosure and landscaping; the enclosure must be architecturally consistent with the primary building. Roofs must be designed so as to screen from view any roof mounted mechanical equipment.

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SEMINOLE CO. FL.  
OFFICIAL RECORDS  
BOOK PAGE

RETURN TO SANDY MCC/ Y

1419 May 2002  
BTR (1b) 2001

MIRROR LAKE COMMERCIAL CENTER PCD  
(f/k/a Bear Lake Road PCD)

FINAL PCD MASTER PLAN  
DEVELOPER'S COMMITMENT AGREEMENT  
COMMITMENTS, CLASSIFICATIONS AND DISTRICT DESCRIPTION

On the 14<sup>th</sup> day of May, 2002, the Board of County Commissioners of Seminole County issued this Agreement relating to and touching and concerning the following described property:

1. LEGAL DESCRIPTION

That portion of the SW ¼ of the SW ¼ of Section 8, Township 21 South, Range 29 East, Seminole County, Florida lying Southerly of State Road No. 436.

TOGETHER WITH:

The West ½ of the NW ¼ of Section 17, Township 21 South, Range 29 East, Seminole County, Florida less the South 2,508 feet; also less the East 25 feet and less the right-of-way for Bear Lake Road; subject to a 25 foot right-of-way easement over the South 25 feet of the above described property, and Lots 1-12, inclusive, Mirror Lake Manor, according to Plat recorded in PB 10, Page 46 of the Public Records of Seminole County, Florida, together with the vacated roads.

Less Mirror Lake; for a total of approximately 9.3 +/- acres.

2. PROPERTY OWNER

Florida Conference Association of Seventh Day Adventists

3. REQUESTED DEVELOPMENT APPROVAL

Approval of a Final PCD site plan attached hereto as Exhibit "A" and incorporated herein by reference.

4. STATEMENT OF BASIC FACTS

- A. Total Area: 9.3 acres
- B. Zoning: Planned Commercial Development
- C. Allowable Uses: C-1 uses plus auto parts sales and service; gasoline pumps as an accessory use to a convenience store, and restaurants with drive-thru service.

D. The development approval sought is consistent with the Seminole County Comprehensive Plan and will be developed consistent with and in compliance with all other applicable regulations and ordinances.

CERTIFIED COPY  
MARYANNE MORSE  
CLERK OF CIRCUIT COURT  
SEMINOLE COUNTY, FLORIDA

MARYANNE MORSE, CLERK OF CIRCUIT COURT SEMINOLE COUNTY, CFN 2002923039 BK 04488 PG 0818 RECD 08/12/2002 09:18:37 AM RECD BT S Dainey

E. The Owner of the property has expressly agreed to be bound by and subject to the development conditions and commitments stated below and has covenanted and agreed to have such conditions and commitments run with, follow, and perpetually burden the aforescribed property.

5. LAND USE BREAKDOWN

USE	AREA (Acres)	% OF SITE
COMMERCIAL BUILDINGS	.92 MAX	9.89
HOME SITES	0.00	0.00
ROADS AND PARKING	4.59 MAX	49.36
STORMWATER MANAGEMENT AREA	2.15	23.12
CONSERVATION (WETLANDS)*	0.00	0.00
ADDITIONAL OPEN SPACE/BUFFERS/LANDSCAPE AREAS	1.64 MIN	17.63
TOTAL	9.3	100.00

\*None included within the PCD zoned land.

6. OPEN SPACE

Maintenance of the open space common areas shall be funded by the Owner or its assigns.

Total Land Area: 9.3 acres

Required Space: 30% = 9.3 acres x 0.30 = 2.79 acres open space

Open Space Provided: 3.79 acres (40.75%)

7. BUILDING SETBACKS

Front 25'  
 Side 0'  
 Rear  
 - 1 Story 75'  
 - 2 Story 115'  
 Maximum Building Height 30'

9. LANDSCAPE & BUFFER CRITERIA

A. Landscaping shall be in conformance with the Seminole County Land Development Code unless otherwise stated in this Agreement.

B. Adjacent to Lots 22, 23 and 24 to the south, the Owner shall install 4 understory trees per 100 lineal feet within the required landscape buffer.

10. DEVELOPMENT COMMITMENTS

The following conditions shall be met by the Owner prior to a certificate of occupancy (C.O.) Being issued:

- (1) Access on Bear Lake Road shall be right in/right out only.
- (2) The Owner to dedicate 20' of right-of-way on Bear Lake Road for future intersection improvements.
- (3) A right turn lane is required on Bear Lake Road.
- (4) A masonry wall with a minimum 8' height be provided between the site and the residential properties to the south.
- (5) The south landscape buffer be a minimum of 50' in width.
- (6) Only one gas station and convenience store combination and one restaurant may be constructed on the site, with the restaurant hours restricted to close at midnight. The gas station operation, based on the location on the site at the corner of Bear Lake Road and SR 436 will be allowed 24 hours of operation.
- (7) The gas station and convenience store are to be located on the western most part of the lot.
- (8) Increase setback from the south property line to 100 feet, except for the car wash will be 150 feet. The car wash hours are limited to 7 a.m. to 9 p.m.
- (9) The dumpster pickup hours shall be limited to 8 a.m. to 6 p.m.
- (10) Delivery times to the restaurant and commercial establishments shall be limited from 7 a.m. to 9 p.m.
- (11) Dumpsters shall be a minimum 100 feet from the south property line.
- (12) The hours of operation shall be as requested by the applicant, except as noted above.
- (13) The Owner is to retain existing trees along the south property line, where feasible.
- (14) The development is also subject to all development conditions in the attached documents: "Forest Lake South - SR 436 Commercial: Supplemental Conditions for Approval" and "Development Notes" which are incorporated as part of this Development Order and, further, shall be included in the Developer's Commitment Agreement at time of Final PCD plan application.

11. WATER, SEWER AND STORMWATER

**Water:** Water services shall be provided by the existing Seminole County water system. Design of lines and fire hydrants shall conform to all Seminole County and Florida Department of Environmental Protection standards.

**Sanitary Sewer:** Sanitary sewer shall be provided by the existing Seminole County treatment facilities. Design of lines and pump stations shall conform to all Seminole County and Department of Environmental Protection standards.

**Stormwater:** Stormwater drainage and stormwater management shall be provided on-site according to Seminole County's and the St. Johns River Water Management District's Stormwater regulations.

**Fire Protection:** Fire protection shall be provided by Seminole County. Fire flow will be a minimum of 1,250 gpm and 20 p.s.i. Fire hydrants shall be located according to Seminole County regulations.

12. PHASING

The project is proposed to be developed in a single phase for infrastructure for all lots. Actual lot development will occur on a lot-by-lot basis as lots are sold. The Owners agree that each lot shall either be supported by existing infrastructure or the Owners shall provide the infrastructure necessary to support the development of each lot.

13. SITE PLAN APPROVAL

The development of each lot is required to undergo PCD Final Master Plan/site plan approval.

14. REPLACEMENT TREES

Replacement trees, as required for the development of individual lots, will be provided at the time of development of each lot.

15. STANDARD COMMITMENTS

(1) Unless specifically addressed otherwise therein, all development shall fully comply with all of the codes and ordinances, including impact fee ordinances, in effect in Seminole County at the time of permit issuance.

(2) The conditions upon this development approval and commitment made as to this development approval have been accepted by and agreed to by the Owners of the property.

(3) This Agreement touches and concerns the aforescribed property, and the conditions, commitments, and provisions of this Agreement shall perpetually burden, run with, and follow the said property and be a servitude upon and binding upon said property unless released in whole or part by action of Seminole County by virtue of a document of equal dignity herewith. The Owners of said property have expressly covenanted and agreed to this provision and all other terms and provisions of this Agreement.

(4) The terms and provisions of this Agreement are not severable, and in the event any portion of this Agreement shall be found to be invalid or illegal, then the entire Agreement shall be null and void.

ATTEST

Mary Anne Morse  
Clerk to the Board of County  
Commissioners, Seminole  
County, Florida

BOARD OF COUNTY COMMISSIONERS  
SEMINOLE COUNTY, FLORIDA



Daryl G. McLain  
Chairman

Approved for legal  
Sufficiency:

As authorized for execution by the Board  
of County Commissioners at their  
May 14, 2002, regular meeting.

*Karen Cousins*  
County Attorney

*Develyn Comstock*  
*Murice Lake Comm. etc*



OWNERS' CONSENT AND COVENANT

The undersigned parties hereby agree to the terms and conditions set forth herein this

22nd day of July, 2002:

WITNESSES:

Anita F. Perez

Printed Name Anita F. Perez

[Signature]

Printed Name Frank McMillan

STATE OF FLORIDA  
COUNTY OF SEMINOLE Orange

The foregoing instrument was acknowledged before me this 22nd day of July, 2002, by Randee R. Reynolds, an individual, who is personally known to me or who produced \_\_\_\_\_ as identification.

\*as Vice President of Florida Conference Association of Seventh-day Adventists, on behalf of the corporation  
Signature of Notary Public

[Signature]

Frank McMillan

(Print Notary Name)

My Commission Expires:

Commission No.:

Personally known or

Produced Identification

Type of Identification Produced



Frank McMillan  
MY COMMISSION # CC859317 EXPIRES  
August 28, 2003  
BONDED THRU TROY FAIN INSURANCE, INC

EXHIBIT A

REFER TO OFF-SITE IMPROVEMENTS  
PLAN FOR ADDITIONAL DETAIL

STATE ROAD NO. 338

REFER TO OFF-SITE IMPROVEMENTS  
PLAN FOR ADDITIONAL DETAIL

REFER TO PLAN/PROFILE  
FOR ADDITIONAL DETAIL  
OF ACCESS ROAD

FUTURE IMPROVEMENTS  
(CONCEPTUAL)  
(TYPICAL)

LOT 1  
1.02 ACRES

LOT 2  
1.08 ACRES

LOT 3  
1.08 ACRES

LOT 4  
1.18 ACRES

MIRROR LAKE MANOR  
PLAT BOOK 10, PAGE 48

MIRROR LAKE MANOR  
PLAT BOOK 10, PAGE 48

MIRROR LAKE

PALM AVENUE

LEGEND:

- DRAINAGE FLOW DIRECTION
- DRAINAGE CHANNEL
- - - FUTURE LOT LINES
- - - FUTURE DRIVEWAYS
- ▨ FUTURE DRIVEWAYS
- ▨ DRIVEWAYS TO BE IMPROVED
- ▨ COMMERCIAL STORAGE AREA
- ▨ WETLAND IMPACT

ATTACHMENT 2  
SCHEMATIC DEVELOPMENT PLAN

All easements are to be shown prior to the issuance of the final plat of the project. The easements shall be shown in accordance with the provisions of the Uniform Platting Act, Chapter 100, R.S., and the provisions of the Uniform Platting Act, Chapter 100, R.S., and the provisions of the Uniform Platting Act, Chapter 100, R.S.

1. Easements shall be shown prior to the issuance of the final plat of the project.
2. The [ ] area shall be shown prior to the issuance of the final plat of the project.
3. No easements shall be shown prior to the issuance of the final plat of the project.
4. All easements shall be shown prior to the issuance of the final plat of the project.
5. Easements shall be shown prior to the issuance of the final plat of the project.
6. Easements shall be shown prior to the issuance of the final plat of the project.
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13. Easements shall be shown prior to the issuance of the final plat of the project.
14. Easements shall be shown prior to the issuance of the final plat of the project.
15. Easements shall be shown prior to the issuance of the final plat of the project.
16. Easements shall be shown prior to the issuance of the final plat of the project.
17. Easements shall be shown prior to the issuance of the final plat of the project.
18. Easements shall be shown prior to the issuance of the final plat of the project.
19. Easements shall be shown prior to the issuance of the final plat of the project.
20. Easements shall be shown prior to the issuance of the final plat of the project.

PROJECT APPROVED BY BOARD OF SUPERVISORS

APPROVED FOR CONSTRUCTION

NO APPROVAL IS GRANTED TO SPECIFIC CONSTRUCTION OF THE SCHEMATIC DEVELOPMENT PLAN UNLESS THE DEVELOPER HAS OBTAINED THE NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE REGULATIONS. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE REGULATIONS.

APPROVED

SCHEMATIC DEVELOPMENT PLAN

MIRROR LAKE COMMERCIAL  
SITE PLAN  
OVERALL DEVELOPMENT PLAN

ENGINEER  
**ZEV COHEN**  
& ASSOCIATES, INC.  
34 West 10th Street, Suite 1000  
San Francisco, CA 94103  
(415) 774-1100

PLANNERS  
LANDSCAPE ARCHITECTS

DATE PREPARED: 1/20/04  
DATE CHECKED: 1/20/04  
CHECKED BY: [ ]  
DRAWN BY: [ ]  
SCALE: 1" = 50'

FILE NUM 2002923039  
DR BOOK 04488  
PAGE 0825

NO.	DATE	REVISION FOR CHANGE	DESCRIPTION	BY	DATE	NO.	DATE	REVISION FOR CHANGE	DESCRIPTION	BY	DATE
1						1					


RETURN TO SANDY MCCANN

**ADDENDUM 1**  
**To The**  
**Mirror Lake Commercial Center PCD**  
**Final PCD Master Plan**  
**Developer's Commitment Agreement**  
**Commitments, Classifications and District Descriptions**  
**(Amended by the Board of County Commissioners on October 22, 2002)**

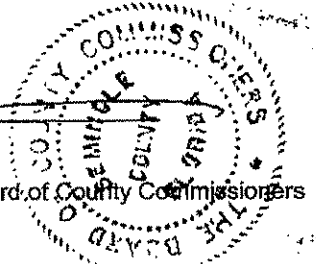
It is hereby ordered that the Site Plan for Lot One, The Hess Station at Bear Lake Road, as indicated on the attached site plan, landscape plan and further described by architectural elevations is hereby incorporated into the Mirror Lake Commercial Center PCD, Final PCD Master Plan Developer's Commitment Agreement, Commitments, Classifications and District Descriptions.

Approved and Accepted

By:

  
 Daryl G. McLain  
 Chairman

Seminole County Board of County Commissioners

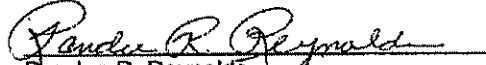


*Certified Copy*

MARYANNE MORSE, CLERK OF CIRCUIT COURT  
 CLERK OF SEMINOLE COUNTY  
 BK 04599 PG 0621  
 FILE NUM 2002977020  
 RECORDED 11/18/2002 11:39:32 AM  
 RECORDING FEES 64.50  
 RECORDED BY J Eckenroth

**OWNER'S CONSENT AND COVENANT**

**COMES NOW**, Randee R. Reynolds, on behalf of himself and his heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Development Order.

  
Randee R. Reynolds  
Vice President

Witness

  
Print Name

  
Witness

  
Print Name

STATE OF FLORIDA )

COUNTY OF SEMINOLE )

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Randee R. Reynolds who is personally known to me or who has produced NA as identification and who did take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this 31 day of October, 2002.

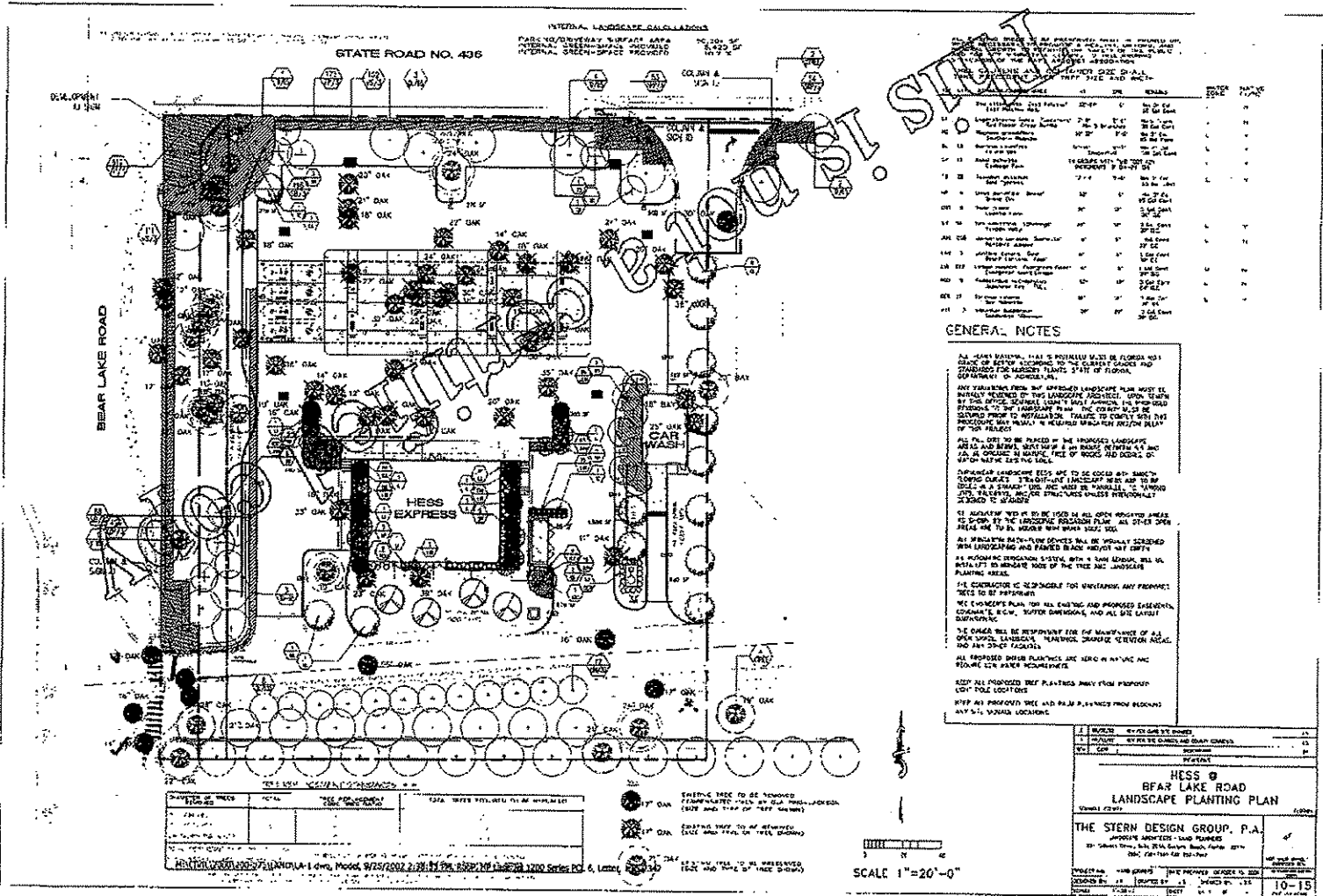


Frank McMillon  
MY COMMISSION # CC059317 EXPIRES  
AUGUST 28, 2003  
BONDED THIRD TRUST FARM INSURANCE, INC.

  
Notary Public, in and for the County and State  
Aforementioned

My Commission Expires

LEGIBILITY UNSATISFACTORY  
FOR SCANNING.



PLANT SCHEDULE

NO.	SYMBOL	PLANT NAME	SIZE	QUANTITY	REMARKS
1	(Symbol)	FLORIDA PALM	12\"/>		

GENERAL NOTES

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE FLORIDA PALM AND PALM TREE ACT AND THE FLORIDA PALM AND PALM TREE BOARD REGULATIONS.
2. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE FLORIDA PALM AND PALM TREE BOARD REGULATIONS.
3. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE FLORIDA PALM AND PALM TREE BOARD REGULATIONS.
4. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE FLORIDA PALM AND PALM TREE BOARD REGULATIONS.
5. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE FLORIDA PALM AND PALM TREE BOARD REGULATIONS.
6. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE FLORIDA PALM AND PALM TREE BOARD REGULATIONS.
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8. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE FLORIDA PALM AND PALM TREE BOARD REGULATIONS.
9. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE FLORIDA PALM AND PALM TREE BOARD REGULATIONS.
10. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE FLORIDA PALM AND PALM TREE BOARD REGULATIONS.

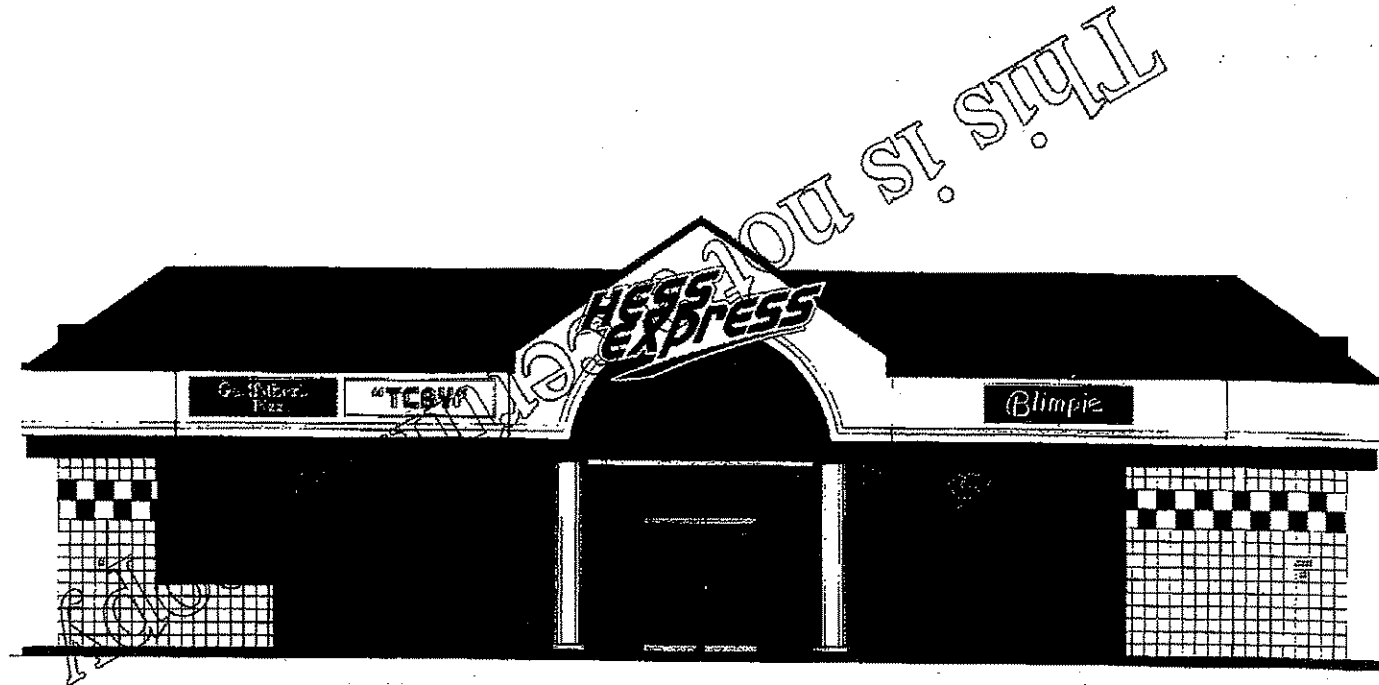
THE STERN DESIGN GROUP, P.A.  
LANDSCAPE ARCHITECTS - LAND PLANNERS  
101 SOUTH PALM BLVD. SUITE 200  
WEST PALM BEACH, FLORIDA 33411  
TEL: 561-833-1111 FAX: 561-833-1112

DATE: 10-15-02

SCALE 1" = 20'-0"



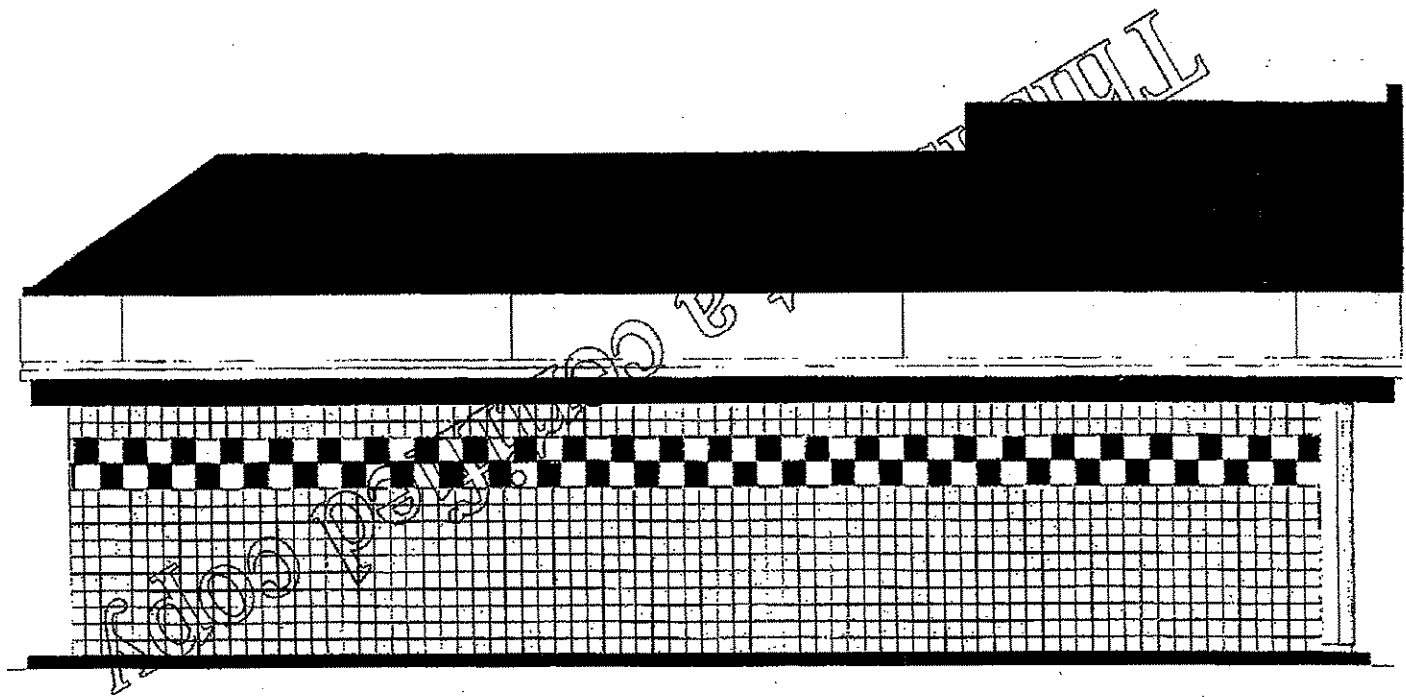
LEGIBILITY UNSATISFACTORY  
FOR SCANNING





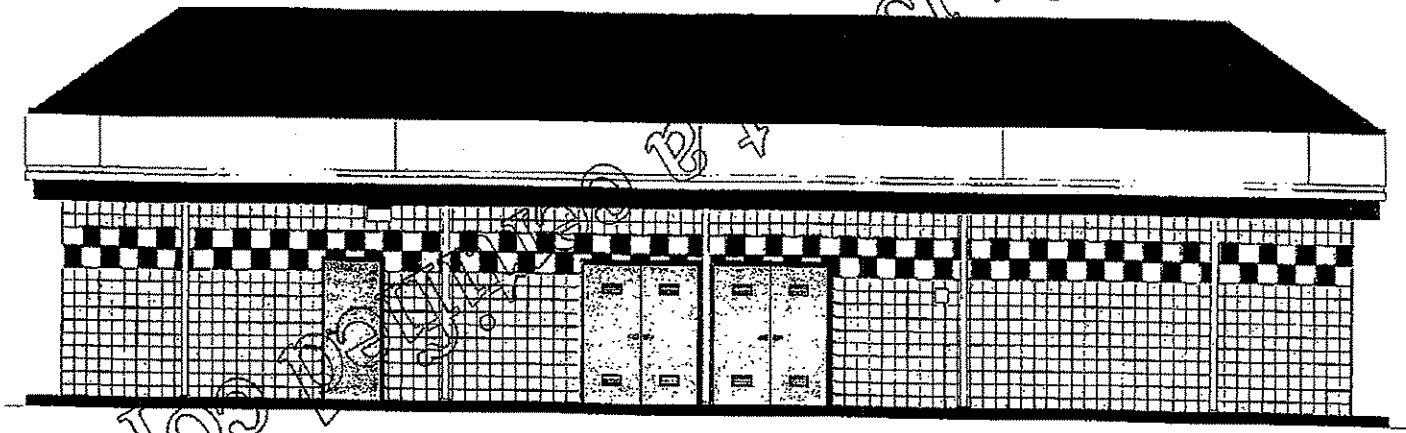
FILE NUM 2002977020  
OR BOOK 04599 PAGE 0626

LEGIBILITY UNSATISFACTORY  
FOR SCANNING



FILE NUM 2002977020  
OR BOOK 04599 PAGE 0627

LEGIBILITY UNSATISFACTORY  
FOR SCANNING

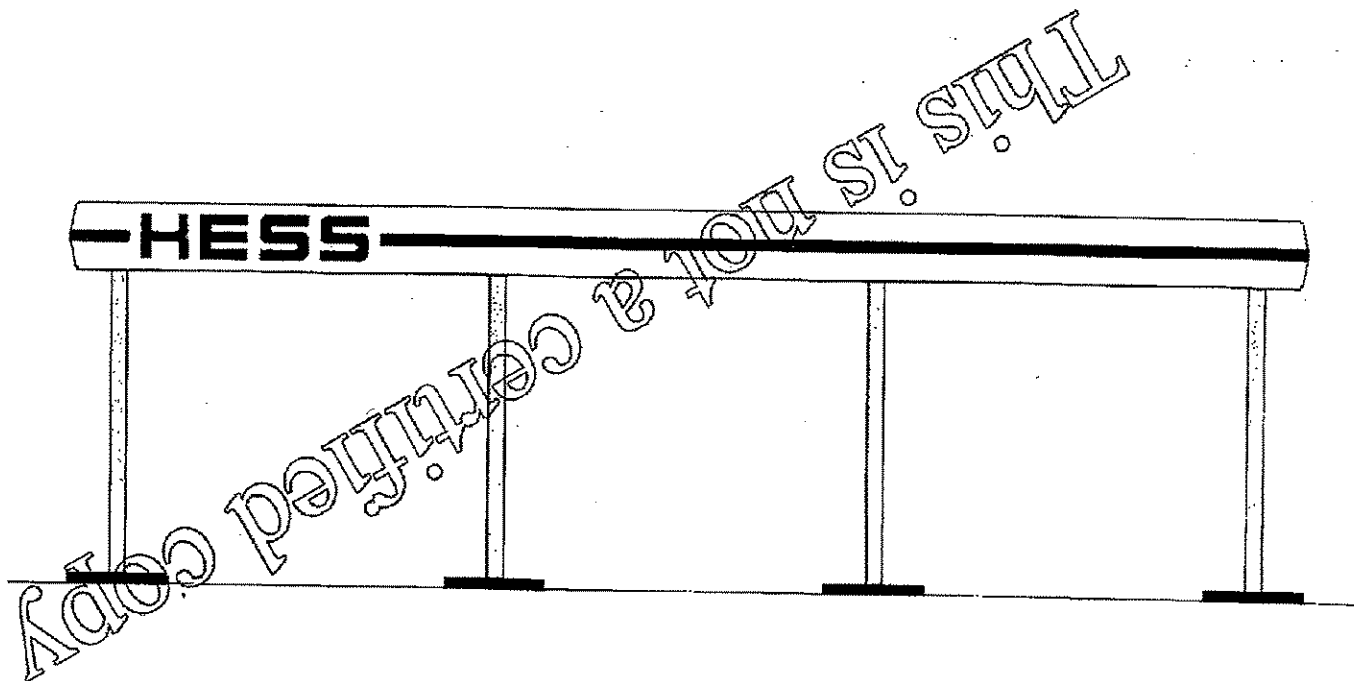


ST. STELL

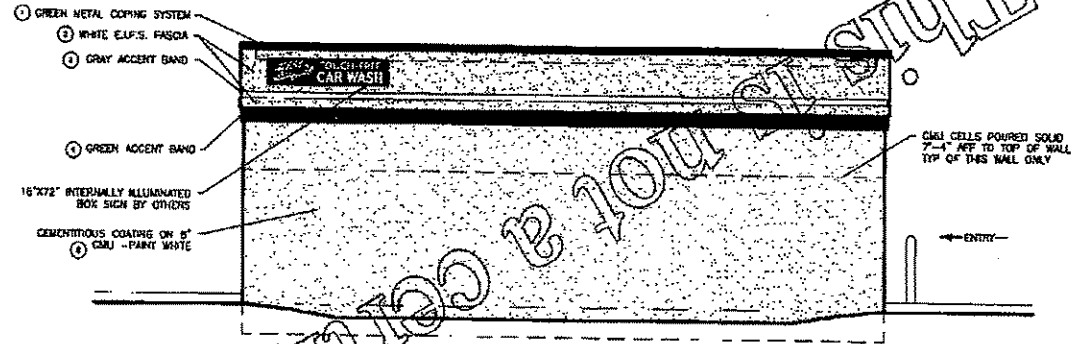
Ado's

FILE NUM 2002977020  
OR BOOK 04599 PAGE 0628

LEGIBILITY UNSATISFACTORY  
FOR SCANNING



LEGIBILITY UNSATISFACTORY  
FOR SCANNING



**EXTERIOR FINISH SCHEDULE**

NO.	DESCRIPTION	FINISH
1	METAL COPING, FLASHING, ACCESSORIES, PAINT, SW "PRESS GREEN"	
2	EIFS FASCIA	PAINT: SW "CHINA WHITE"
3	ACCENT BAND	PAINT: SW "MOUNTAIN FOG"
4	ACCENT BAND	PAINT: SW "SHAMROCK GREEN"
5	WALL SURFACES	PAINT: SW NEW ROCK WHITE

SW - SHERWIN WILLIAMS  
NOTE: ALL COLORS ARE BASED ON INFORMATION PROVIDED BY:  
The Sherwin-Williams Co.  
Corroll Midvale  
(732) 254-7579 (cell)  
(732) 483-1765 (fax)

**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"

**UGARTE**  
ARCHITECTS, P.C.  
1000 N. UNIVERSITY BLVD.  
SUITE 200  
ORLANDO, FLORIDA 32810  
PH: 407.251.1111  
FAX: 407.251.1112

**CARWASH ELEVATIONS FOR FRONT ELEVATION**

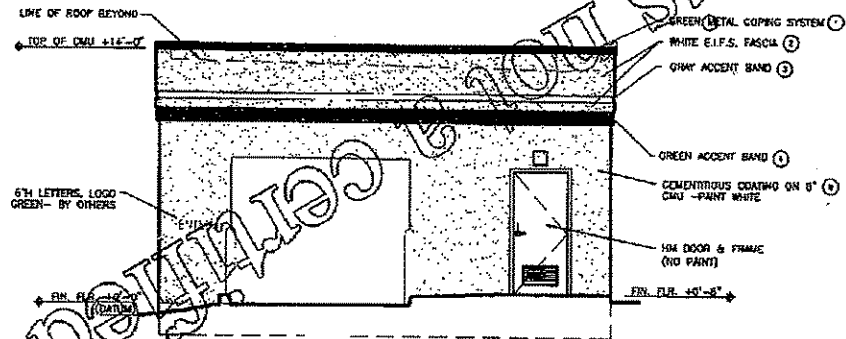
**AMERADA HESS**

DATE: 06/20/02

DRAWN BY: COL  
DATE: 06/20/02  
PLI: 02/02/02

SHEET  
**1**  
OF  
02

LEGIBILITY UNSATISFACTORY  
 FOR SCANNING



**ENTRY ELEVATION**

SCALE: 1/8" = 1'-0"

**UGARTE & ASSOCIATES, INC.**  
 ARCHITECTS  
 1000 N. 10TH ST. SUITE 100  
 DENVER, CO 80202

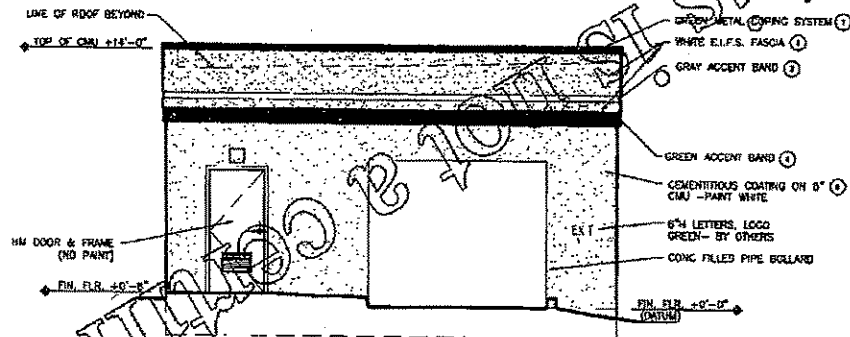
**ENTRY ELEVATION**

**CARWASH ELEVATIONS FOR AMERADA HESS**

DATE: 08/02/02  
 DRAWN BY: JLD  
 CHECKED BY: JLD  
 PLOT NO.: 02-08-002

4 OF 4

LEGIBILITY UNSATISFACTORY  
FOR SCANNING

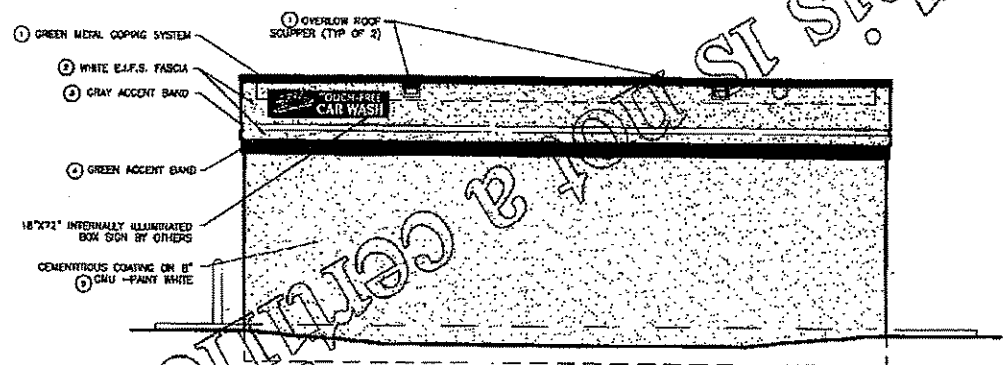


**EXIT ELEVATION**

SCALE: 1/8" = 1'-0"

CARWASH ELEVATIONS FOR EXIT ELEVATION	
AMERADA HESS	
DATE: 11/11/02	
DRAWN BY: JDL	
CHECKED BY: JDL	
DATE: 11/11/02	
SHEET 2 OF 2	

LEGIBILITY UNSATISFACTORY  
 FOR SCANNING



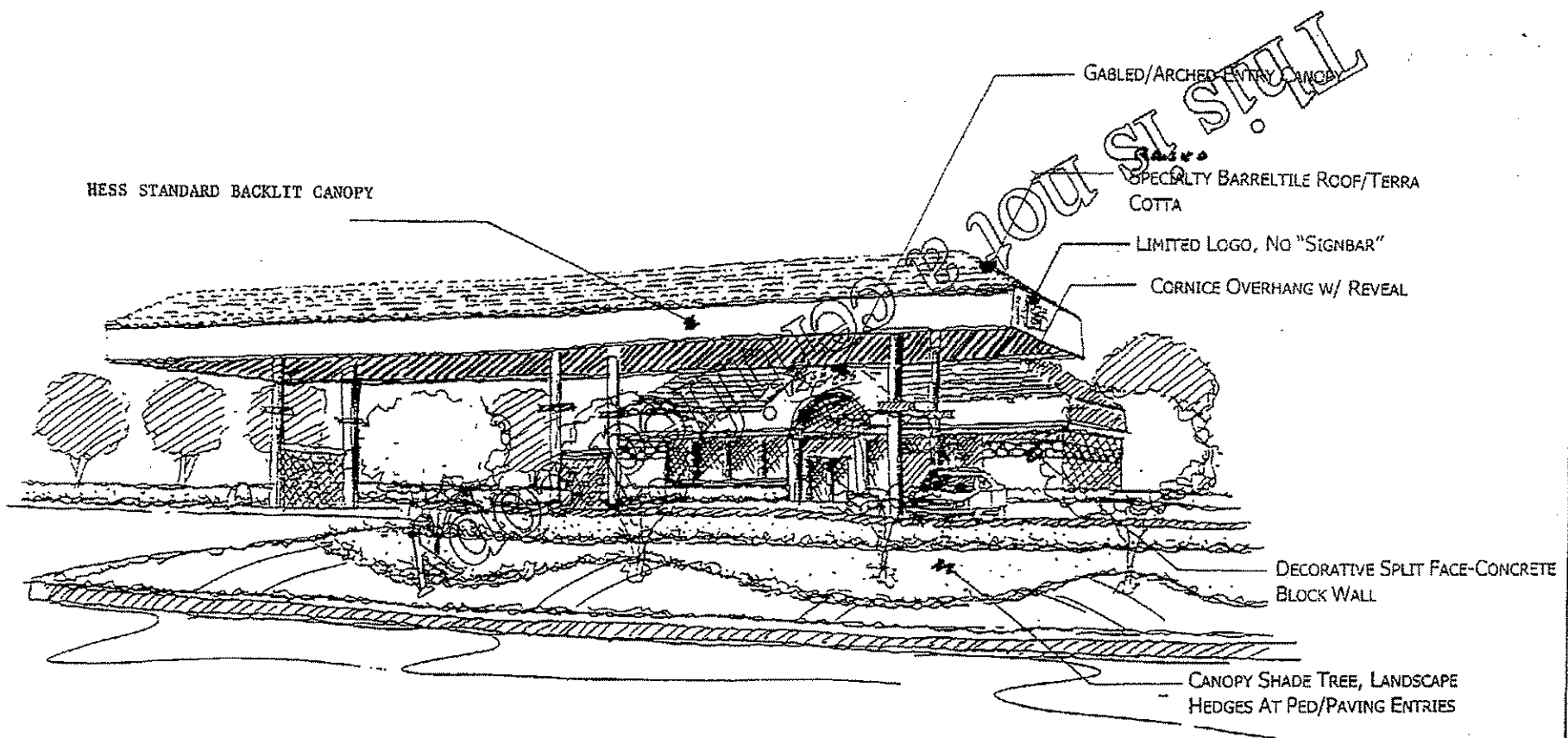
This is not a certified copy

**BACK ELEVATION**

SCALE: 1/8" = 1'-0"


UGARTE & ASSOCIATES, INC. ARCHITECTS & ENGINEERS 1111 W. LAMAR AVE. SUITE 200 TAMPA, FL 33606 TEL: 813-288-1111 FAX: 813-288-1112
CARWASH ELEVATIONS FOR BACK ELEVATION
AMERADA HESS <small>CON. &amp; MARKING</small>
FLORIDA
DRAWN BY: [ ] DATE: 04/10/02 SCALE: 1/8" = 1'-0"
3

LEGIBILITY UNSATISFACTORY  
FOR SCANNING



JUNE 2001  
GLATTING JACKSON

5 1/2" x 11" x 2" FILE # NJR 2002977020  
DR BOOK 04599 PAGE 0633



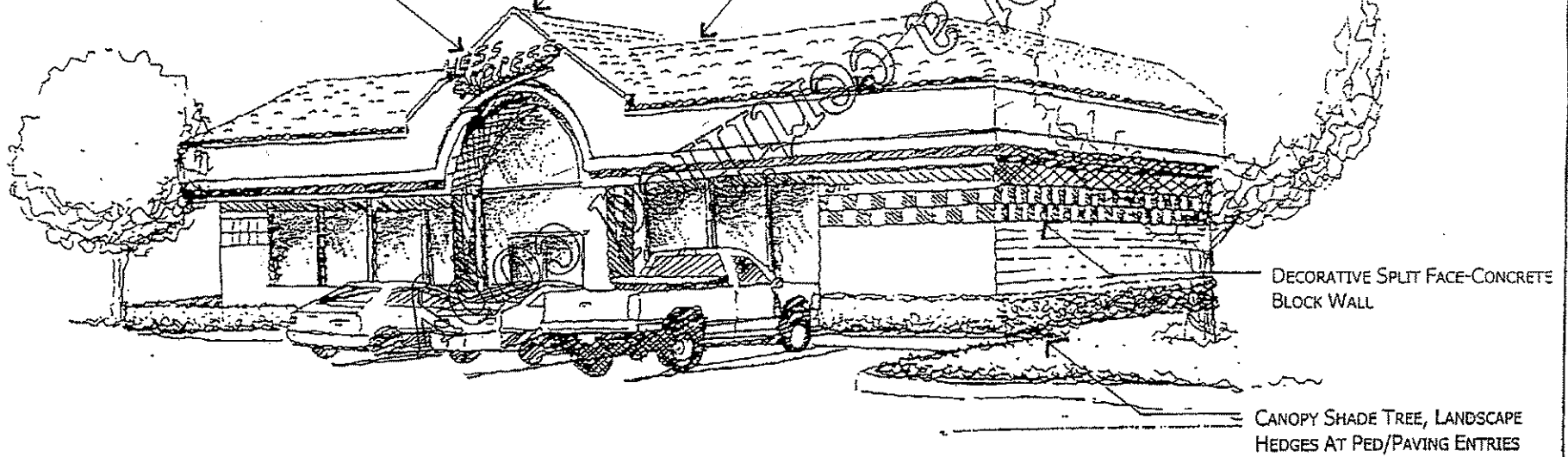
LEGIBILITY UNSATISFACTORY  
FOR SCANNING

GABLED/ARCHED ENTRY CANOPY

SPECIALTY BARRELTILE ROOF/TERRAZZO  
COTTA

CORNICE OVERHANG W/ REVEAL

SMOOTH FINISH, NO "SIGNBAR"



DECORATIVE SPLIT FACE-CONCRETE  
BLOCK WALL

CANOPY SHADE TREE, LANDSCAPE  
HEDGES AT PED/PAVING ENTRIES

JUNE 2001  
GLATTING JACKSON

1-3 101422 JAH/ver/DA FILE NUM 2002977020  
OR BOOK 04599 PAGE 0634

**ADDENDUM 2**  
To The  
**Mirror Lake Commercial Center PCD**  
**Final PCD Master Plan**  
**Developer's Commitment Agreement**  
**Commitments, Classifications and District Description**  
(Amended by the Board of County Commissioners on October 25, 2005)

**ADDENDUM #2**

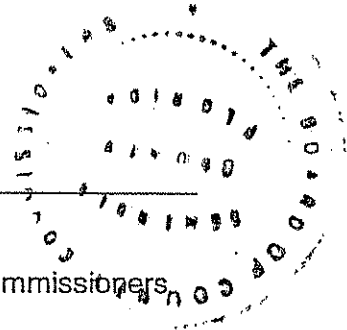
On October 11, 2005, the Board of County Commissioners of Seminole County issued this Addendum 2 to the Mirror Lake Commercial Center PCD Final PCD Master Plan Developer's Commitment Agreement Commitments, Classifications and District Description ("DCA"), amending such DCA to the extent provided herein. Any provision of the DCA not specifically amended herein, or by Addendum 1, shall remain in effect.

**10. DEVELOPMENT COMMITMENTS**

- (10) Delivery times to the restaurant and commercial establishments shall be limited from 7 a.m. to 9 p.m. However, on Lot 1 of Mirror Lake Commercial Subdivision (PB 10 PG 46), 24-hour delivery shall be permitted subject to such deliveries being made through primary building entrances on the north, east, or west sides of the building, and no access from the south. Delivery trucks entering the site between 9 p.m. and 7 a.m. shall be limited to 25 feet in length. No delivery trucks shall access Lot 1 from Bear Lake Road. All ingress and egress of delivery trucks for Lot 1 shall be from Semoran Blvd.

Done and Ordered this 11<sup>th</sup> day of October, 2005.

By: Carlton D. Henley  
Carlton D. Henley  
Chairman  
Seminole County Board of County Commissioners



MARYANNE MORSE, CLERK OF CIRCUIT COURT  
SEMINOLE COUNTY  
BK 06223 Pgs 1348 - 1349; (2pgs)  
CLERK'S # 2006069030  
RECORDED 05/01/2006 08:07:28 AM  
RECORDING FEES 18.50  
RECORDED BY J Eckenroth

CERTIFIED COPY  
MARYANNE MORSE  
CLERK OF CIRCUIT COURT  
SEMINOLE COUNTY, FLORIDA  
BY: Cwa Loach  
DEPUTY CLERK

**OWNER'S CONSENT AND COVENANT**

COMES NOW, the owner, Florida Conference Association of Seventh Day Adventists, on behalf of itself and its heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Development Order.

[Signature]  
Witness

[Signature]  
GLENN CARTER, Vice-President  
FLA CONFERENCE ASSOCIATION  
OF SEVENTH DAY ADVENTISTS  
Property Owner

[Signature]  
Witness

STATE OF FLORIDA  
*Orange*  
COUNTY OF SEMINOLE

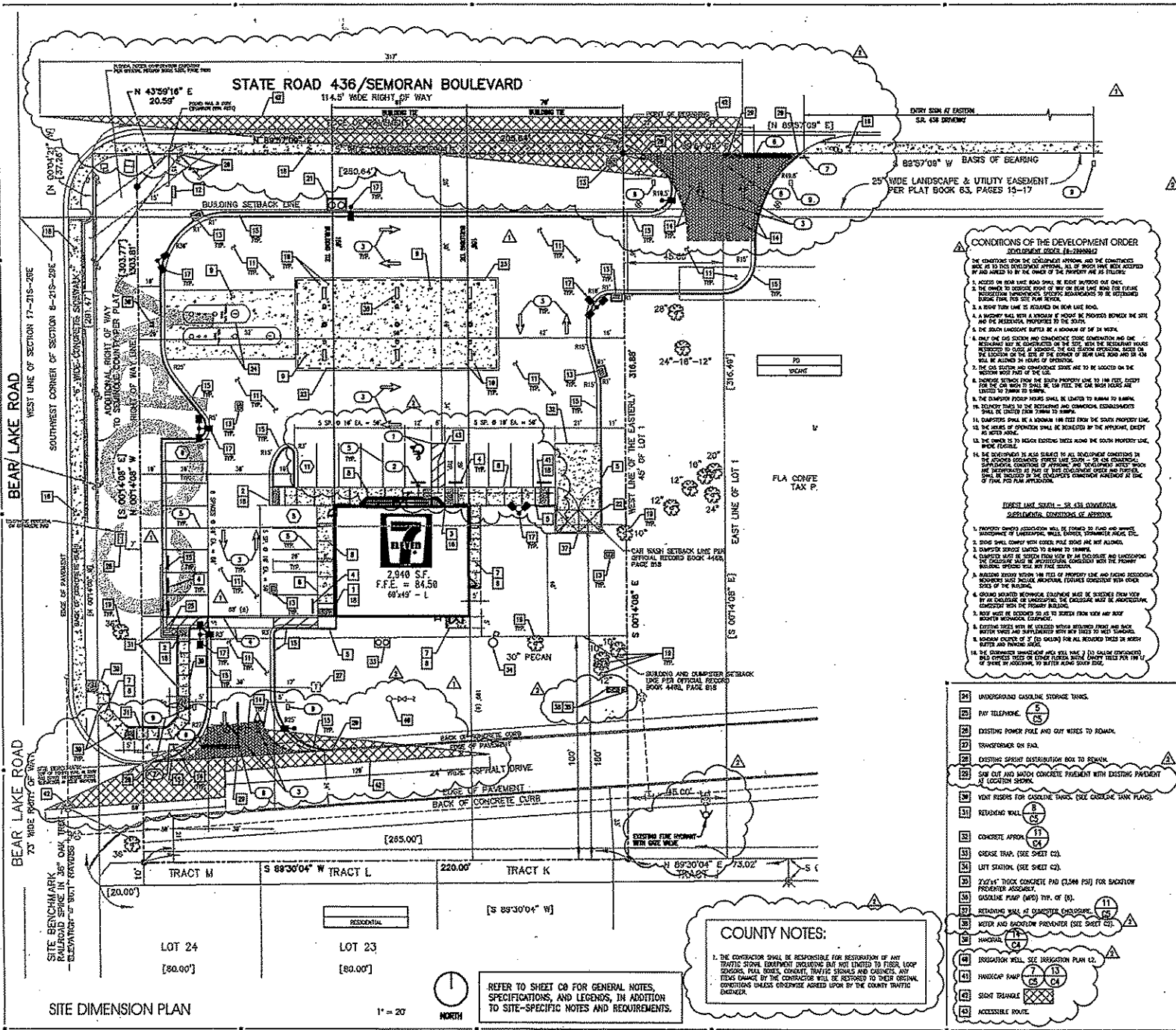
I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared GLENN CARTER, who is personally known to me or who has produced \_\_\_\_\_ as identification and who executed the foregoing instrument.

WITNESS my hand and official seal in the County and State last aforesaid this 3<sup>rd</sup> day of April, 2006.

[Signature]

Notary Public, in and for the County and State  
Aforementioned  
My Commission Expires: \_\_\_\_\_  
Aletha C Nee  
My Commission DD337919  
Expires September 09, 2008





**TRAFFIC CONTROL & SIGNAGE**

- 1 HANDICAP PARKING AND STRIPING
- 2 HANDICAP SIGN (1 PLACED)
- 3 PARKING MARKINGS
- 4 CROSSWALK STRIPING (DART INDEX 12345)
- 5 4" WHITE PAINT STRIPING
- 6 24" WHITE STOP BAR PAINTED
- 7 3" "X" SIGN (11-1)
- 8 6" DOUBLE YELLOW PAVED STRIPES
- 9 ENTRY SIGN

ALL TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.

**SITE NOTES**

- 1 CORNER HANDICAP RAMP
- 2 HANDICAP DRG RAMP
- 3 SIDEWALK HANDICAP RAMP
- 4 WHEEL STOP (7 PLACED)
- 5 6" CURB
- 6 CONCRETE WALK
- 7 CONCRETE WALK EXPANSION JOISTS AND SCORE MARKS
- 8 CONCRETE EXPANDED TO GASOLINE TANK PLANS
- 9 CONCRETE EXPANDED TO GASOLINE TANK PLANS
- 10 BOLLARD (SEE GASOLINE TANK PLANS FOR PLACEMENT)
- 11 6" THICK CONCRETE PAVEMENT (4,000 PSI)
- 12 7-ELEVEN L&L SIGN (BY SIGN CONTRACTOR)
- 13 DRAINAGE STRUCTURE (SEE SHEET C3)
- 14 SAW CUT AND REPAIR CURBS AND PAVEMENT OF EXISTING SIDEWALK FOR INSTALLATION OF NEW DRIVEWAY
- 15 FOOT TYPE "B" CURB AND GUTTER
- 16 EXISTING SIDEWALK TO REPAIR
- 17 LIGHT POLE (TYP.) (SEE SITE LIGHTING PLANS)
- 18 INSTALL PAVEMENT SURFACE IN THIS AREA
- 19 EXISTING TREES TO REMAIN (SEE LANDSCAPE PLANS)
- 20 MATCH EXISTING CURB AT LOCATION SHOWN
- 21 AIR AND VACUUM (5/8") ADJACENT TO CURB
- 22 TRAPSTER ENCLOSURE
- 23 48" x 6" GASOLINE COMP. 13.2" (MIN) CLEAR HEIGHT

**CONDITIONS OF THE DEVELOPMENT ORDER**

1. THE CONDITIONS OF THE DEVELOPMENT APPROVAL AND THE CONDITIONS SPECIFIED IN THIS DEVELOPMENT APPROVAL SHALL BE STRICTLY ADHERED TO BY THE OWNER OF THE PROPERTY AND BY ALL SUCCESSORS.
2. A 20' BUSH TRAIL LINE IS REQUIRED ON BOTH LANE SIDES.
3. A 20' BUFFER SHALL BE MAINTAINED AT ALL TIMES BETWEEN THE SITE AND THE ADJACENT PROPERTY TO THE SOUTH.
4. ONLY ONE (1) SIGN AND CHANGING SIGN CHANGING AND THE SIGNAGE SHALL BE CONSIDERED AS PERMITTED BY THE REGULATORY BOARD IN THE LOCATION OF THE SIGN AT THE CORNER OF BEAR LAKE ROAD AND 24" WIDE SHALL BE MAINTAINED IN ALL DIRECTIONS.
5. THE GAS STATION AND CONCRETE DRIVE ARE TO BE LOCATED ON THE NORTH SIDE OF THE DRIVE.
6. EXISTING TREES FROM THE SOUTH PROPERTY LINE TO THE 10' SETBACK SHALL BE MAINTAINED AND PROTECTED BY THE OWNER.
7. THE CHANGING SIGN SHALL BE LIMITED TO 10' FROM THE BOUNDARY LINE TO THE SOUTH PROPERTY LINE.
8. EXISTING TREES FROM THE SOUTH PROPERTY LINE TO THE 10' SETBACK SHALL BE MAINTAINED AND PROTECTED BY THE OWNER.
9. THE CHANGING SIGN SHALL BE LIMITED TO 10' FROM THE BOUNDARY LINE TO THE SOUTH PROPERTY LINE.
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13. THE CHANGING SIGN SHALL BE LIMITED TO 10' FROM THE BOUNDARY LINE TO THE SOUTH PROPERTY LINE.
14. THE CHANGING SIGN SHALL BE LIMITED TO 10' FROM THE BOUNDARY LINE TO THE SOUTH PROPERTY LINE.

**EXISTING UTILITIES - SEE 4381 ADDRESS**

1. PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO: WATER, SEWERAGE, GAS, ETC.
2. EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED BY THE OWNER.
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**EXISTING UTILITIES - SEE 4381 ADDRESS**

- 24 UNDERGROUND GASOLINE STORAGE TANKS
- 25 PAY TELEPHONE
- 26 EXISTING POWER POLE AND OUT WIRES TO REMAIN
- 27 TRANSFORMER ON POLE
- 28 EXISTING SPREAD DISTRIBUTION BOX TO REMAIN
- 29 SAW CUT AND MATCH CONCRETE PAVEMENT WITH EXISTING PAVEMENT AT LOCATION SHOWN
- 30 VENT RISERS FOR GASOLINE TANKS (SEE GASOLINE TANK PLANS)
- 31 RETAINING WALL
- 32 CONCRETE APPROX.
- 33 CURB TRAP (SEE SHEET C3)
- 34 LIFT STATION (SEE SHEET C2)
- 35 20"x4" THICK CONCRETE AND CLAM (PSI) FOR BACKFLOW PREVENTER ASSEMBLY
- 36 GASOLINE PUMP (400) TYP. OF (8)
- 37 RETAINING WALL AT TRAPSTER ENCLOSURE
- 38 RETEN AND BACKFLOW PREVENTER (SEE SHEET C2)
- 39 MANHOLE

**COUNTY NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF ANY TRAFFIC SIGNAL EQUIPMENT INCLUDING BUT NOT LIMITED TO: FIBER, LOOP SIGNALS, PAID, OVER, CONCRETE, TRAFFIC SIGNALS AND CONCRETE. ANY TRAFFIC SIGNALS BY THE CONTRACTOR WILL BE RESTORED TO THEIR ORIGINAL CONDITIONS UNLESS OTHERWISE AGREED UPON BY THE COUNTY TRAFFIC ENGINEER.

REFER TO SHEET C0 FOR GENERAL NOTES, SPECIFICATIONS, AND LEGENDS, IN ADDITION TO SITE-SPECIFIC NOTES AND REQUIREMENTS.

**INTERPLAN'S**

ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN  
PROJECT MANAGEMENT

AA 004230  
CA 8660

933 LEE ROAD, FIRST FLOOR  
CORAL GABLES, FLORIDA 33134  
PH 407.645.0008  
FX 407.629.9124

SEAL:

ROBERT ZIGONOVICH, P.E.  
PL. REG. 388752

CONSULTANT:

REVISIONS:

NO. DATE REVISIONS

1 01-21-04 OWNER COMMENTS

2 01-21-04 PER SITE PLAN



**7-ELEVEN, INC.**  
STORE # 33640

3630 EAST SR 436  
APOKA, FLORIDA

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CONSENT OF INTERPLAN LLC.

**SEMINOLE COUNTY #1 APPROVAL STAMP**

PROPERTY APPROXIMATE TO NUMBER 17-21-29-534-8000-0418

SEMINOLE COUNTY  
APPROVED FOR CONSTRUCTION

THIS APPROVAL IS SUBJECT TO SPECIFIC PERFORMANCE TO THE SEMINOLE COUNTY LAND DEVELOPMENT CODE AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CORRECT ANY DEFICIENCIES IN THE PLANS OR THE FACILITY AS CORRECTED BY THE BOARD OF COUNTY COMMISSIONERS. THE DEVELOPER'S PLANS DOES NOT CONSTITUTE A WARRANTY OF ANY KIND. THE DEVELOPER'S PLANS DOES NOT CONSTITUTE A WARRANTY OF ANY KIND. THE DEVELOPER'S PLANS DOES NOT CONSTITUTE A WARRANTY OF ANY KIND. THE DEVELOPER'S PLANS DOES NOT CONSTITUTE A WARRANTY OF ANY KIND.

APPROVED:

SEMINOLE COUNTY DEVELOPMENT REVIEW DEPARTMENT

DATE:

PROJECT NO: 2005.0922  
DATE: 02-09-05

C1

**ADDENDUM #3**  
**To The**  
**Mirror Lake Commercial Center PCD**  
**Final PCD Master Plan**  
**Developer's Commitment Agreement**  
**Commitments, Classifications and District Description**  
**(Amended by the Board of County Commissioners on August 08, 2006)**

MAYNARD MORSE, CLERK OF CIRCUIT COURT SEMINOLE COUNTY, CFN 2006139323 BK 06067 Pgs 1919 - 1924 (099) RECD 08/29/2006 10:27:57 AM  
REC FEES \$250, RECD BY G Harford

It is hereby ordered that the Site Plan for Lot One, the 7-Eleven at Bear Lake Road, as indicated on the attached site plan (Exhibit A), and further described by the attached architectural elevations (Exhibit B) is hereby incorporated into the Mirror Lake Commercial Center PCD, Final PCD Master Plan Developer's Commitment Agreement, Commitments, Classifications and District Descriptions.

**I. STATEMENT OF BASIC FACTS**

- A. Total Area: Lot One - 1.60 Acres
- B. Zoning: Planned Commercial Development (PCD)
- C. Future Land Use Designation: Planned Development (PD)
- D. Building Area: 2,940 square feet
- E. The development approval sought is consistent with the Seminole County Comprehensive Plan and will be developed consistent with and in compliance to applicable land development regulations and all other applicable regulations and ordinances.

**II. OPEN SPACE CALCULATIONS**

A. Total Land Area: 1.60 acres  
Required Open Space: 25% (1.60) AC (.25) = 0.40 acres min.  
OPEN SPACE PROVIDED.....64 acres  
TOTAL OPEN SPACE.....0.39%

**III. BUILDING SETBACKS**

North (SR 436).....158 feet  
West (Bear Lake Road).....87 feet  
Eastern (Side).....70 feet  
Southern (Side).....109 feet

**IV. BUILDING HEIGHT**

The maximum height of any structures shall not exceed thirty-five (35) feet.

RETURN TO SANDY McCANN

Mirror Lake Commercial PCD Developer's Commitment Agreement  
Addendum #3  
August 8, 2006

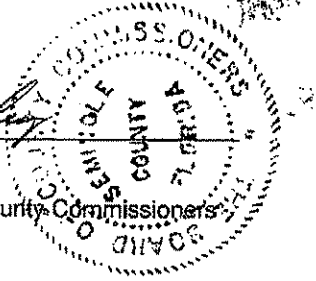
**V. DEVELOPMENT COMMITMENTS**

All development commitments stated in Addendum 2 to the Developer's Commitment Agreement including the following:

Delivery times to the restaurant and commercial establishments shall be limited from 7 a.m. to 9 p.m. However, on Lot 1 of Mirror Lake Commercial Subdivision (PB 10 PG 46), 24-hour delivery shall be permitted subject to such deliveries being made through primary building entrances on the north, east, or west sides of the building, and no access from the south. Delivery trucks entering the site between 9 p.m. and 7 a.m. shall be limited to 25 feet in length. No delivery trucks shall access Lot 1 from Bear Lake Road. All ingress and egress of delivery trucks for Lot 1 shall be from Semoran Blvd.

Done and Ordered this 8<sup>th</sup> day of August, 2006.

By Carlton D. Henley  
Carlton D. Henley  
Chairman  
Seminole County Board of County Commissioners



This is not a certified copy

Mirror Lake Commercial PCD Developer's Commitment Agreement  
Addendum #3  
August 8, 2006

**OWNER'S CONSENT AND COVENANT**

COMES NOW, the owner, Florida Conference Association of Seventh-day Adventists, on behalf of itself and its heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Development Order.

Nancy R. Reynolds  
Witness

Glenn E. Carter  
Glenn E. Carter, Vice President  
Florida Conference Association of  
Seventh-day Adventists

[Signature]  
Witness

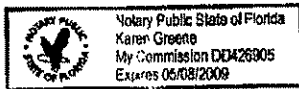
STATE OF FLORIDA  
COUNTY OF ORANGE

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Glenn E. Carter, who is personally known to me or who has produced \_\_\_\_\_ as identification and who executed the foregoing instrument.

WITNESS my hand and official seal in the County and State last aforesaid this 21<sup>st</sup> day of August, 2006

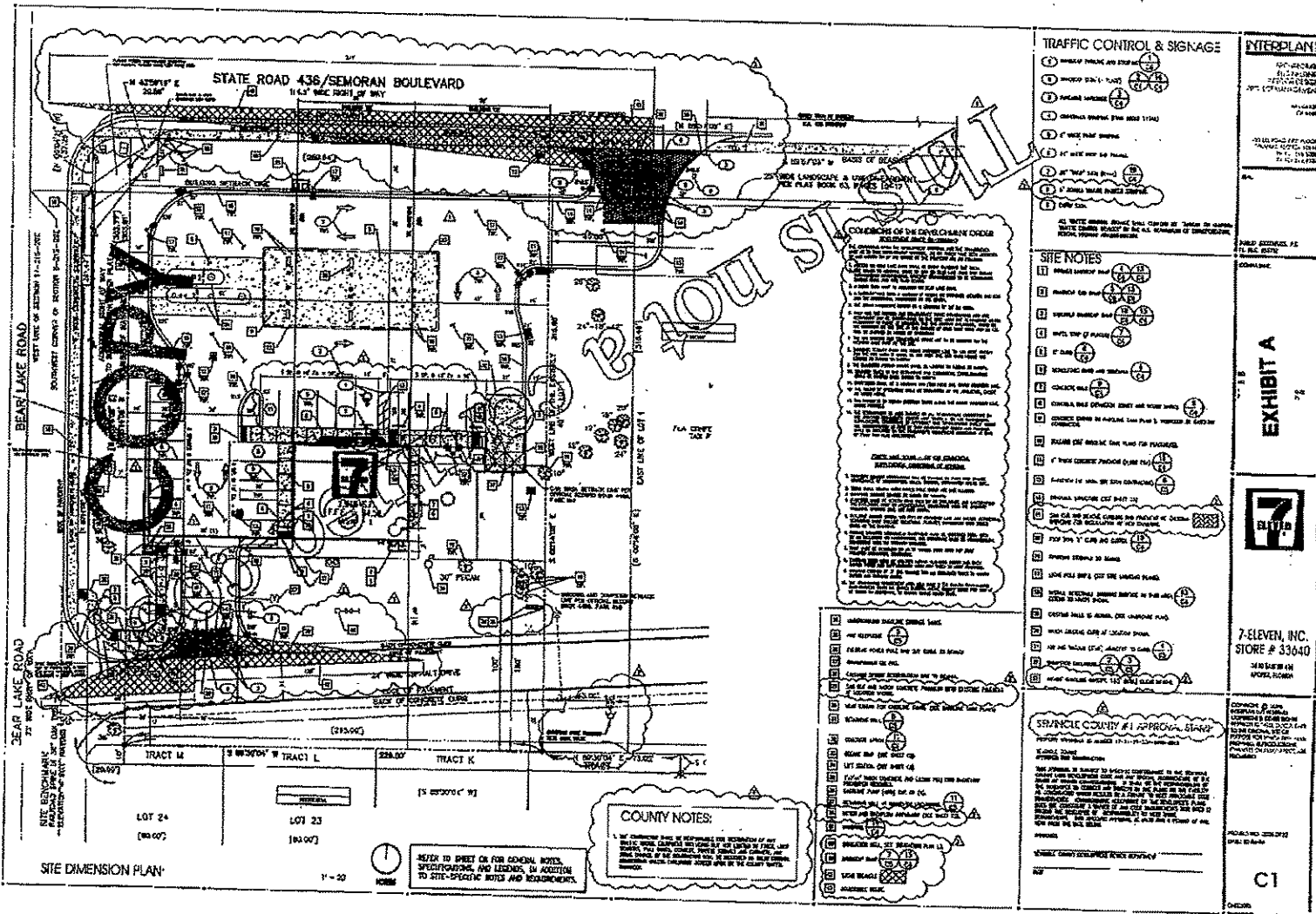
[Signature]

Karen Greene Notary Public, in and for the County and State  
Aforementioned



My Commission Expires:

Mirror Lake Commercial PCD Developer's Commitment Agreement  
Addendum #3  
August 8, 2006



STATE ROAD 436/SEMORAN BOULEVARD  
 11.63' WIDE PORTION OF HWY

BEAR LAKE ROAD  
 20'-0" WIDE PORTION OF BEAR LAKE ROAD

BEAR LAKE ROAD  
 20'-0" WIDE PORTION OF BEAR LAKE ROAD

SITE DIMENSION PLAN

1" = 50'

REFER TO SHEET OR FOR GENERAL NOTES, SPECIFICATIONS, AND LEGENDS, IN ADDITION TO SITE-SPECIFIC NOTES AND REQUIREMENTS.

**COUNTY NOTES:**

1. ALL DISTANCE SHALL BE MEASUREMENTS TO THE CENTERLINE OF THE ROAD OR THE CENTERLINE OF THE LOT. ALL DISTANCES SHALL BE MEASUREMENTS TO THE CENTERLINE OF THE ROAD OR THE CENTERLINE OF THE LOT. ALL DISTANCES SHALL BE MEASUREMENTS TO THE CENTERLINE OF THE ROAD OR THE CENTERLINE OF THE LOT.

**COMMENTS OF THE DEVELOPER ORDER**

THE DEVELOPER ORDER IS A LEGAL INSTRUMENT THAT BINDS THE DEVELOPER TO THE CITY OF TAMPA. THE DEVELOPER ORDER IS A LEGAL INSTRUMENT THAT BINDS THE DEVELOPER TO THE CITY OF TAMPA. THE DEVELOPER ORDER IS A LEGAL INSTRUMENT THAT BINDS THE DEVELOPER TO THE CITY OF TAMPA.

**TRAFFIC CONTROL & SIGNAGE**

- 1. 4" HIGH SIGNAGE
- 2. 8" HIGH SIGNAGE
- 3. 12" HIGH SIGNAGE
- 4. 18" HIGH SIGNAGE
- 5. 24" HIGH SIGNAGE
- 6. 30" HIGH SIGNAGE
- 7. 36" HIGH SIGNAGE
- 8. 42" HIGH SIGNAGE
- 9. 48" HIGH SIGNAGE
- 10. 54" HIGH SIGNAGE
- 11. 60" HIGH SIGNAGE
- 12. 66" HIGH SIGNAGE
- 13. 72" HIGH SIGNAGE
- 14. 78" HIGH SIGNAGE
- 15. 84" HIGH SIGNAGE
- 16. 90" HIGH SIGNAGE
- 17. 96" HIGH SIGNAGE
- 18. 102" HIGH SIGNAGE
- 19. 108" HIGH SIGNAGE
- 20. 114" HIGH SIGNAGE
- 21. 120" HIGH SIGNAGE

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**SITE NOTES**

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**SINGLE COUNTY #1 APPROVAL STAMP**

THIS OFFICE IS SUBJECT TO VARIOUS ORDINANCES AND IS NOT BOUND BY ANY SPECIFIC CODES OR REGULATIONS. THIS OFFICE IS SUBJECT TO VARIOUS ORDINANCES AND IS NOT BOUND BY ANY SPECIFIC CODES OR REGULATIONS. THIS OFFICE IS SUBJECT TO VARIOUS ORDINANCES AND IS NOT BOUND BY ANY SPECIFIC CODES OR REGULATIONS.

**INTERPLANS**

NO. 12345  
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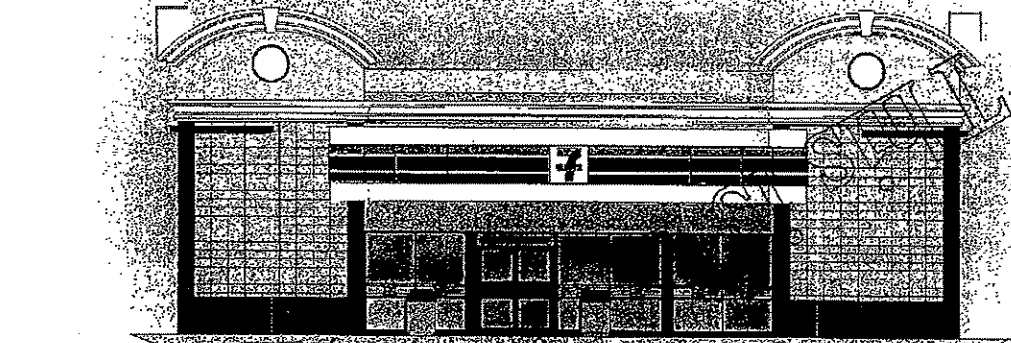
**EXHIBIT A**

**7-ELEVEN**

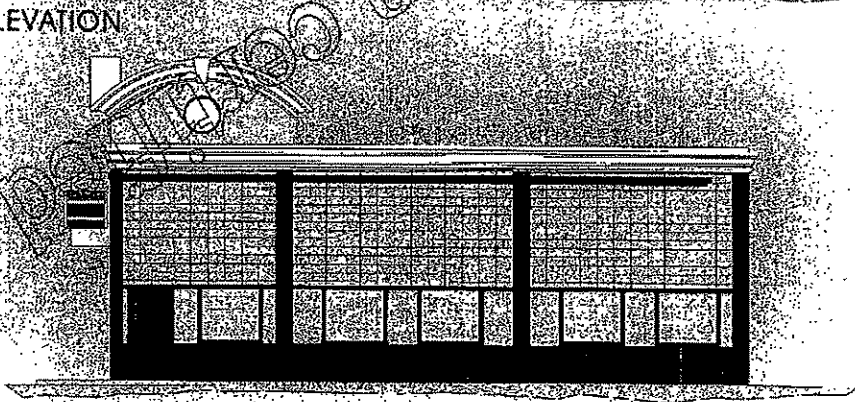
**7-ELEVEN, INC. STORE # 33640**

**C1**





FRONT ELEVATION



SIDE ELEVATION

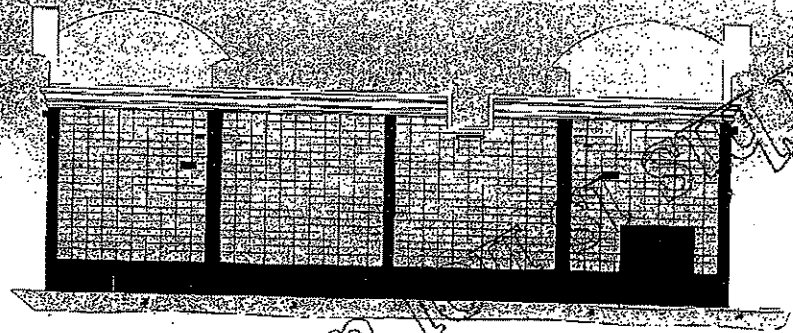
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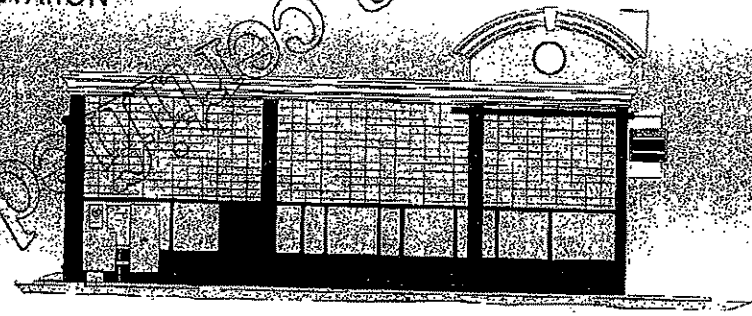
7-Eleven  
 BEAR LAKE  
 SEMINOLE COUNTY, FLORIDA

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**INTERPLAN** LLC  
ARCHITECTS • ENGINEERS • INTERIORS • PROJECT MANAGEMENT  
 INTERPLAN NO. 2006.0151  
 04-14-06



BACK ELEVATION



SIDE ELEVATION



7-Eleven  
BEAR LAKE  
SEMINOLE COUNTY, FLORIDA



THE 7-ELEVEN STORES ARE THE PROPERTY OF 7-ELEVEN STORES, INC. ALL RIGHTS RESERVED. THIS DRAWING IS A REPRESENTATION OF THE STORE DESIGN AND IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE 7-ELEVEN STORES ARE SUBJECT TO THE 7-ELEVEN STORES DESIGN AND CONSTRUCTION MANUALS AND TO THE 7-ELEVEN STORES DESIGN AND CONSTRUCTION MANUALS. THE 7-ELEVEN STORES ARE SUBJECT TO THE 7-ELEVEN STORES DESIGN AND CONSTRUCTION MANUALS AND TO THE 7-ELEVEN STORES DESIGN AND CONSTRUCTION MANUALS.

INTERPLAN NO. 2006.01.51  
04-14-06

**ADDENDUM 4**  
To The  
**Mirror Lake Commercial Center PCD**  
**Final PCD Master Plan**  
**Developer's Commitment Agreement**  
**Commitments, Classifications and District Description**  
**(Amended by the Board of County Commissioners on December 12, 2006)**

**ADDENDUM #4**

It is hereby ordered that the Final Site Plan for Lot Four, Fire Station #13, located on the south side of State Road 436, approximately 755 feet east of Bear Lake Road, as indicated on the attached final site plan (Exhibit A) is hereby incorporated into the Mirror Lake Commercial Center Planned Commercial (PCD), Final PCD Master Plan Developer's Commitment Agreement, Commitments, Classifications, and District Descriptions.

Done and Ordered on this 12<sup>th</sup> Day of December, 2006.

By: \_\_\_\_\_  
Carlton D. Henley  
Chairman  
Seminole County Board of County Commissioners

**OWNER'S CONSENT AND COVENANT**

**COMES NOW**, the owner, Seminole County Board of County Commissioners, on behalf of itself and its heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Development Order.

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Carlton D. Henley  
Chairman  
Seminole County Board of County Commissioners

\_\_\_\_\_  
Witness

**STATE OF FLORIDA**

**COUNTY OF SEMINOLE**

I **HEREBY CERTIFY** that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Carlton D. Henley, who is personally known to me or who has produced \_\_\_\_\_ as identification and who executed the foregoing instrument.

**WITNESS** my hand and official seal in the County and State last aforesaid this \_\_\_\_\_ day of \_\_\_\_\_, 2006.

\_\_\_\_\_  
Notary Public, in and for the County and State  
Aforementioned

My Commission Expires:

